880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS, OAKLAND, CA

ABBREVIATIONS

A/C	AIR CONDITIONING
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ALT.	ALTERNATE
APPROX.	APPROXIMATELY
ARCH.	ARCHITECT(URAL)
A.C.T.	ACOUSTIC CEILING TILE
B.BD.	TELEPHONE BACK BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BOT.	BOTTOM
℄ /CL	CENTER LINE
CAB.	CABINET
C.G.	CORNER GUARD
CHG.	CHANGE
CLG.	CEILING
CLOS.	CLOSET
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION
CORR.	CORRIDOR
C.T.	CERAMIC TILE
CTR.	CENTER
DET.	DETAIL
DIA/ϕ	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
DS.	DOWN SPOUT
(E)	EXISTING
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXP.	EXPANSION
EXPOS.	EXPOSED
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
FIN.	FINISH
FL.	FLOOR
FLASH.	FLASHING
FLUOR.	FLUORESCENT
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
FPRF.	FIREPROOF
FURR.	FURRING
GA.	GAGE
GALV.	GALVANIZED
G.C.	GENERAL CONTRACTOR
GL.	GLASS
GR.	GRADE
GYP. BD.	GYPSUM BOARD
H.B.	HOSE BIB
HC	HANDICAPPED
H.C.	HOLLOW CORE
HDWR.	HARDWARE
HGT.	HEIGHT
H.M.	HOLLOW METAL
HP	HIGH POINT
HR.	HOUR
H.W.	HOT WATER
INSUL.	INSULATION/INSULATED
INT.	INTERIOR
JAN.	JANITOR
JT.	JOINT
L.P.	LOW POINT
MAX	MAXIMUM
M.C.	MEDICINE CABINET
M.D.	MOTION DETECTOR
MECH.	MECHANICAL
MIN	MINIMUM
MTD.	MOUNTED
MTL.	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OFF.	OFFICE
OPNG.	OPENING
OPP.	OPPOSITE
O.T.B.	OPEN TO BELOW
PR.	PAIR
P-LAM.	PLASTIC LAMINATE
PTD.	PAINTED
PLYWD.	PLYWOOD
P.O.	PRIVATE OFFICE
R	RISER
R.D.	ROOF DRAIN
REQ.	REQUIRED
RM.	ROOM
R.O.	ROUGH OPENING
S.C.	SOLID CORE
STOR.	STORAGE
SHT.	SHEET
SIM.	SIMILAR
STRL.	STRUCTURAL
T	TREAD
T&G	TONGUE AND GROOVE
TEL.	TELEPHONE
T.O.	TOP OF
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
WD.	WOOD
W.P.	WATERPROOF

LEGEND

- DETAIL REFERENCE NUMBER / SHEET WHERE DETAIL IS LOCATED
- DIRECTION OF SECTION VIEW / INTERIOR SECTION IDENTIFICATION / SHEET WHERE SECTION IS LOCATED
- SHEET WHERE ELEVATION IS LOCATED / ELEVATION REFERENCE NUMBER
- DOOR SYMBOL
- WINDOW SYMBOL
- WALL / FLOOR TYPE SYMBOL
- ELEVATION DATUM
- CEILING HEIGHT
- REVISION SYMBOL
- RD ROOF DRAIN
- FD FLOOR DRAIN
- GAS HOOK-UP
- HOSE BIB
- WALL-MOUNTED INCANDESCENT SCONCE LIGHT FIXTURE
- WALL-MOUNTED FLUORESCENT SCONCE LIGHT FIXTURE
- WALL-MOUNTED SCONCE LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING
- RECESSED FLUORESCENT LIGHT FIXTURE AT CEILING
- SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE AT CEILING
- COMBINATION EXHAUST FAN AND FLUORESCENT LIGHT FIXTURE, RECESSED AT CEILING
- HEAT LIGHT
- SURFACE-MOUNTED FLUORESCENT STRIP LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)
- SURFACE-MOUNTED TRACK LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)
- 2'X4' SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE WITH WRAP AROUND LENS
- 1'X4' SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE WITH WRAP AROUND LENS
- EMERGENCY LIGHT FIXTURE WITH BATTERY PACK, CEILING OR WALL-MOUNTED
- EXIT LIGHT FIXTURE WITH BATTERY BACK-UP, CEILING OR WALL-MOUNTED (WITH DIRECTIONAL - HATCHED IN DIRECTION REQUIRED)
- SD CEILING-MOUNTED SMOKE DETECTOR
- GD GARBAGE DISPOSAL
- ONE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.
- TWO-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.
- THREE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.
- DUPLEX OUTLET, MOUNTED AT +15" A.F.F, U.O.N.
- DUPLEX OUTLET (WATERPROOF) MOUNTED AT +15" A.F.F, U.O.N.
- DUPLEX OUTLET, (DEDICATED) MOUNTED AT +15" A.F.F, U.O.N.
- DUPLEX OUTLET, WITH GROUND FAULT INTERRUPTOR, MOUNTED AT +44" A.F.F, U.O.N.
- DUPLEX OUTLET (FOR DISHWASHER), MOUNTED UNDER KITCHEN CABINET
- DUPLEX OUTLET (FOR WASHER/DRYER) MOUNTED AT ???????????
- TELEPHONE JACK, MOUNTED AT +15" A.F.F., U.O.N.
- DATA JACK, MOUNTED AT +15" A.F.F., U.O.N.
- DOORBELL, MOUNTED AT +48" A.F.F., U.O.N.
- TV TELEVISION CABLE JACK, MOUNTED AT +15" A.F.F., U.O.N.

GENERAL NOTES

GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.

EXISTING CONDITIONS: CONDITIONS SHOWN OF THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.

PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REIMBURSABLE TO THE G.C.

CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.

SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.

CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.

PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.

ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.

"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.

"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S AND CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.

SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.

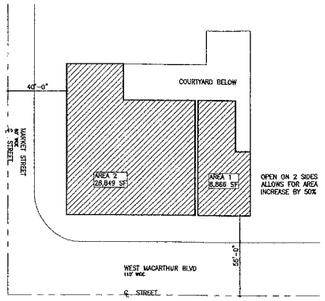
GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK.

COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS.

DRAWINGS FOR PERMIT & DESIGN INTENT ONLY; CONSTRUCTION DETAILS OF WEATHERPROOFING AND SOUNDPROOFING RESPONSIBILITY OF CONTRACTOR.

PROJECT DESCRIPTION

NEW 5-STORY, 39-UNIT RESIDENTIAL BUILDING. PARKING AT GROUND FLOOR WITH 4-STORIES RESIDENTIAL ABOVE.



BUILDING DATA

OCCUPANCY	R-1	S-3
LOCATION	FLOORS 2-5	GROUND FLOOR
CONSTRUCTION*	TYPE V-1HR	TYPE 1 F.R.
ALLOWABLE AREA	31500 SF (10500 X 2 PER CBC 504.2 X 50% AREA INCREASE PER CBC 505.1.1)	UNLIMITED
PROPOSED AREA	AREA 1: 8,866 SF** AREA 2: 28,849 SF** TOTAL: 37,715 SF	12,683 SF
ALLOWABLE HEIGHT	50'-0"	UNLIMITED
PROPOSED HEIGHT	48'-0" AVG.	8'-0" ABOVE GRADE
ALLOWABLE STORIES	3+1=4***	UNLIMITED
EXTERIOR OPENING PROTECTION	ALLOWED: 5'-0"	ALLOWED: 20'-0"
SPRINKLERED	YES	YES
OCCUPANT LOAