

500 GRAND AVE.

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By Alameda County Environmental Health 8:45 am, May 23, 2016

PLANNING INFO

Parcel #s: 010-0780-015-08
010-0780-015-07

Zoning: CN-2S-12

Height Limit: 45ft

Lot Area: 14,308 SF

Max. Res. Density: (1) Unit / 450 SF of Lot Area = (31) Units

Proposed Uses: Multi-Family Residential
Ground Floor Retail

Unit Count: (18) 1-Bedroom Units = (54) Habitable Rooms
(21) 2-Bedroom Units = (84) Habitable Rooms
(39) Total Units, (138) Habitable Rooms

Total Floor Area: 55,053 SF

Low Income Units: 10% of Total = (4) Units

Parking Required: (1) Space per (3) Habitable Rooms
@ (138) Habitable Rooms = (46) Required Spaces

Parking Provided: (47) Spaces

SHEET LIST

A0.0	Cover Sheet	A2.6	6th Floor Plan
SS1.0	Existing Site Survey	A3.1	South Elevation (Grand Ave.)
SS2.0	Parcel Map	A3.2	West Elevation (Euclid Ave.)
L1.1	1st Floor Landscape Plan	A3.3	North Elevation (Burk St.)
L1.2	2nd Floor Landscape Plan	A3.4	East Elevation
A0.1-0.5	Site Photos / Photos of Adjacent Properties	A3.5	North-South Section At Courtyard
A1.1	Existing / Demolition Site Plan	A3.6	North-South Section
A1.2	Site Plan	A3.7	East-West Section at Courtyard
A1.3	Preliminary Post-Construction Stormwater Management Plan	A3.8	East West Section Through North Stairwell
A1.4	Conceptual Excavation Plan	A3.9	East West Section Through South Stairwells
A2.1	1st Floor Plan	A3.10	Perspective view
A2.2	2nd Floor Plan	A3.11	Perspective view
A2.3	3rd Floor Plan	A4.1-4.7	Unit Plans
A2.4	4th & 5th Floor Plans		



PROJECT SUMMARY

Thirty-nine residential units on upper floors over ground floor retail along Grand Ave. Residential parking is tucked into the hill behind the retail space. Building height ranges from 77'-0" at the corner of Euclid and Grand avenues to 43'-6" at the northeast corner of the site along Burk Street.



426 Euclid Ave. (Looking South on Lagunitas Ave.)



426 Euclid Ave. (Looking East on Euclid Ave.)



428 Euclid Ave. (Looking East on Euclid Ave.)



450 Euclid Ave. Part 2 (Looking East on Euclid Ave.)



450 Euclid Ave. Part 1 (Looking East on Euclid Ave.)



Project Site - 403 Burk St. (Looking East on Euclid Ave.)



Project Site - 500 Grand Ave. (Looking East on Euclid Ave.)



View of Lake Merritt from Project Site (Looking South on Grand Ave.)

Site Photos / Photos of Adjacent Properties

5/2/2016

500 GRAND AVE. | OAKLAND, CA

A0.1

KAVA MASSIH ARCHITECTS
920 Grayson Street | Berkeley, CA 94710
KMA PROJECT NO. 1403



490 Grand Ave. (Looking West on Euclid Ave.)



490 Grand Ave. (Looking West on Euclid Ave.)



435 Euclid Ave. (Looking West on Euclid Ave.)



429 Euclid Ave. (Looking West on Euclid Ave.)



427 Euclid Ave. (Looking North West on Euclid Ave.)



425 Euclid Ave. (Looking West on Euclid Ave.)

Site Photos / Photos of Adjacent Properties

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490 Grand Ave. (Looking North on Grand Ave.)



490 Grand Ave. (Looking North on Grand Ave.)



Project Site - 500 Grand Ave. (Looking North on Grand Ave.)



522 Grand Avenue (Looking North on Grand Ave.)



530 Grand Ave. (Looking North on Grand Ave.)



542 Grand Ave. (Looking North on Grand Ave.)



566 Grand Ave. (Looking North on Grand Ave.)



570 Grand Ave. (Looking North on Grand Ave.)



578 Grand Ave. (Looking North on Grand Ave.)

Site Photos / Photos of Adjacent Properties

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A0.3 <

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587 Grand Ave. (Looking South on Burk St.)



427 Burk St. (Looking South East on Burk St.)



423 Burk St. (Looking South East on Burk St.)



421 Burk St. (Looking South East on Burk St.)



415 Burk St. (Looking South East on Burk St.)



522 Grand Ave. (Looking South on Burk St.)



Project Site - 403 Burk St. (Looking South on Burk St.)

Site Photos / Photos of Adjacent Properties

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450 Euclid Ave. Part 2 (Looking North on Burk St.)



450 Euclid Ave. Part 1 (Looking North on Burk St.)



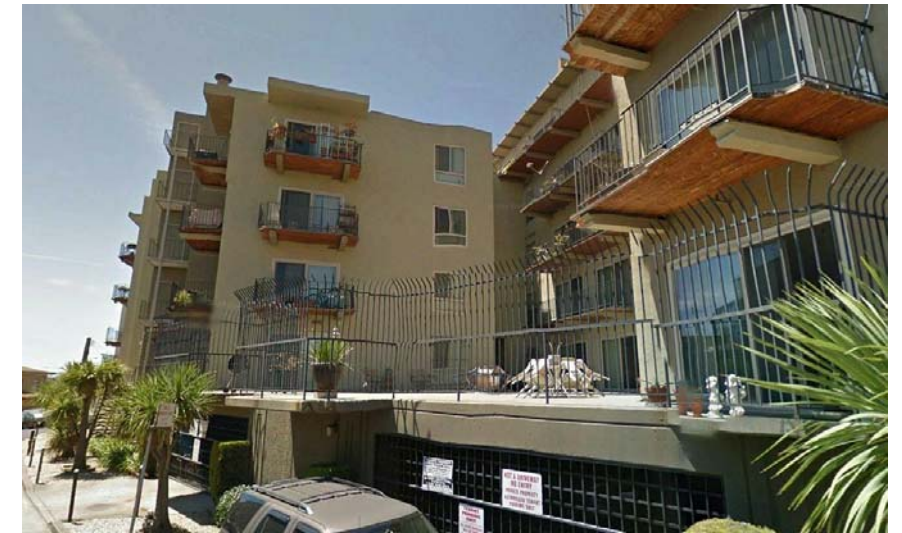
420 Burk St. (Looking North East on Burk St.)



420 Burk St. (Looking North West on Burk St.)



415 Lagunitas Ave. (Looking North East on Burk St.)



415 Lagunitas Ave. (Looking North West on Burk St.)

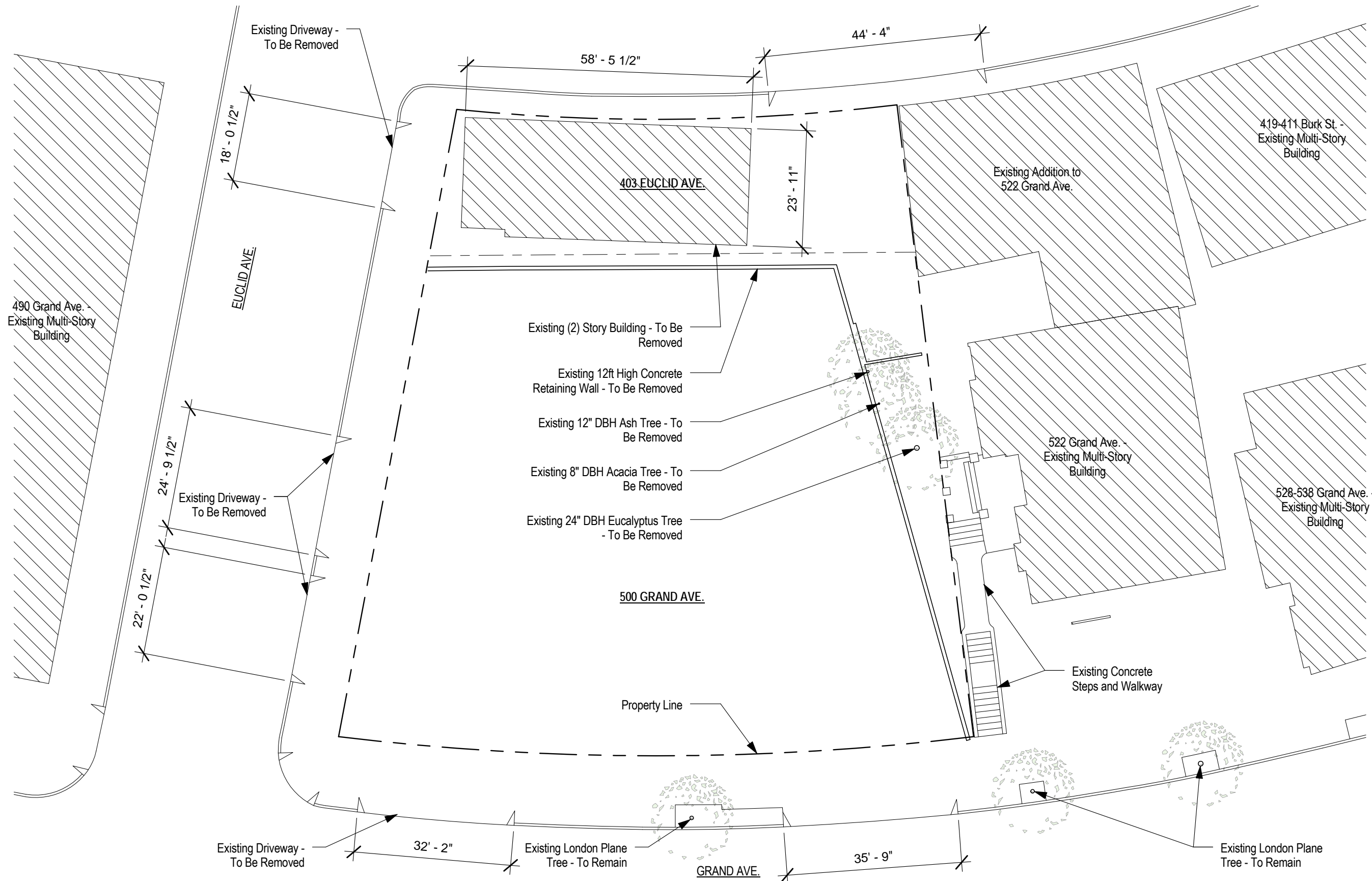
Site Photos / Photos of Adjacent Properties

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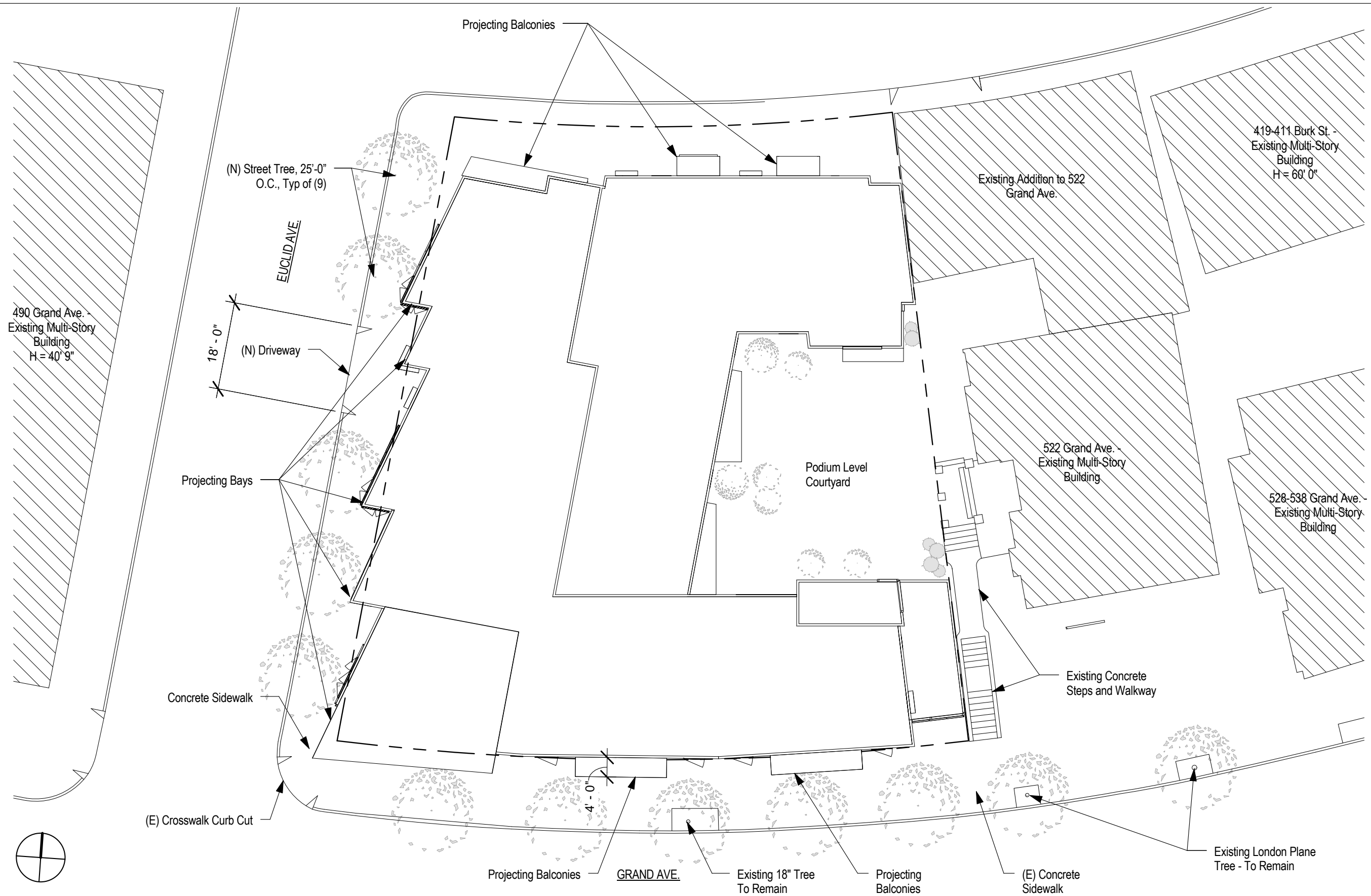
Existing / Demolition Site Plan

1" = 20'-0"
5/2/2016

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Site Plan

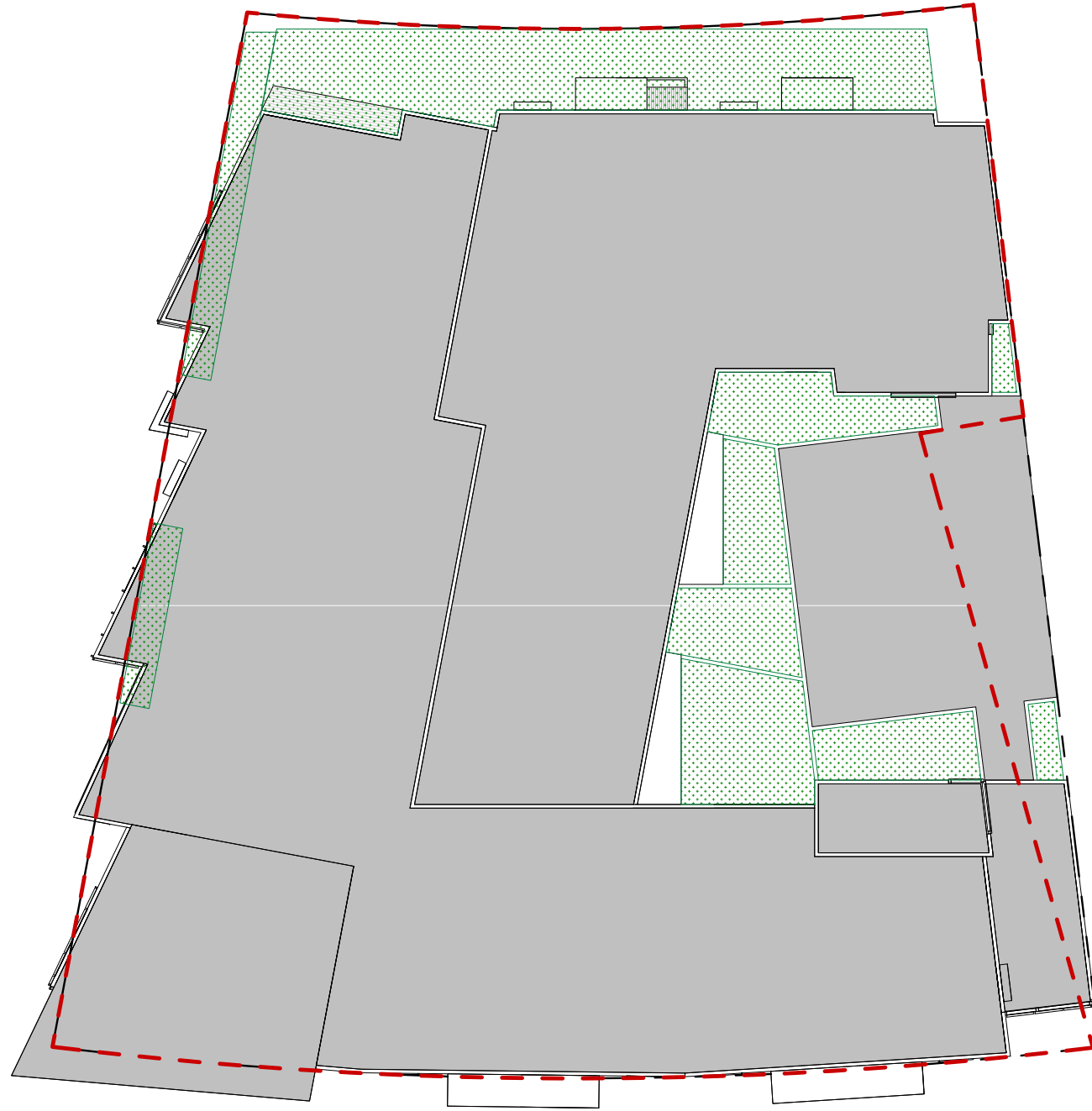
1" = 20'-0"
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-  Existing impervious surface = 13,767 SF
-  Roof Area = 10,207 SF
-  Planter Area = 2,029 SF



SUMMARY

A	≈ 0 ft ³
B	≈ 3,300 ft ³
C	≈ 300 ft ³
D	≈ 800 ft ³
E	≈ 14,400 ft ³
F	≈ 4,700 ft ³
G	≈ 17,900 ft ³
Total	≈ 41,400 ft³ ≈ 1,530 yards³

AREA E
 (E) Grade ≈ +22'
 (N) Bottom of Slab ≈ +14'
 Net Elevation Change ≈ -8'
 Area = 1,805 ft²
 Excavation ≈ 14,400 ft³

AREA G
 (E) Grade ≈ +28 ft
 (N) Bottom of Slab ≈ +14 ft
 Net Elevation Change ≈ -14 ft
 Area = 1,276 ft²
 Excavation ≈ 17,900 ft³

AREA C
 (E) Grade ≈ +13'
 (N) Bottom of Slab ≈ +9'
 Net Elevation Change ≈ -4'
 Area = 75 ft²
 Excavation ≈ 300 ft³

AREA A
 (E) Grade ≈ +14'
 (N) Bottom of Slab ≈ +14'
 Net Elevation Change ≈ 0'
 Area = 6,574 ft²
 Excavation ≈ 0 ft³

AREA F
 (E) Grade ≈ +24'
 (N) Bottom of Slab ≈ +14'
 Net Elevation Change ≈ -10'
 Area = 472 ft²
 Excavation ≈ 4,700 ft³

AREA D
 (E) Grade ≈ +18'
 (N) Bottom of Slab ≈ +11'
 Net Elevation Change ≈ -7'
 Area = 115 ft²
 Excavation ≈ 800 ft³

AREA B
 (E) Grade ≈ +12'
 (N) Bottom of Slab ≈ +11'
 Net Elevation Change ≈ -1'
 Area = 3,324 ft²
 Excavation ≈ 3,300 ft³

Conceptual Excavation Plan

1/16" = 1'-0"
 5/2/2016

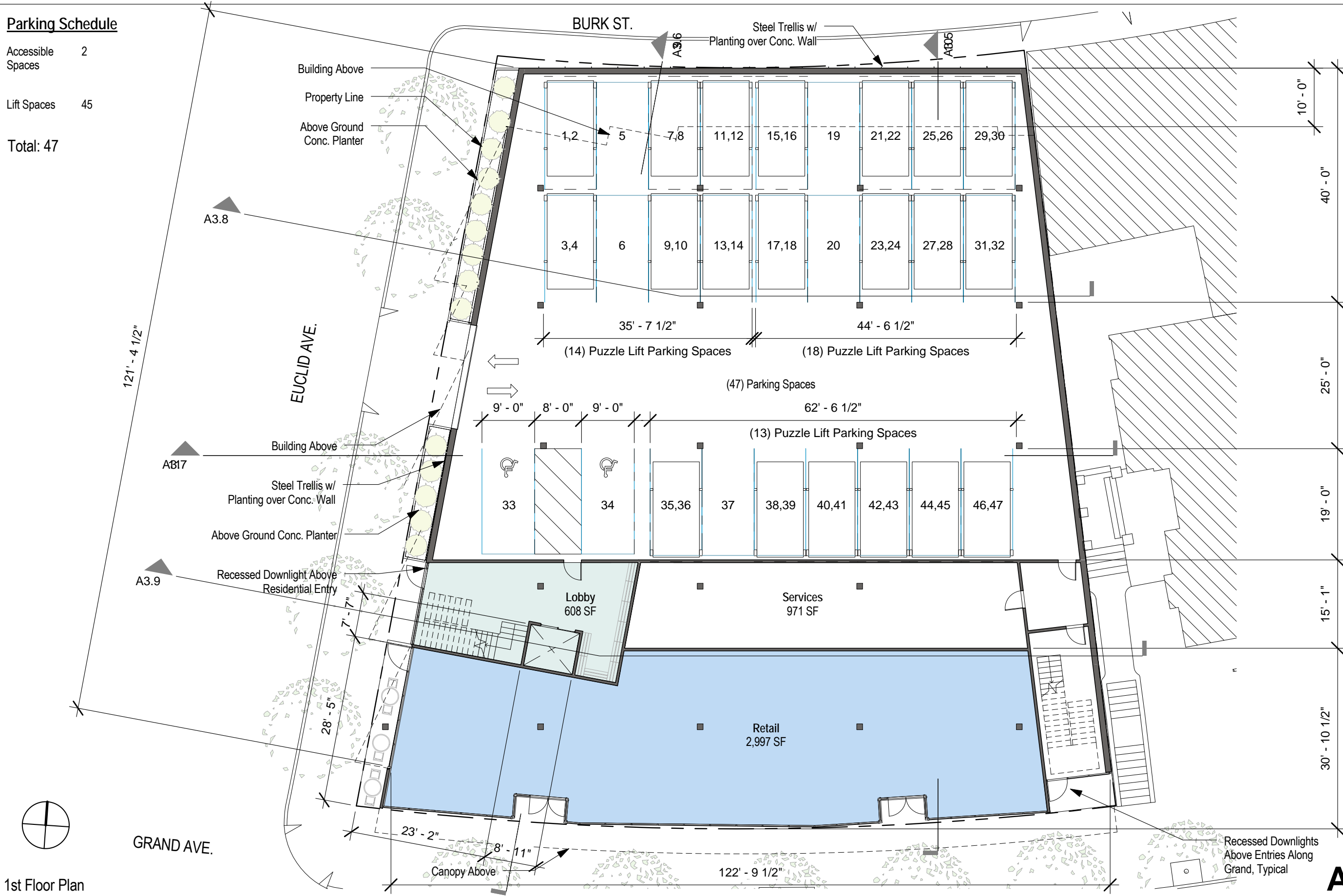
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Parking Schedule

Accessible Spaces 2
 Lift Spaces 45
 Total: 47



1st Floor Plan

1/16" = 1'-0"
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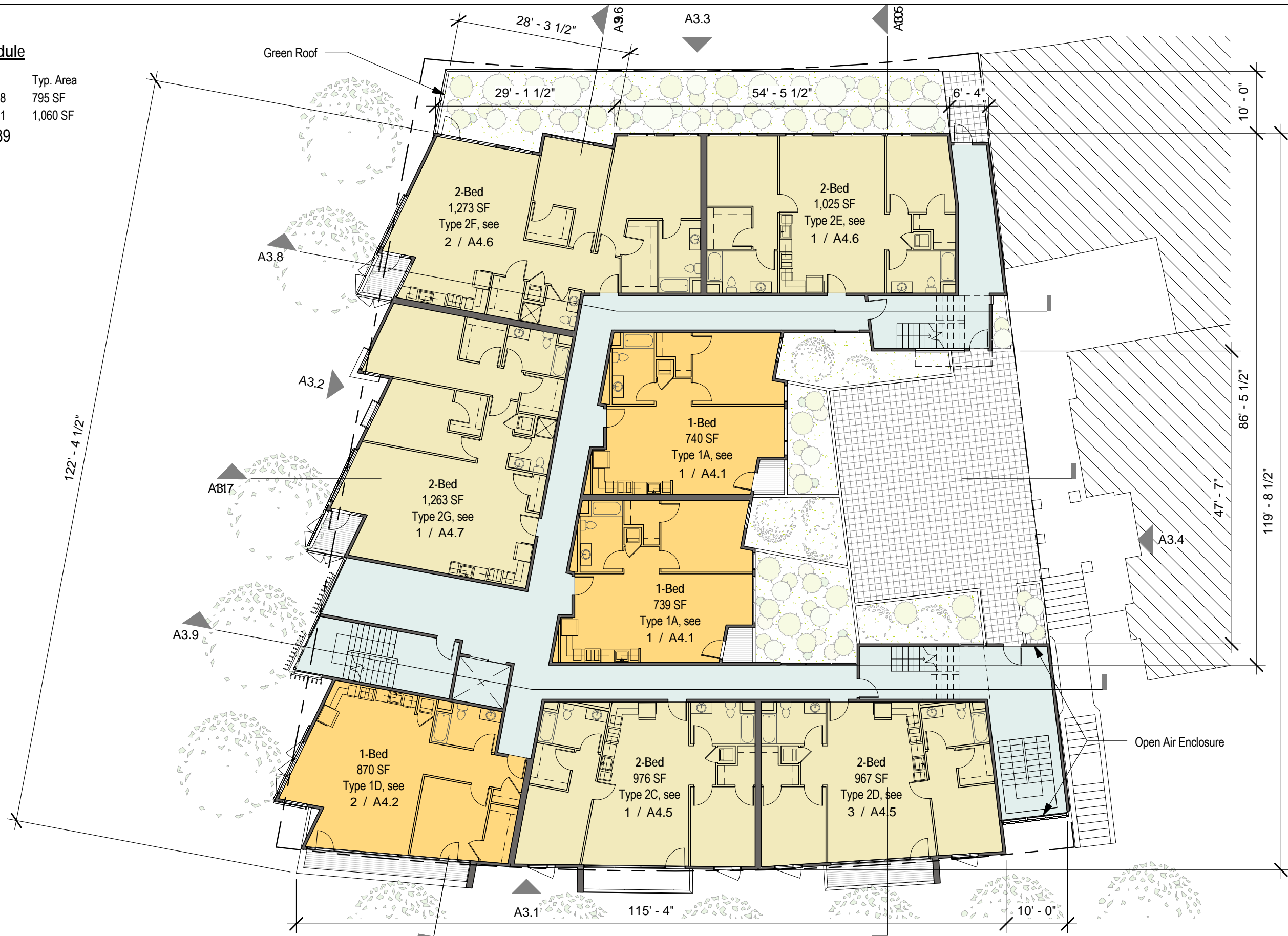
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Unit Schedule

Unit Type	#	Typ. Area
1-Bed	18	795 SF
2-Bed	21	1,060 SF
Total	39	



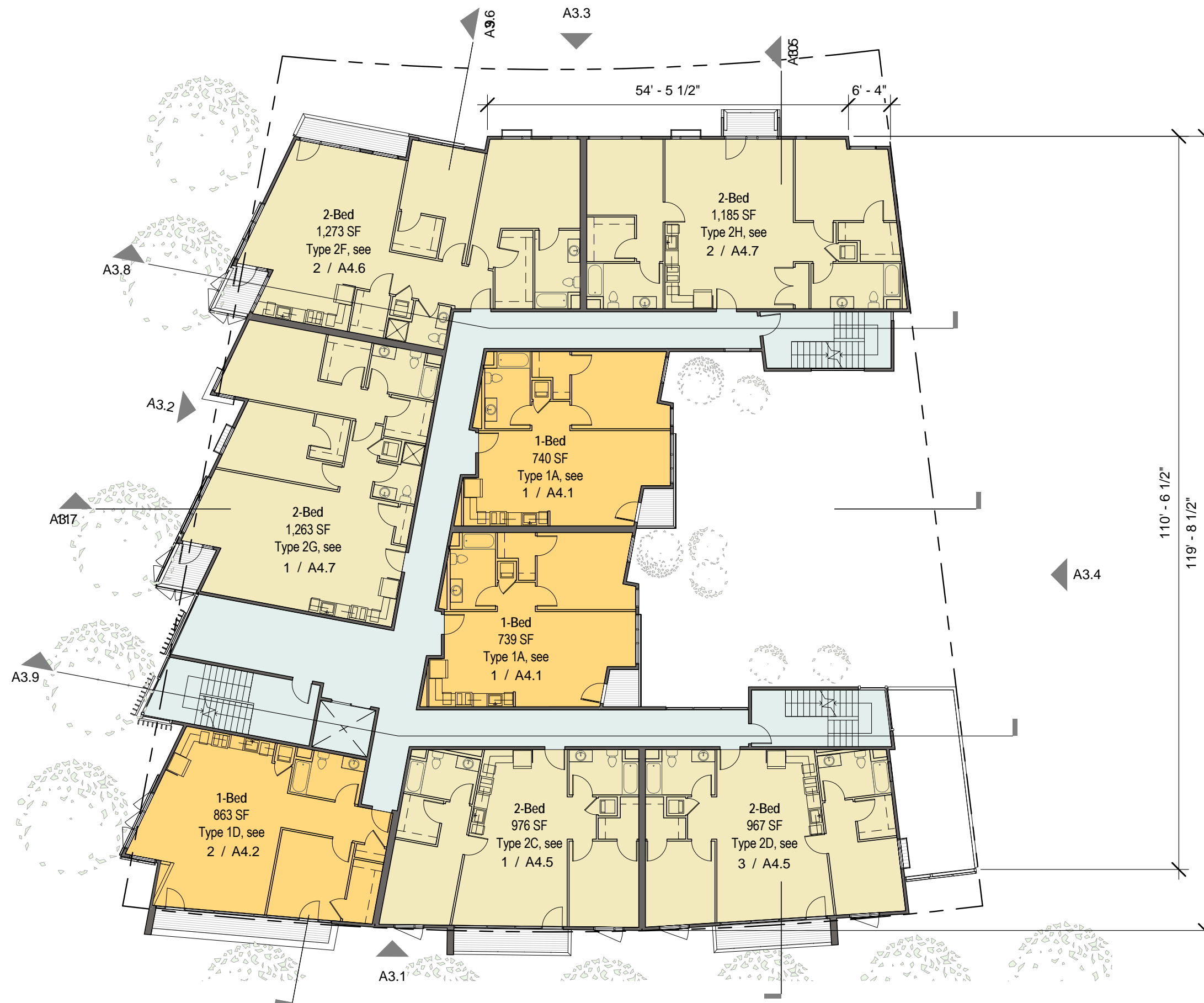
2nd Floor Plan

1/16" = 1'-0"
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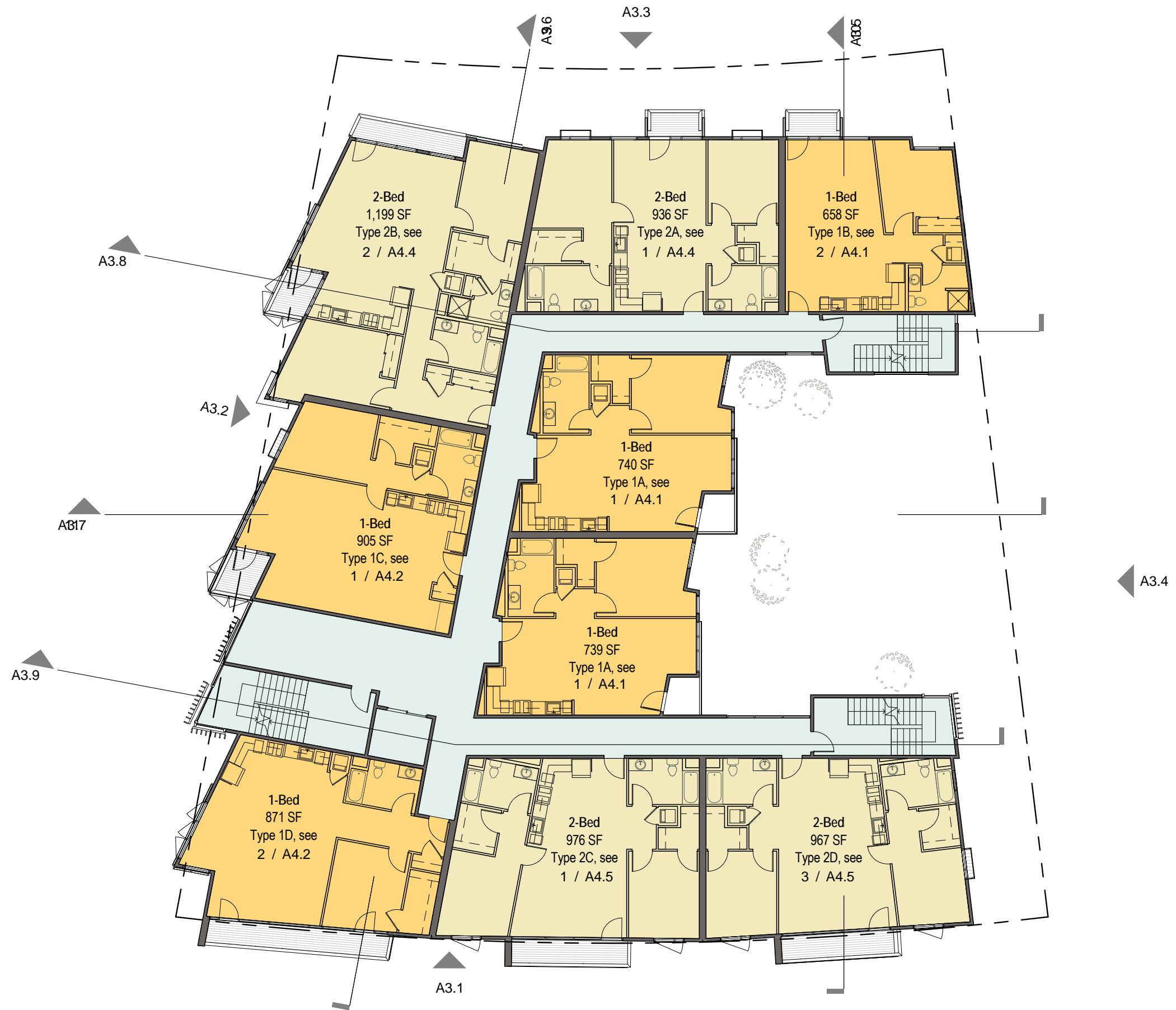
3rd Floor Plan

1/16" = 1'-0"
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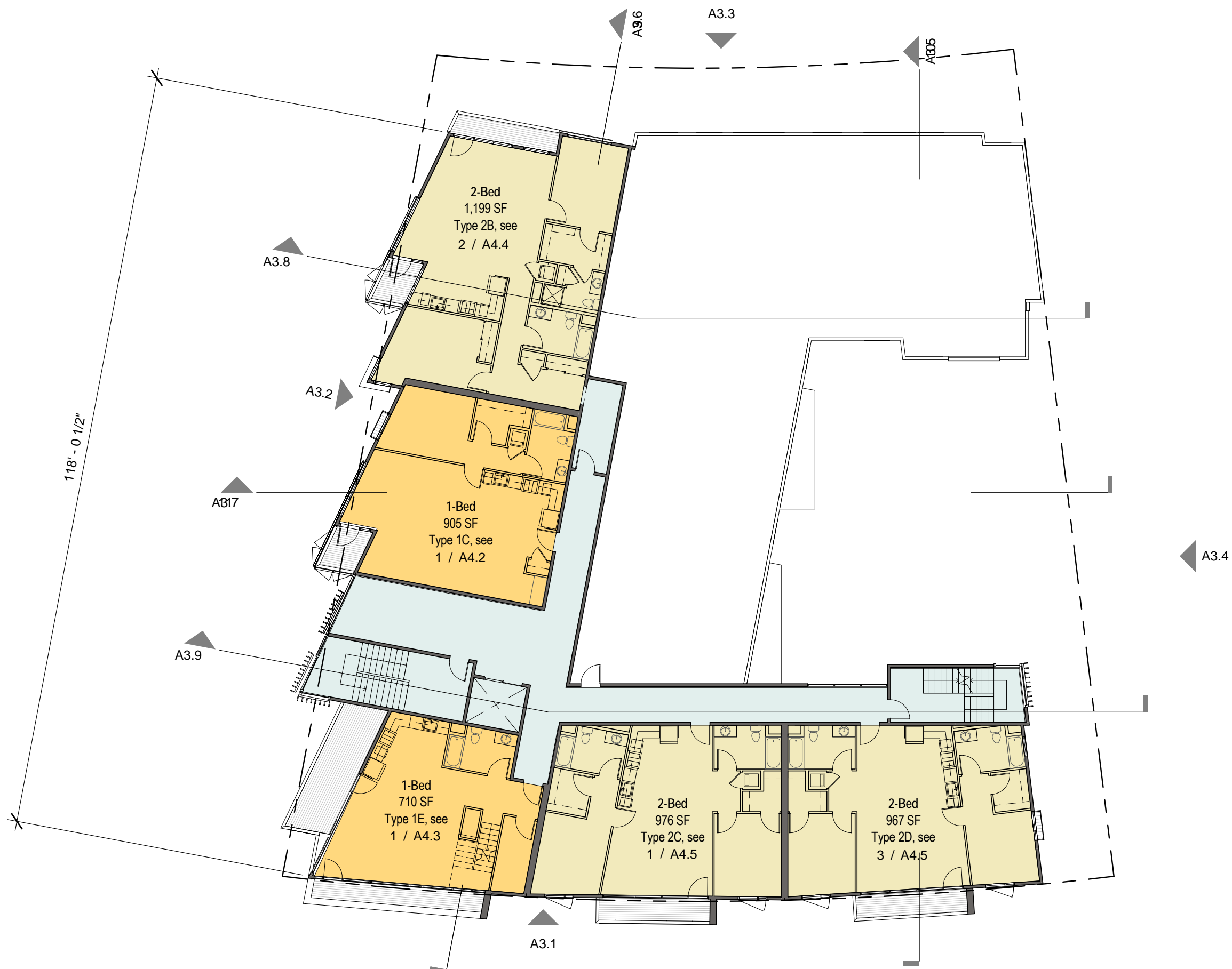
4th & 5th Floor Plans

1/16" = 1'-0"
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6th Floor Plan

1/16" = 1'-0"
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South Elevation (Grand Ave.)

1/16" = 1'-0"
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A3.1

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West Elevation (Euclid Ave.)

1/16" = 1'-0"
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North Elevation (Burk St.)

1/16" = 1'-0"
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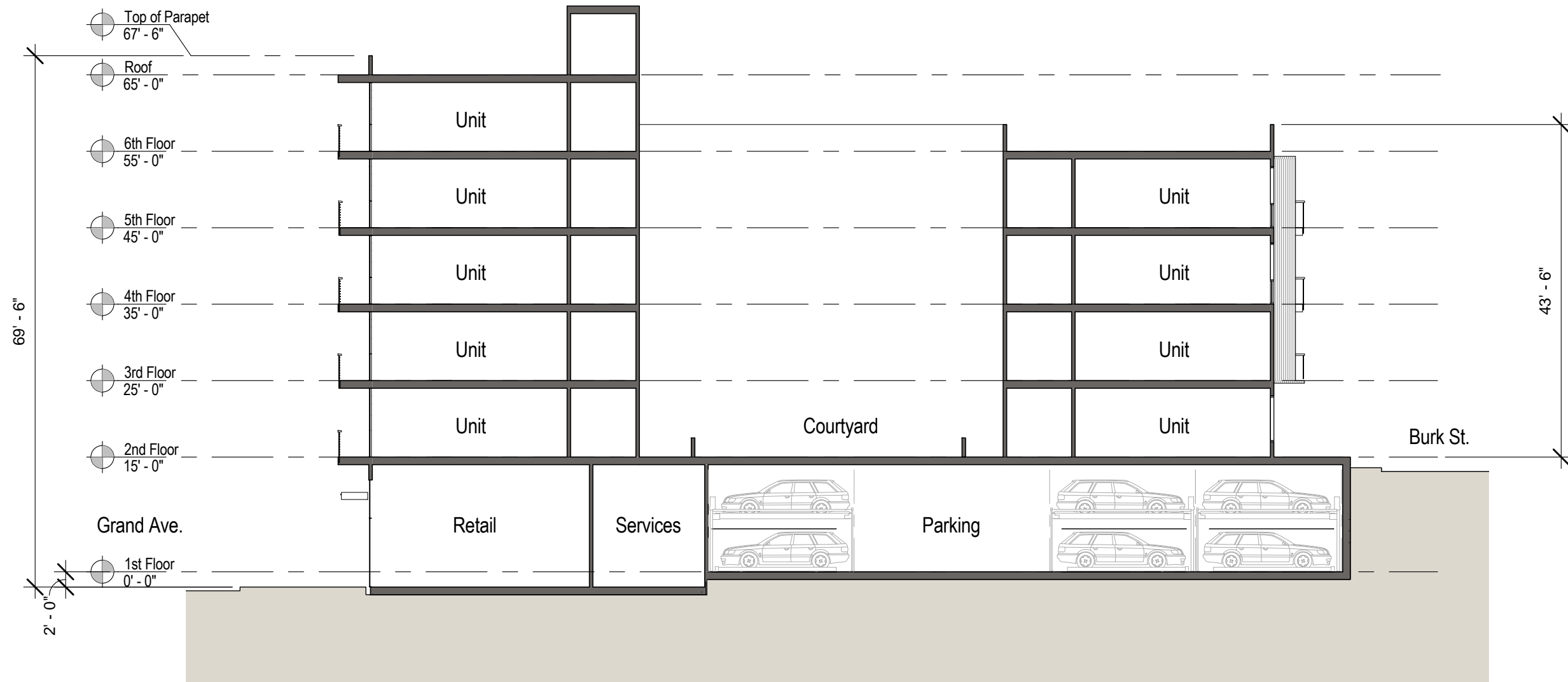
East Elevation

1/16" = 1'-0"
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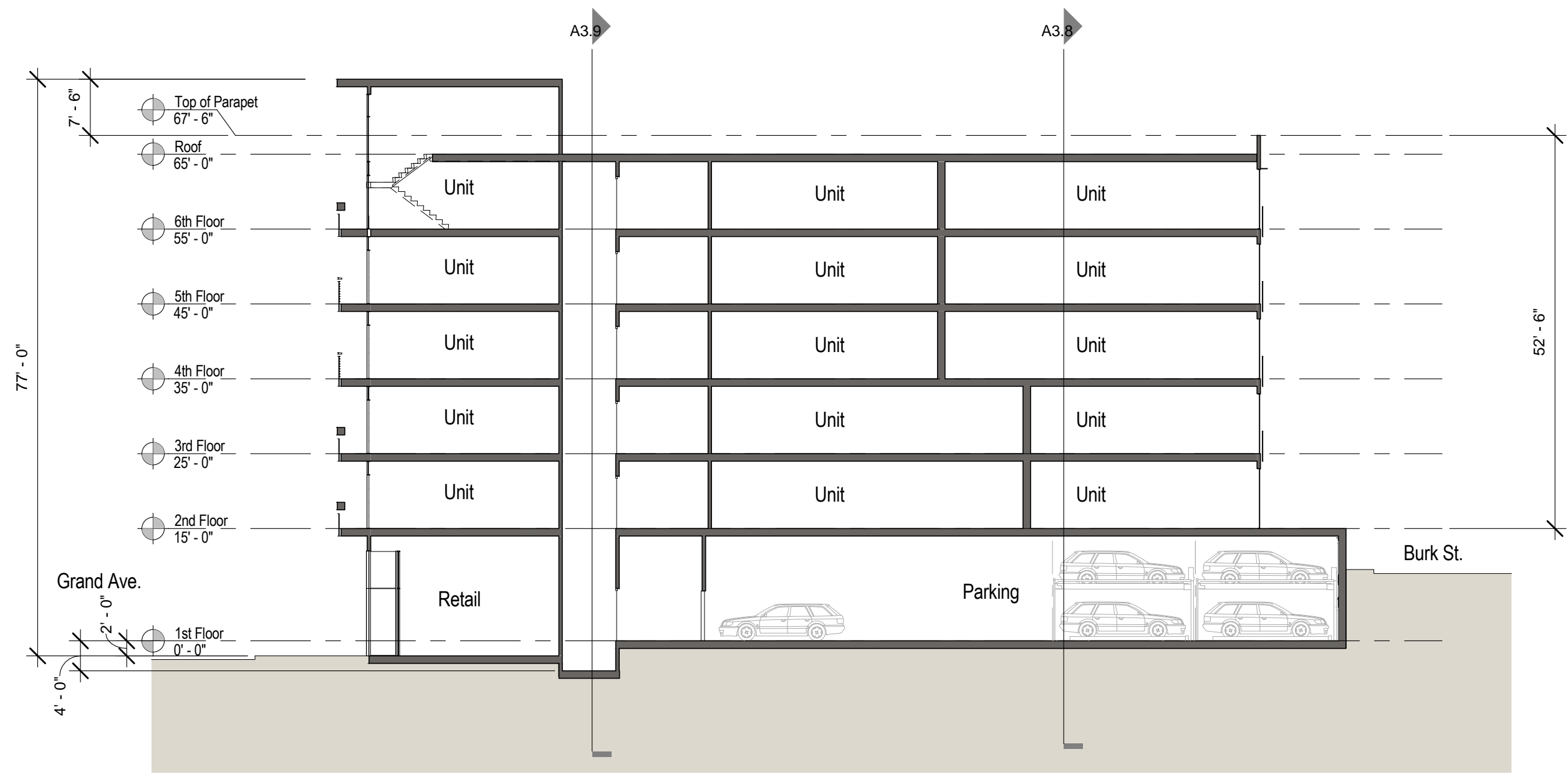
North-South Section At Courtyard

1/16" = 1'-0"
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A3.5

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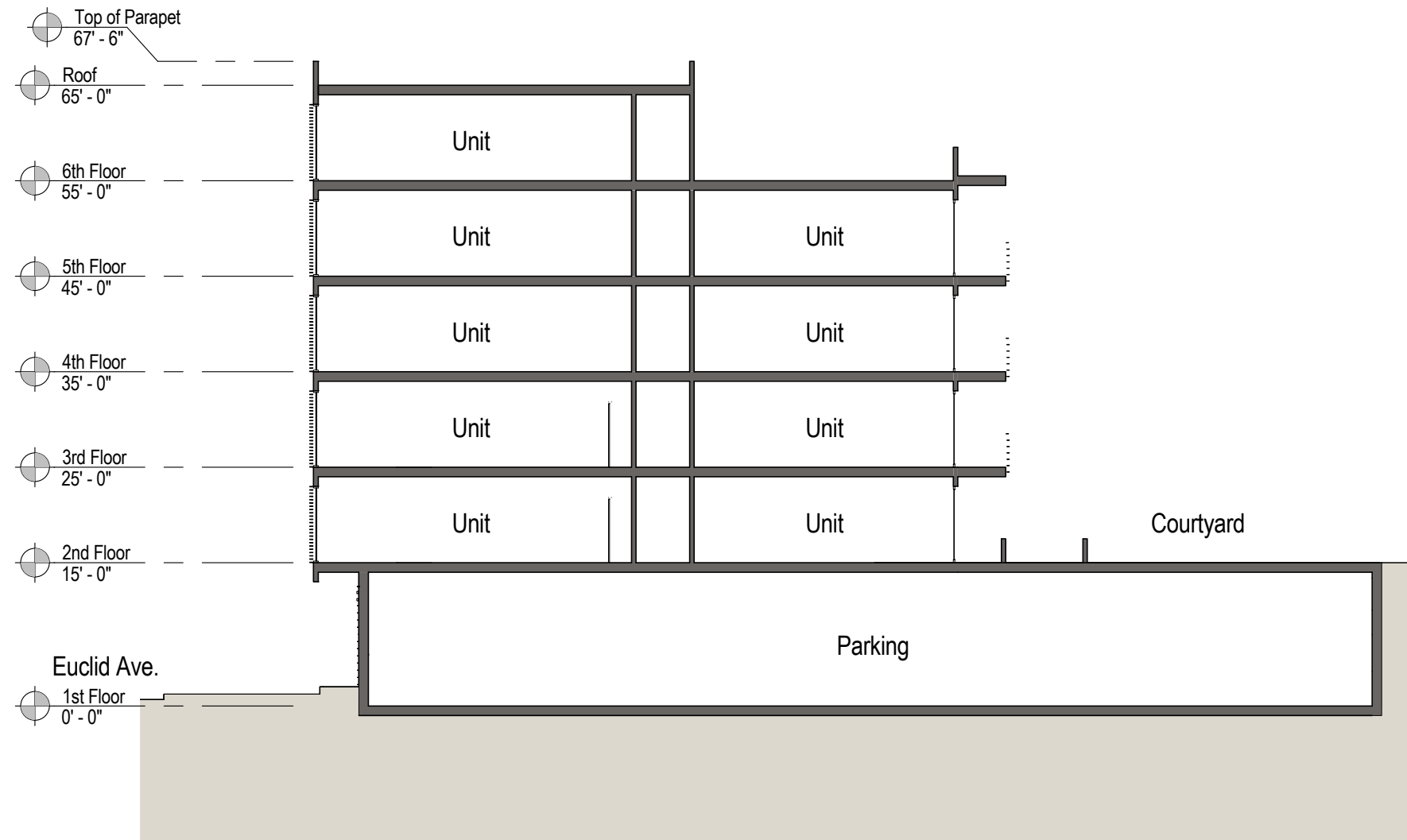
North-South Section

1/16" = 1'-0"
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A3.6

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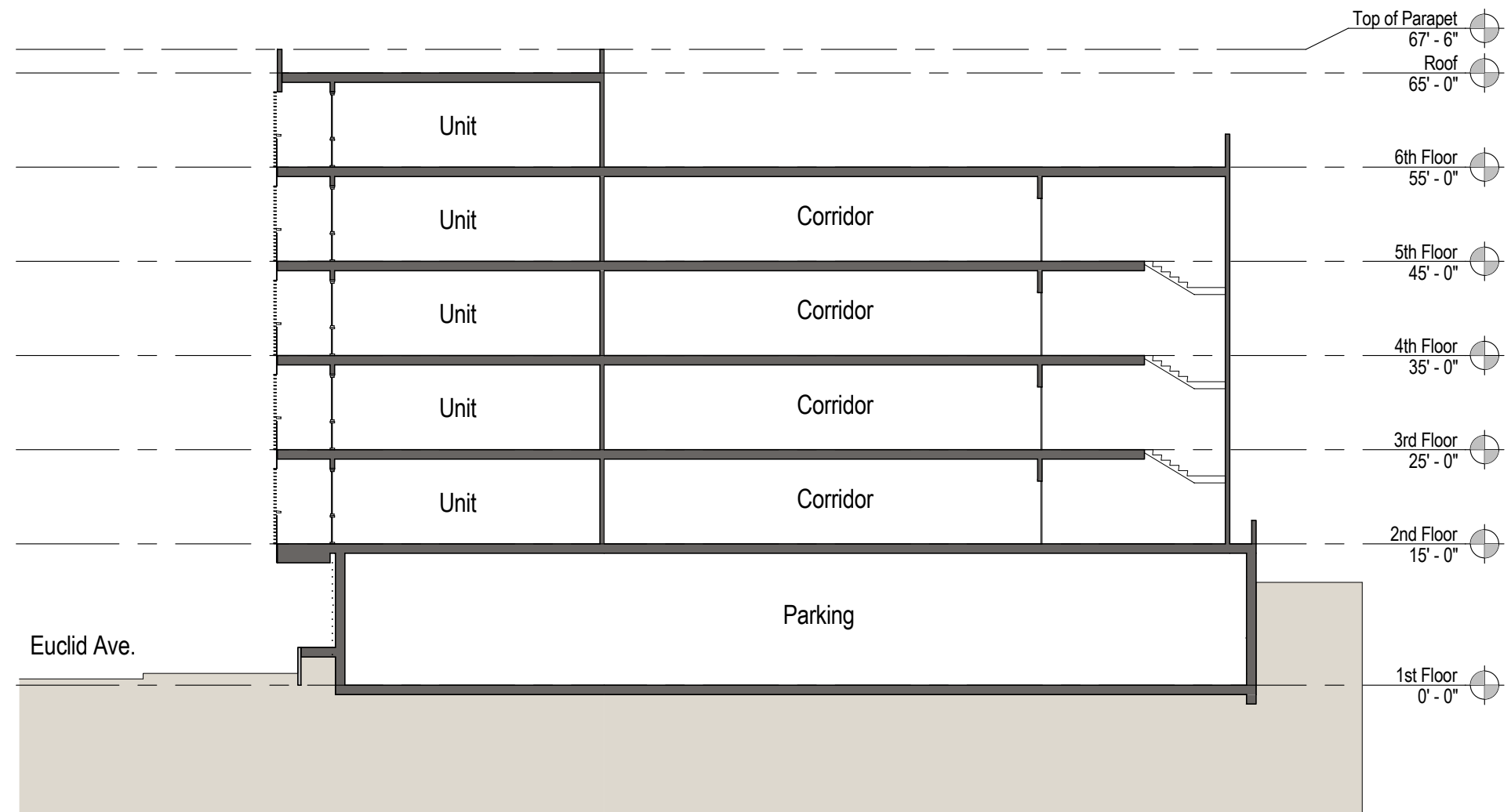
East-West Section at Courtyard

1/16" = 1'-0"
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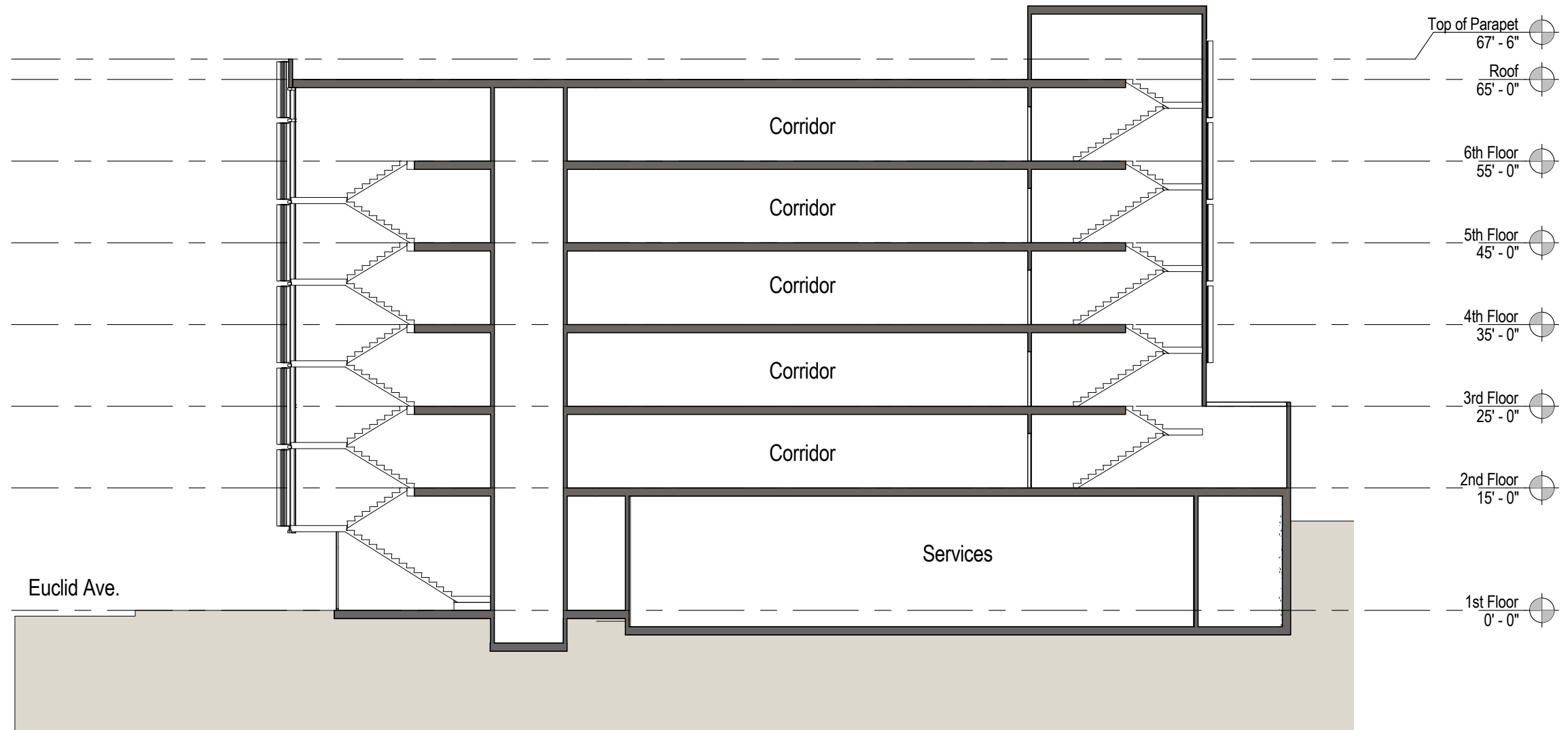
East West Section Through North Stairwell

1/16" = 1'-0"
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East West Section Through South Stairwells

1/16" = 1'-0"
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Perspective view

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A3.10 

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Perspective view

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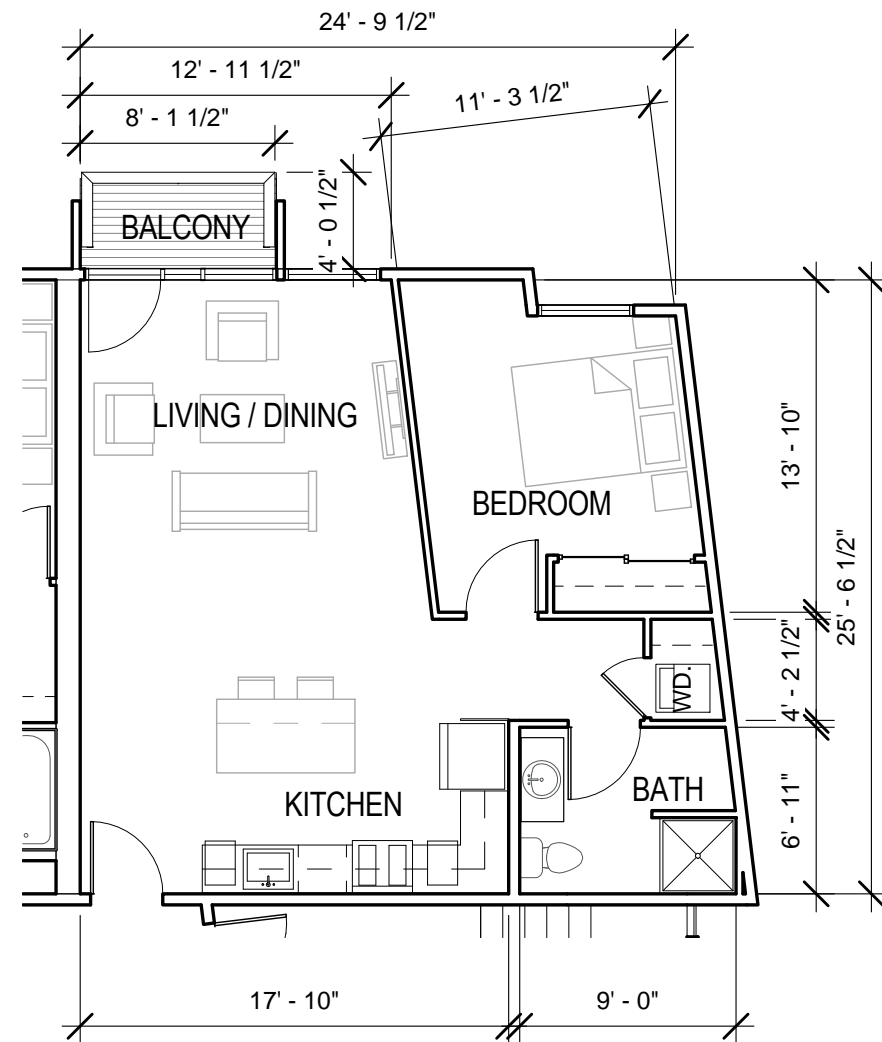
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A3.11  

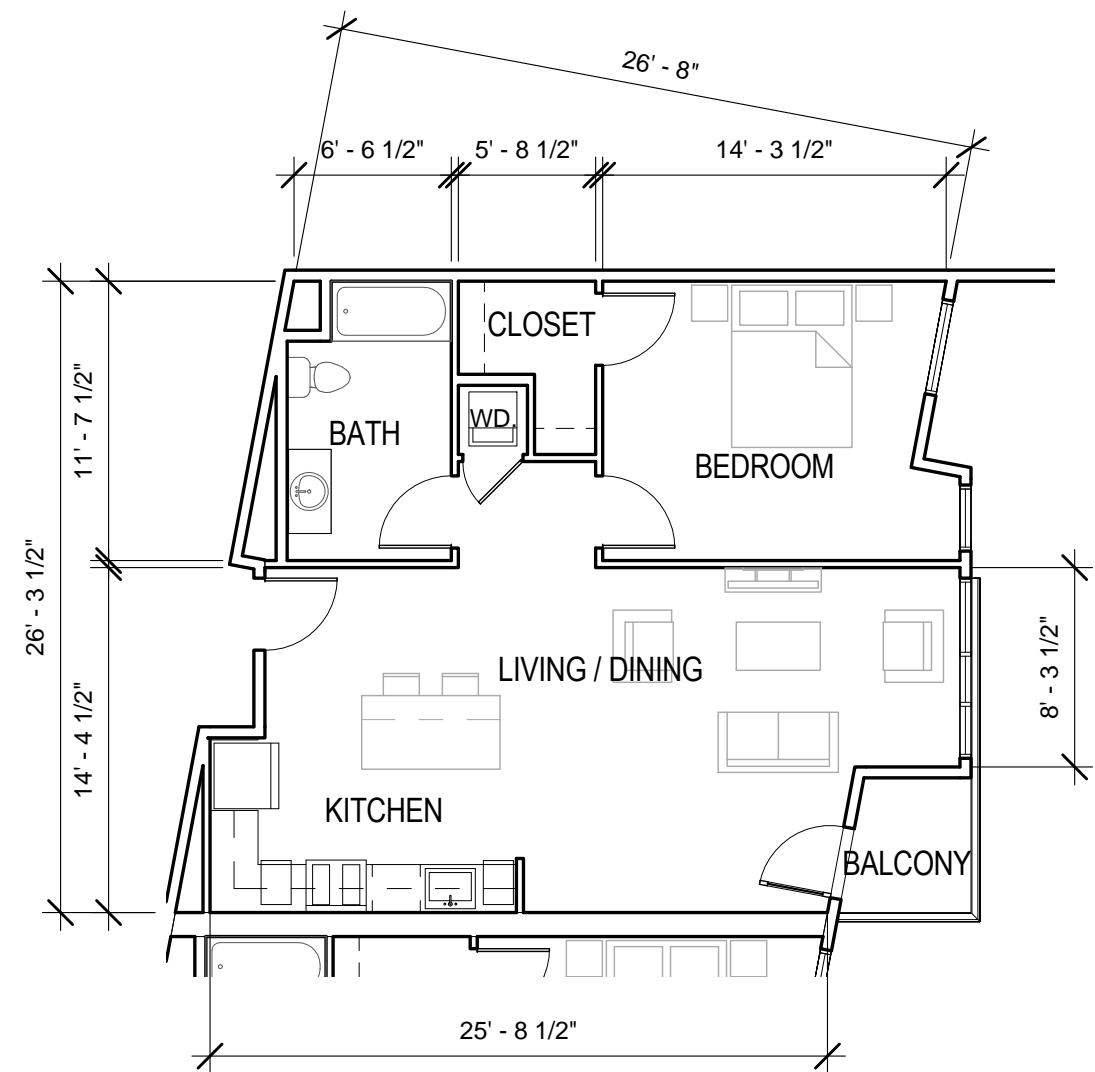
KAVA MASSIH ARCHITECTS

100 Clayton Street | Berkeley, CA 94702

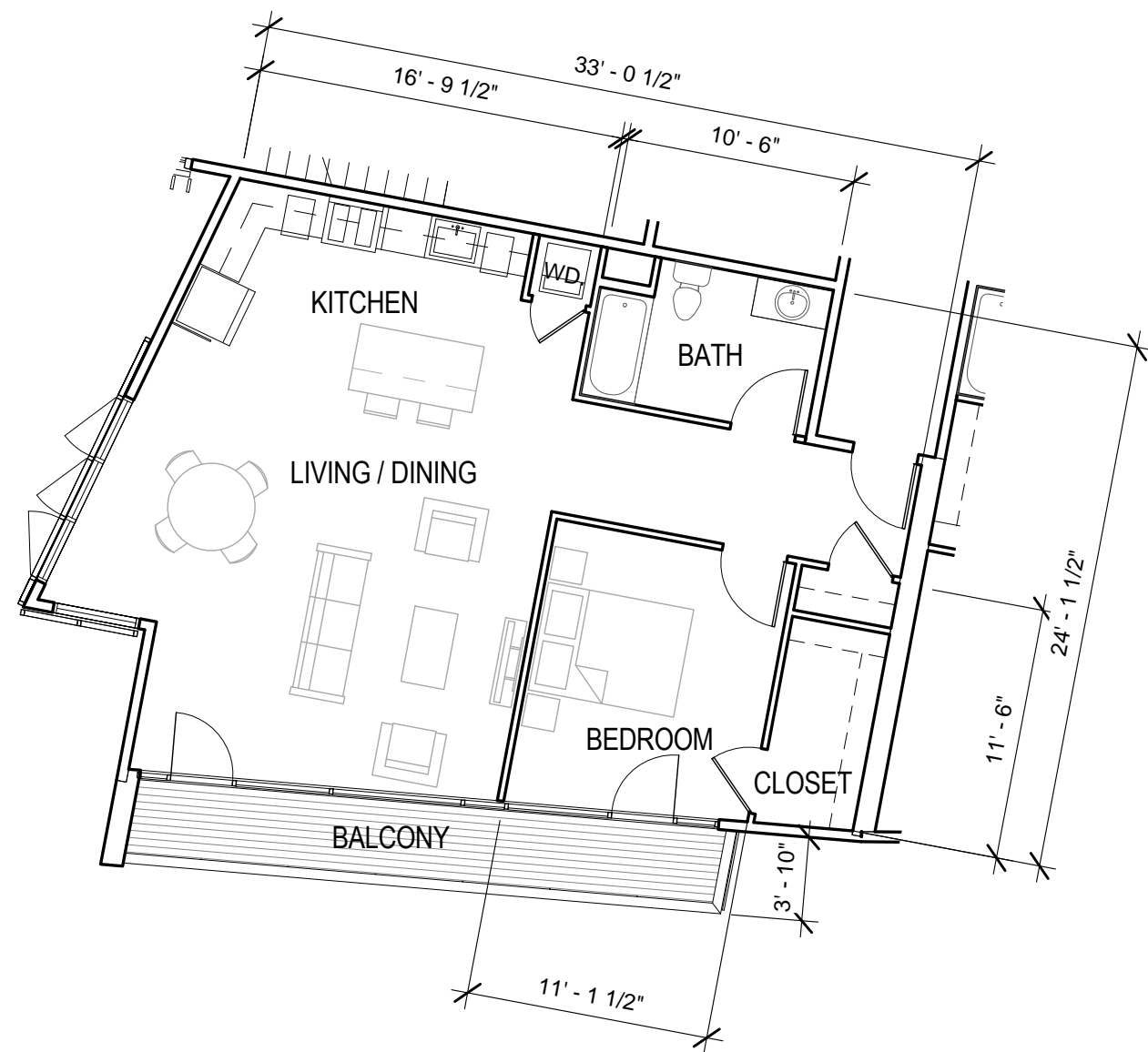
KMA PROJECT NO. 1403



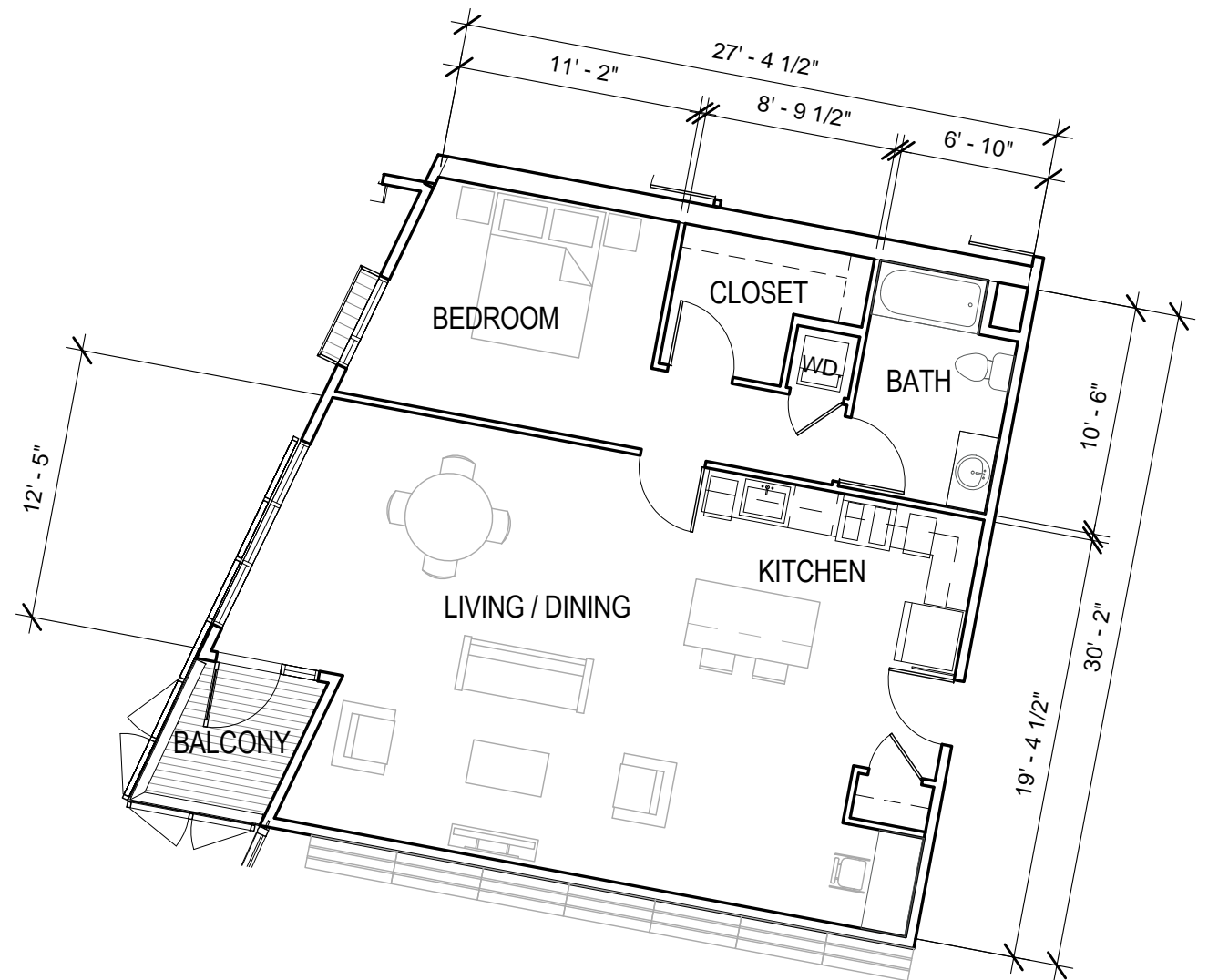
Unit 1B Floor Plan 2
 1/8" = 1'-0"
 660 SF, TYP. of (2)



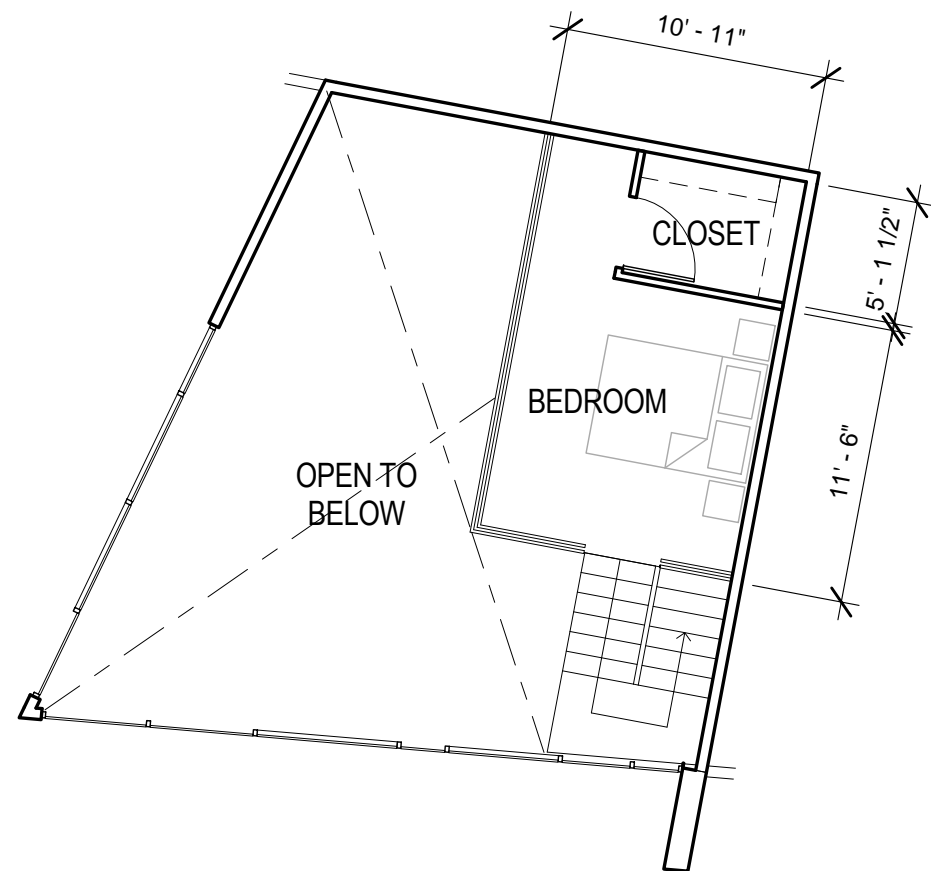
Unit 1A Floor Plan 1
 1/8" = 1'-0"
 740 SF, TYP. of (8)



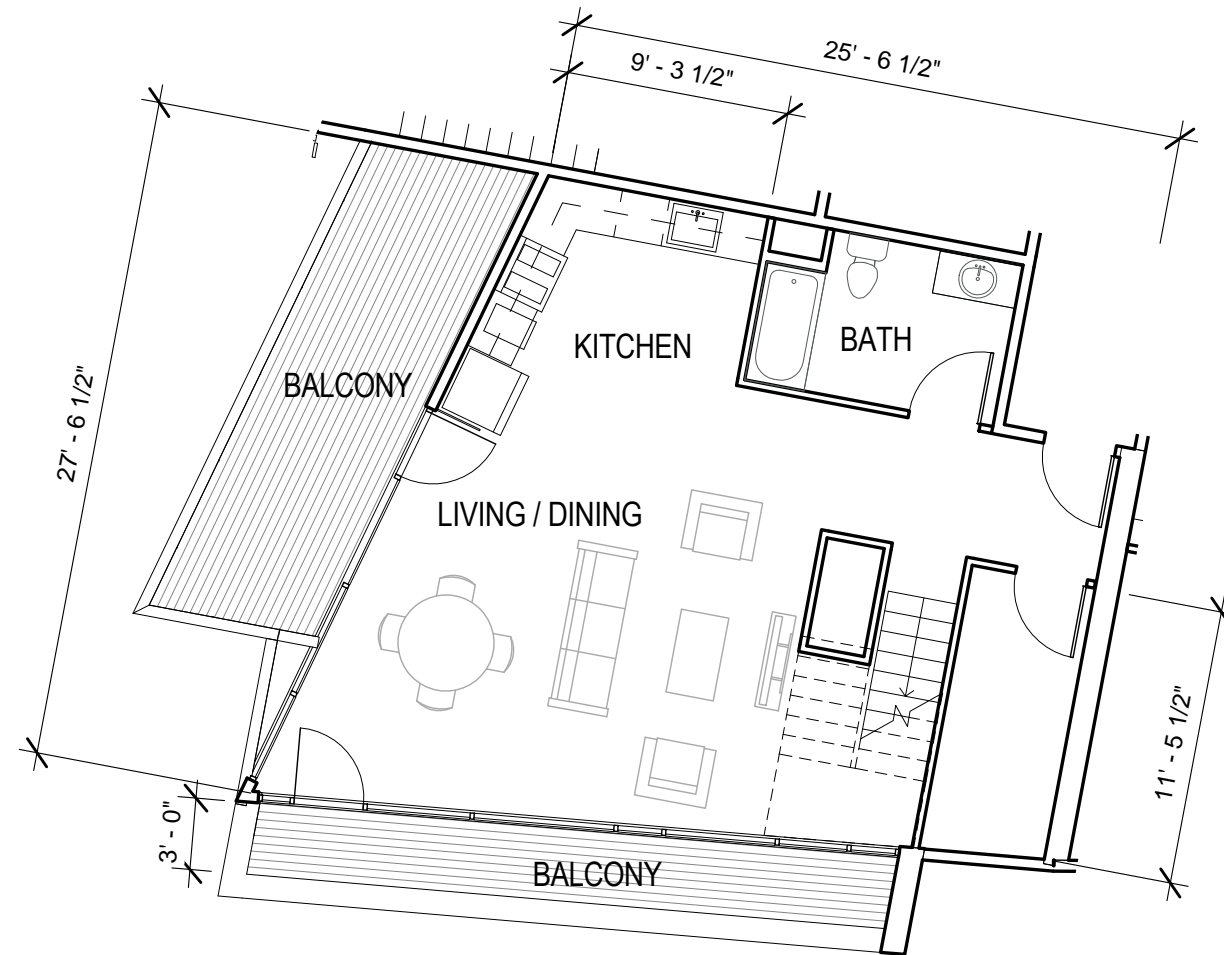
Unit 1D Floor Plan **2**
 1/8" = 1'-0"
 870 SF, TYP. of (4)



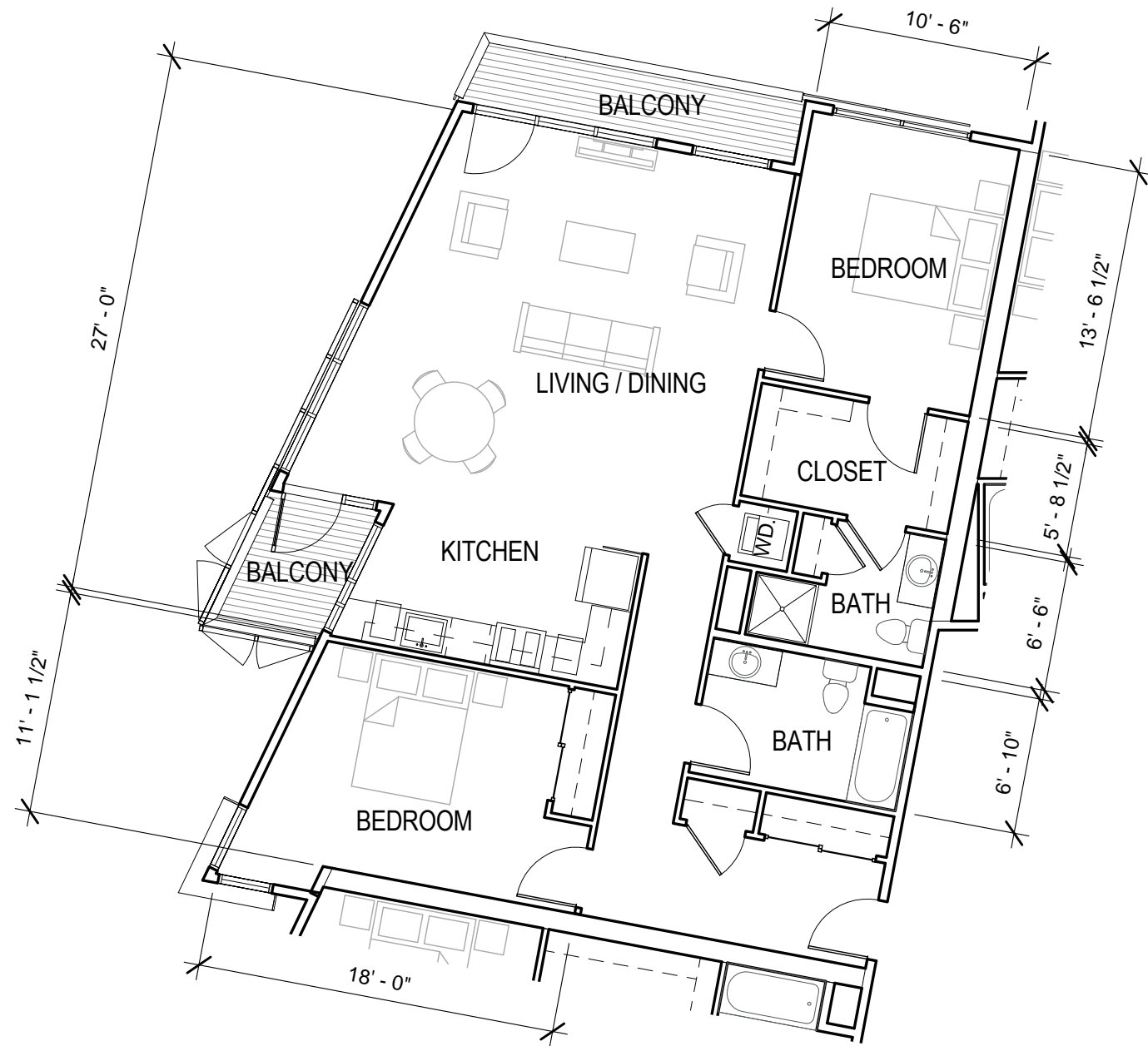
Unit 1C Floor Plan **1**
 1/8" = 1'-0"
 905 SF, TYP. of (3)



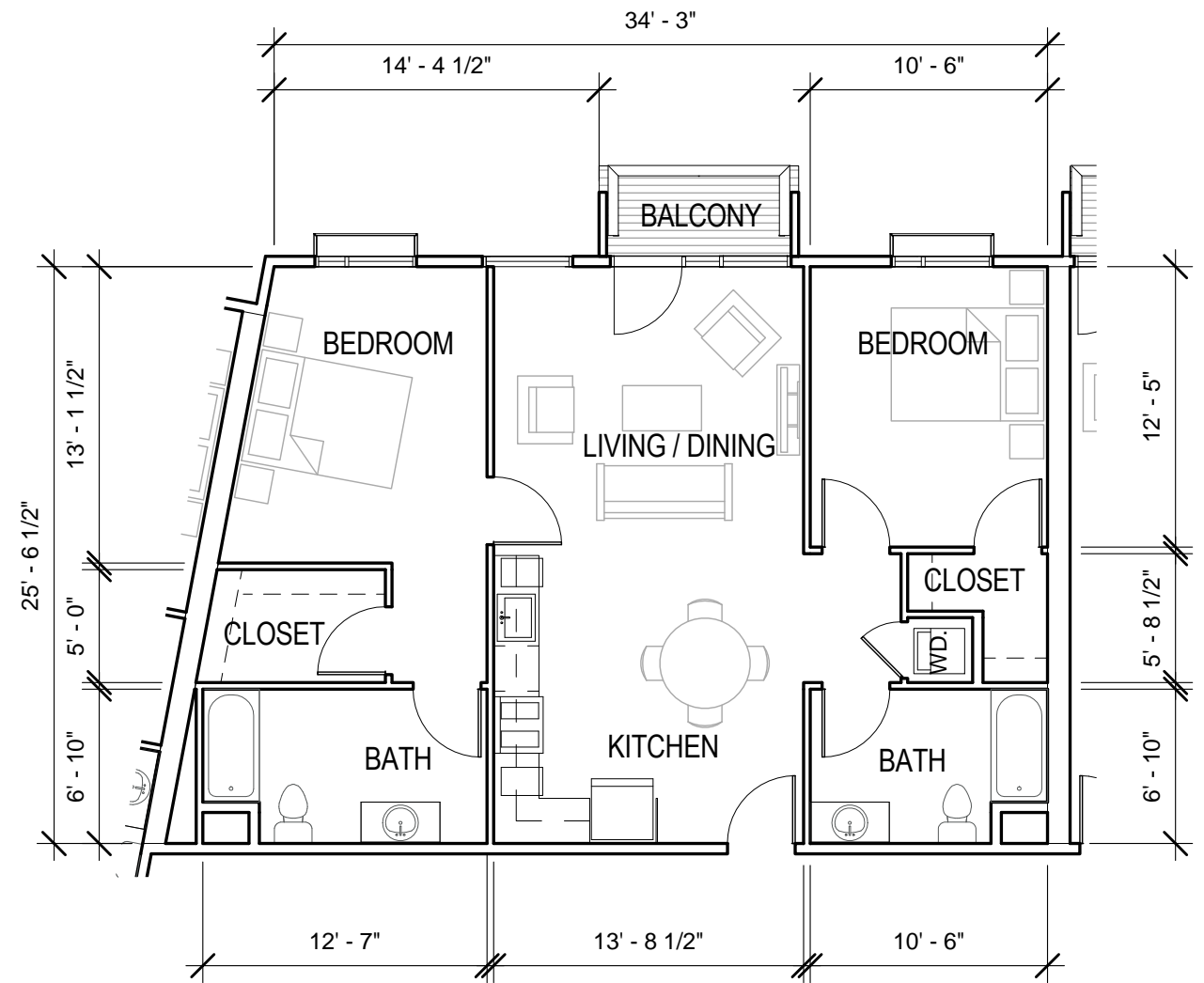
Unit 1E, Upper Floor Plan 2
 1/8" = 1'-0"



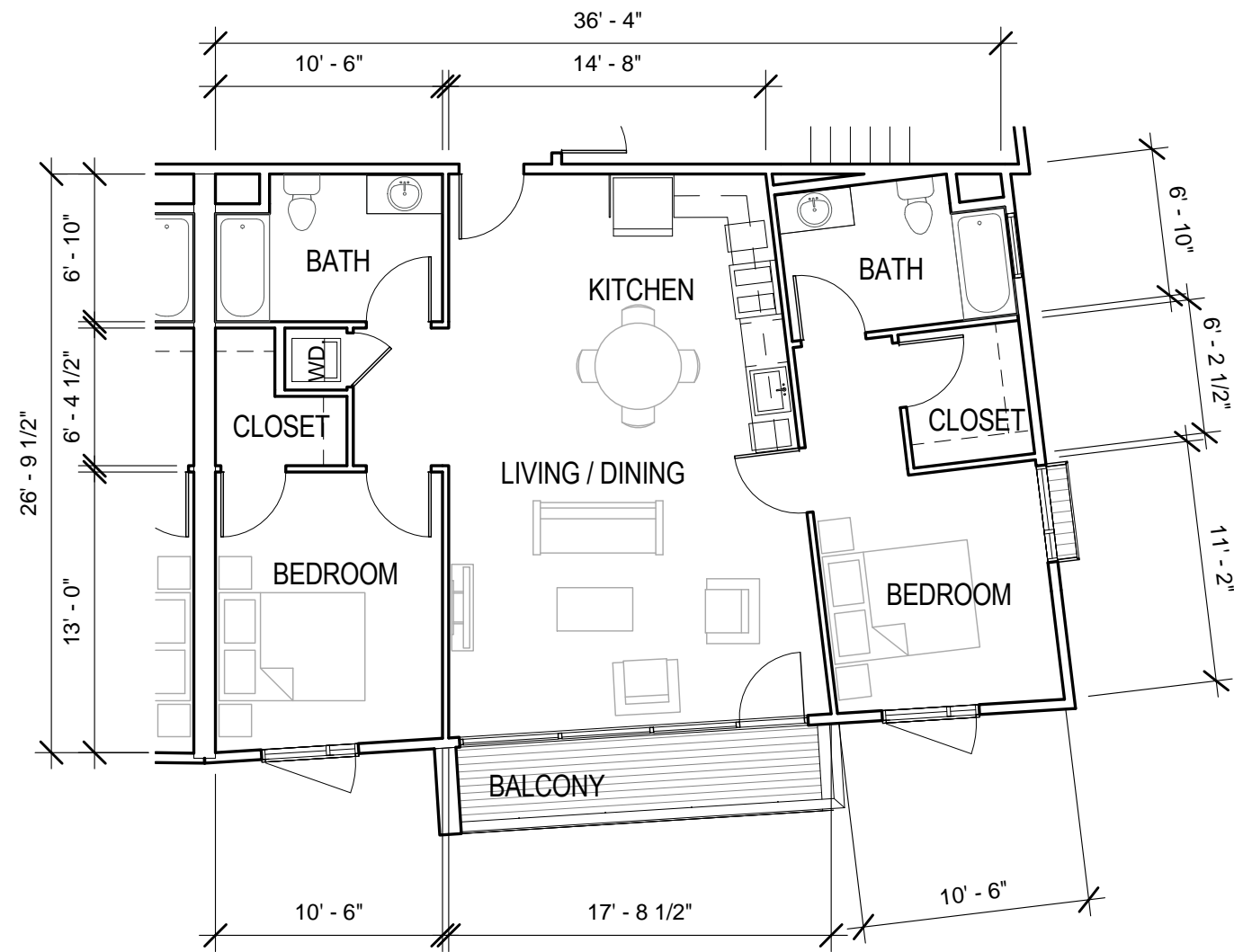
Unit 1E, Lower Floor Plan 1
 1/8" = 1'-0"
 890 SF Total, TYP. of (1)



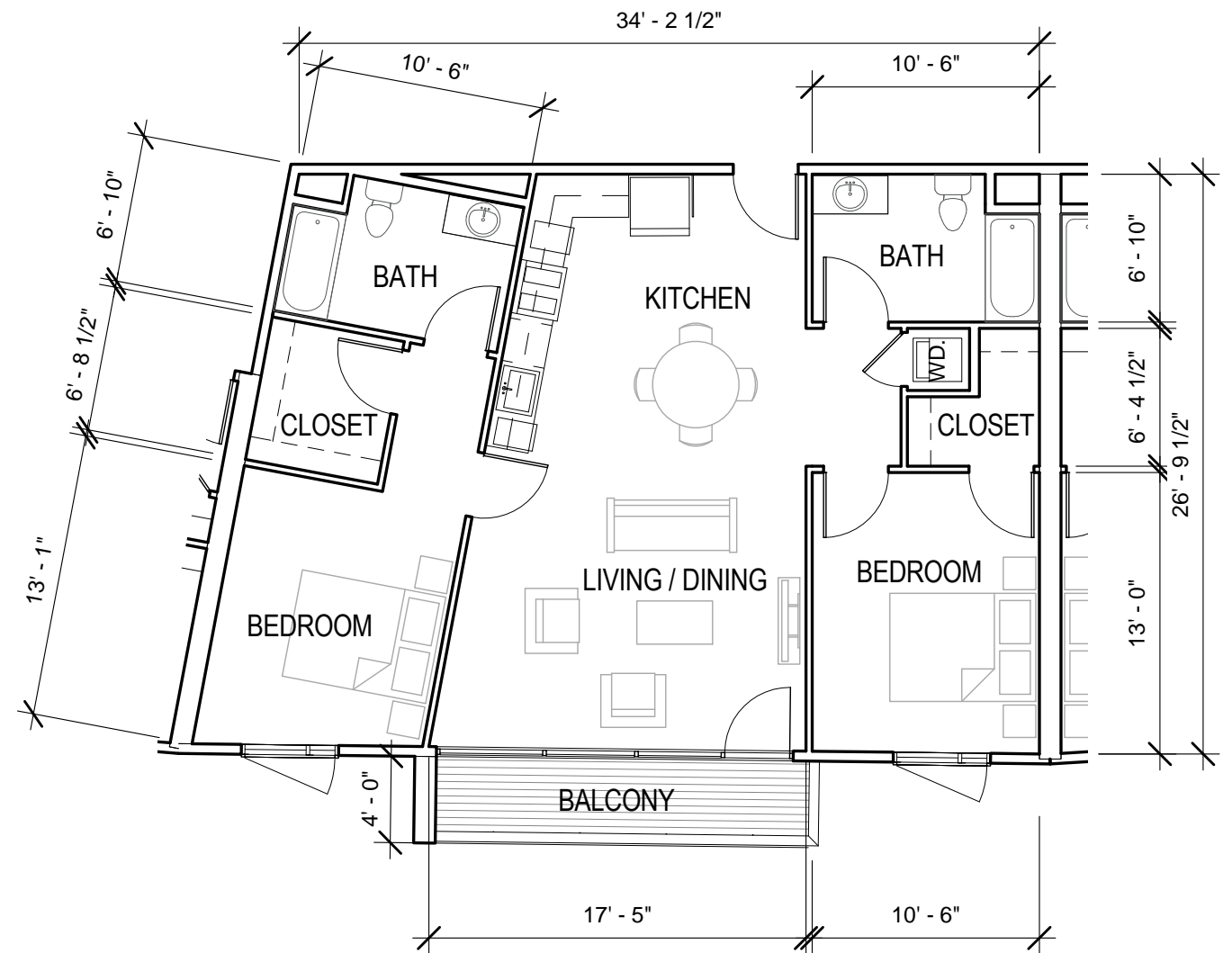
Unit 2B Floor Plan 2
 1/8" = 1'-0"
 1,199 SF, TYP. of (3)



Unit 2A Floor Plan 1
 1/8" = 1'-0"
 936 SF, TYP. of (2)



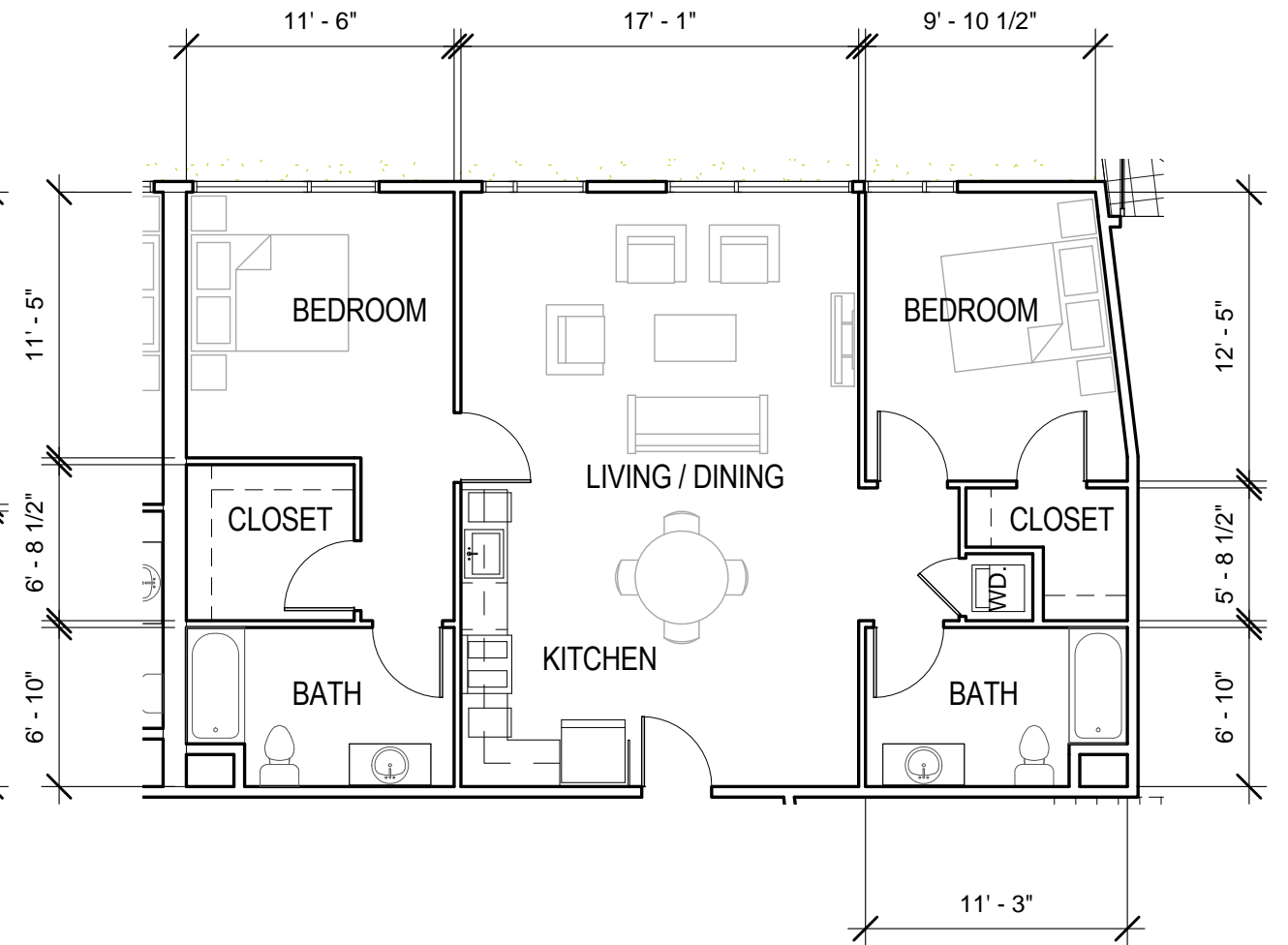
Unit 2D Floor Plan 3
 1/8" = 1'-0"
 967 SF, TYP. of (5)



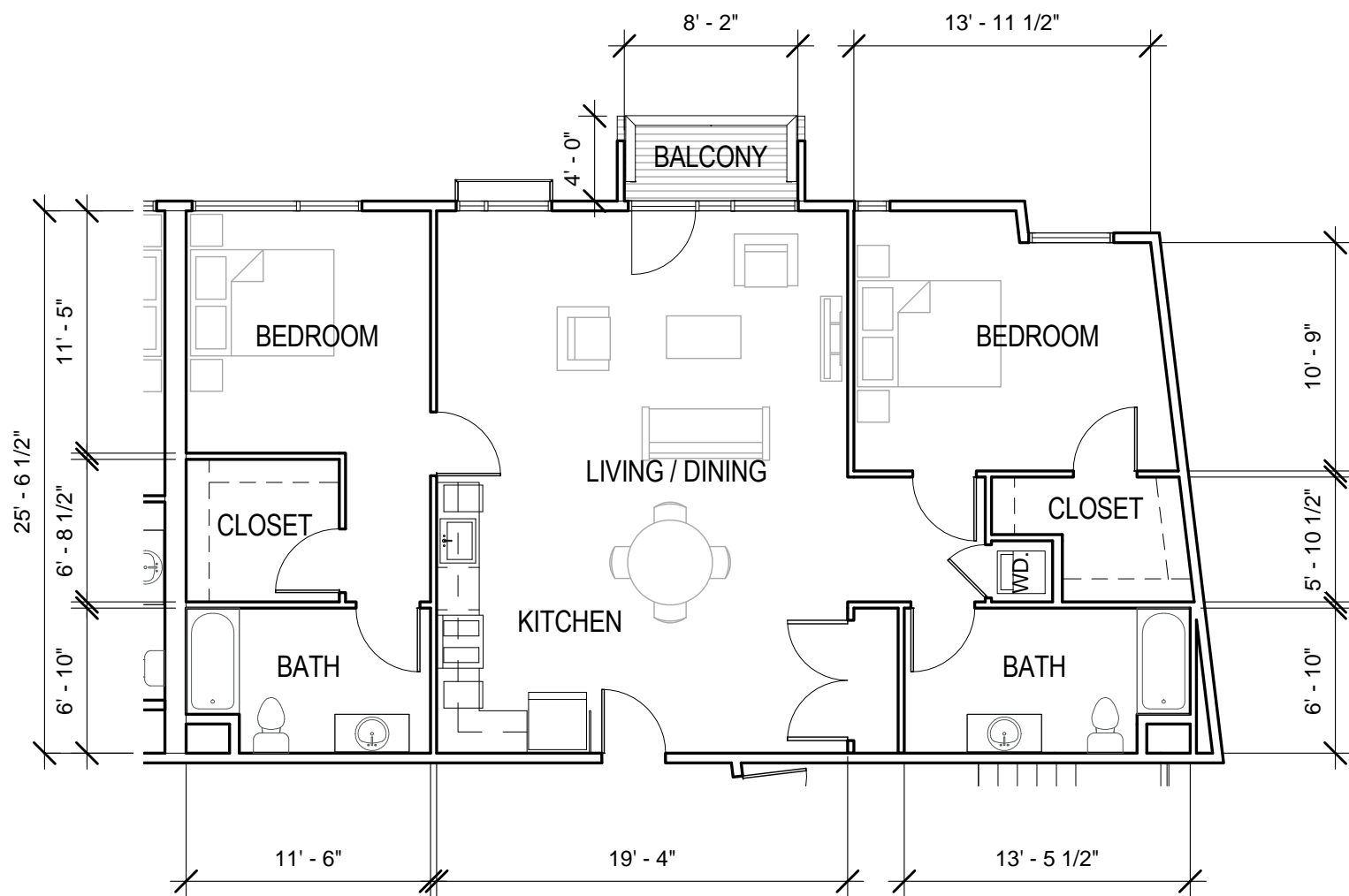
Unit 2C Floor Plan 1
 1/8" = 1'-0"
 976 SF, TYP. of (5)



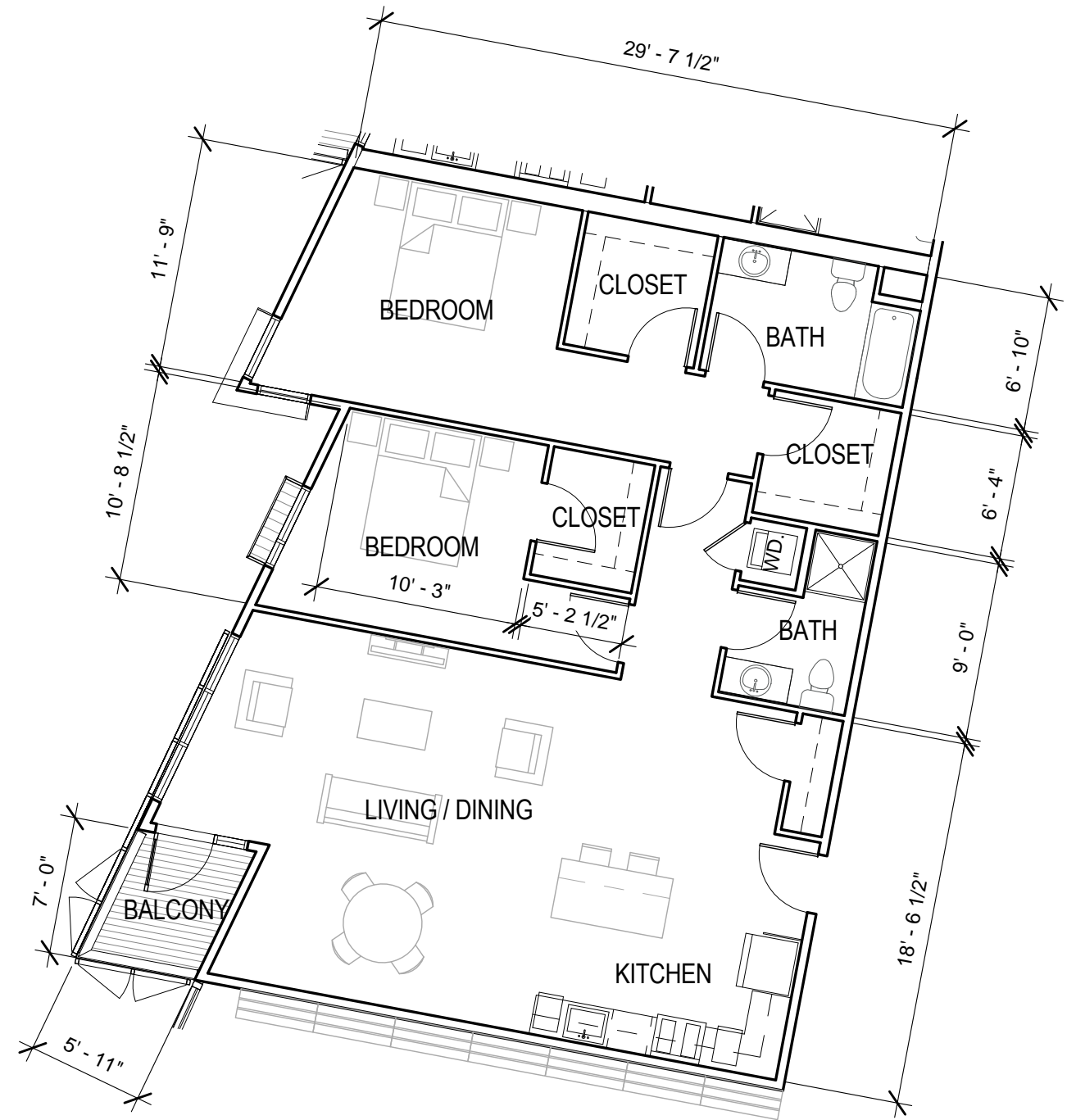
Unit 2F Floor Plan 2
 1/8" = 1'-0"
 1,273 SF, TYP. of (2)



Unit 2E Floor Plan 1
 1/8" = 1'-0"
 1,025 SF, TYP. of (1)



Unit 2H Floor Plan 2
 1/8" = 1'-0"
 1,185 SF, TYP. of (1)



Unit 2G Floor Plan 1
 1/8" = 1'-0"
 1,263 SF, TYP. of (2)

Unit Plans

1/8" = 1'-0"
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Oregon Grape, Mahonia Aquifolium

2'-6" High Concrete Wall @ Planter

(N) Oregon Grape, Drip Irrigated, Typical of (9)

EUCLID AVE.

(E) Driveway To Be Removed 18' - 0"

(N) Driveway

2'-6" High Concrete Wall @ Planter

(N) Oregon Grape, Drip Irrigated, Typical of (5)

(N) Residential Entry

Location of (N) Below Grade Storm Water Filtration System

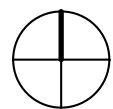
(N) London Plane Street Tree, Typical of (5) Along Euclid Ave.

(E) Driveway To Be Removed

(3) Existing Trees To Be Removed

522 Grand Ave. (E) Concrete Entry Stair

(E) London Plane Tree



(N) London Plane Street Tree, Typical of (4) Along Grand Ave.

(E) Driveway To Be Removed

GRAND AVE.

(E) Driveway To Be Removed

(E) London Plane Tree

BURK ST. (E) Driveway To Be Removed

1st Floor Landscape Plan

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Western Sword Fern, Polystichum Munitum



Coast Silk Tassel, Garrya Elliptica



Pacific Wax Myrtle, Myrica Californica



Yerba Buena, Satureja Douglasii

Pacific Wax Myrtle, Drip Irrigated,
Typical of (8) @ North Garden

Sword Fern, Drip Irrigated,
Typical of (22) @ North Garden

Yerba Buena, Drip Irrigated,
Typical of (22) @ North Garden

Property Line



Pacific Wax Myrtle, Drip Irrigated, Typical of (2)

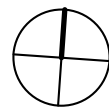
Concrete Pavers

Pacific Wax Myrtle, Drip Irrigated, Typical of (5)

Coast Silk Tassel, Drip Irrigated, Typical of (7) @ Courtyard

Sword Fern, Drip Irrigated, Typical of (14)

2'-6" High Concrete Wall @ Planter, Typical



2nd Floor Landscape Plan

1" = 20'-0"
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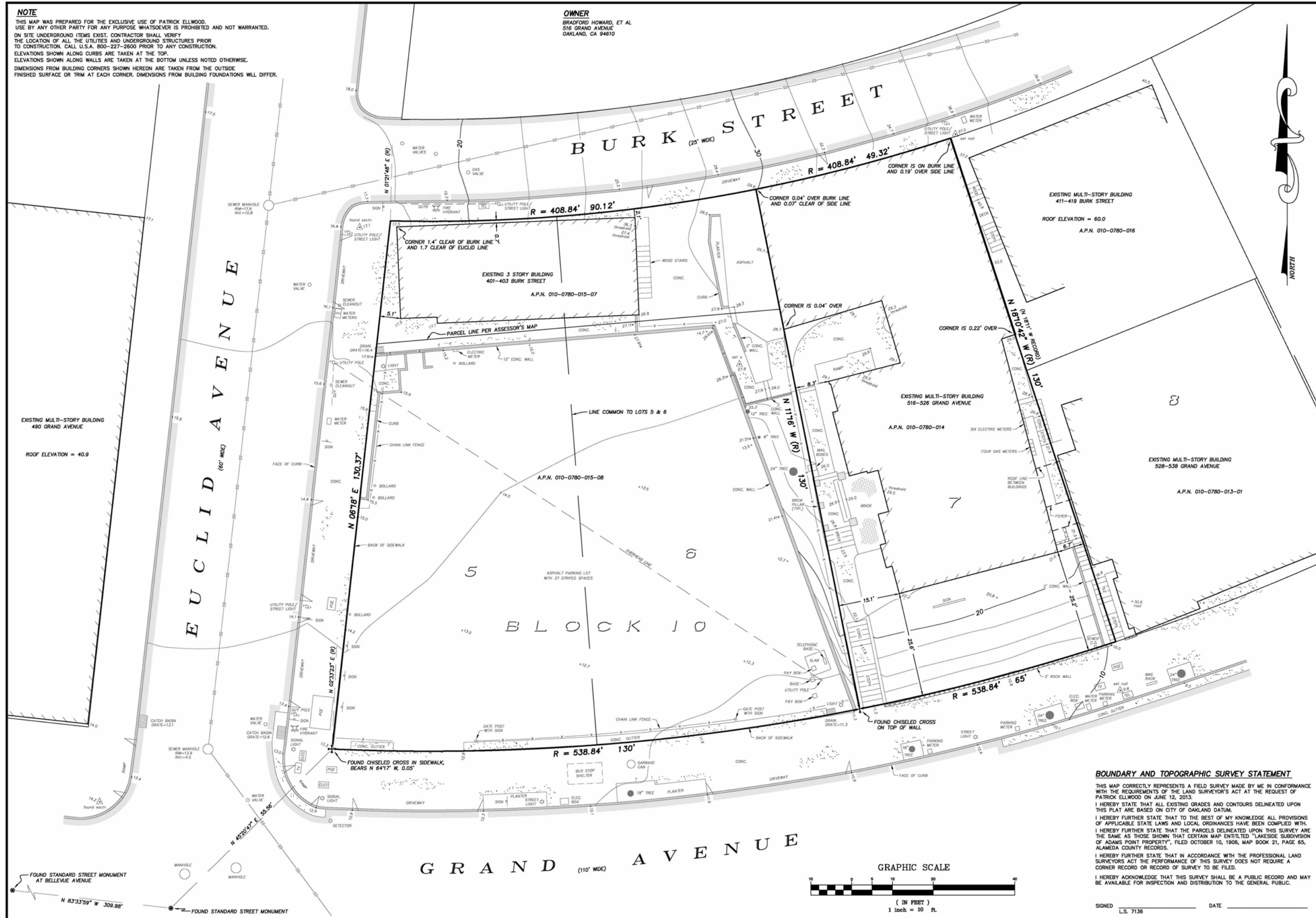
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920 Grayson Street | Berkeley, CA 94710
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NOTE
 THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF PATRICK ELLWOOD.
 USE BY ANY OTHER PARTY FOR ANY PURPOSE WHATSOEVER IS PROHIBITED AND NOT WARRANTED.
 ON SITE UNDERGROUND ITEMS EXIST, CONTRACTOR SHALL VERIFY
 THE LOCATION OF ALL THE UTILITIES AND UNDERGROUND STRUCTURES PRIOR
 TO CONSTRUCTION. CALL U.S.A. 800-227-2600 PRIOR TO ANY CONSTRUCTION.
 ELEVATIONS SHOWN ALONG CURBS ARE TAKEN AT THE TOP.
 ELEVATIONS SHOWN ALONG WALLS ARE TAKEN AT THE BOTTOM UNLESS NOTED OTHERWISE.
 DIMENSIONS FROM BUILDING CORNERS SHOWN HEREON ARE TAKEN FROM THE OUTSIDE
 FINISHED SURFACE OR TRIM AT EACH CORNER. DIMENSIONS FROM BUILDING FOUNDATIONS WILL DIFFER.

OWNER
 BRADFORD HOWARD, ET AL
 516 GRAND AVENUE
 OAKLAND, CA 94610



REVISIONS

JOB: 13011
 SCALE: 1"=10'
 ENGINEER: D.V.
 DATE: 6/12/13



BOUNDARY & TOPOGRAPHIC SURVEY
 FOR ELLWOOD COMMERCIAL REAL ESTATE
 LOTS 5, 6 & 7 - BLOCK 10
 "LAKESIDE SUBD. OF ADAMS POINT PROPERTY" - (21 M 65)
 OAKLAND - ALAMEDA COUNTY - CALIFORNIA

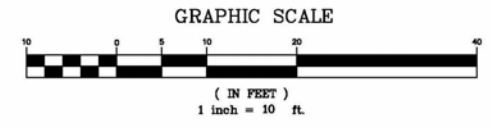
LAND SURVEYOR
 3527 MT. DIABLO BLVD., #368
 LAFAYETTE, CALIFORNIA
 925-947-0501



SHEET 1
 OF 1 SHEETS

BOUNDARY AND TOPOGRAPHIC SURVEY STATEMENT
 THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF PATRICK ELLWOOD ON JUNE 12, 2013.
 I HEREBY STATE THAT ALL EXISTING GRADES AND CONTOURS DELINEATED UPON THIS PLAN ARE BASED ON CITY OF OAKLAND DATUM.
 I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.
 I HEREBY FURTHER STATE THAT THE PARCELS DELINEATED UPON THIS SURVEY ARE THE SAME AS THOSE SHOWN THAT CERTAIN MAP ENTITLED "LAKESIDE SUBDIVISION OF ADAMS POINT PROPERTY", FILED OCTOBER 10, 1906, MAP BOOK 21, PAGE 65, ALAMEDA COUNTY RECORDS.
 I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE PROFESSIONAL LAND SURVEYORS ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A CORNER RECORD OR RECORD OF SURVEY TO BE FILED.
 I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE A PUBLIC RECORD AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.

SIGNED _____ DATE _____
 L.S. 7136



13011-ELLWOOD-6/20/13

ASSESSOR'S MAP 10

Code Area No. 17-001

10

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PAGE 2

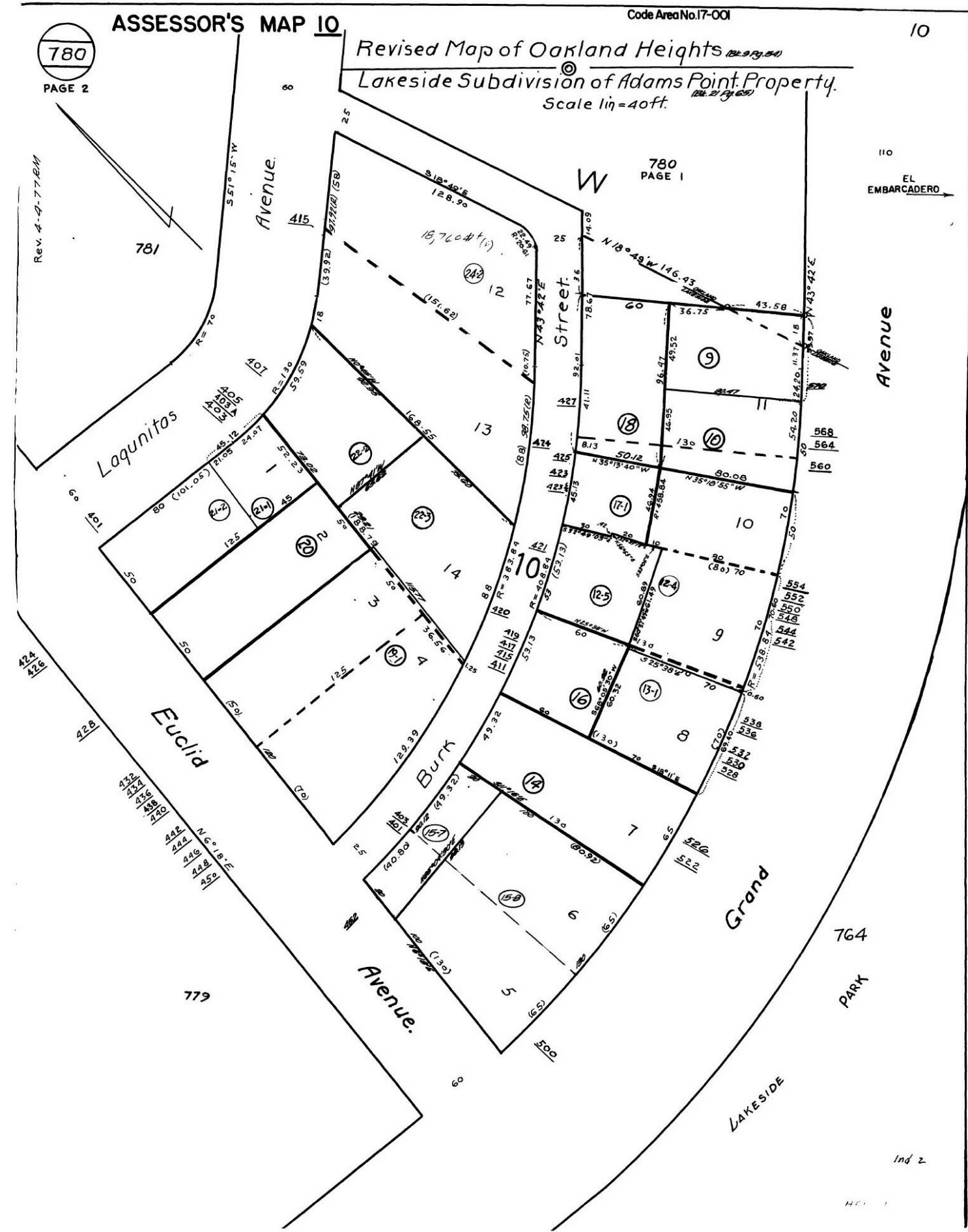
Revised Map of Oakland Heights
Lakeside Subdivision of Adams Point Property.
Scale 1 in = 40 ft.

Rev. 4-9-77EM

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PAGE 1

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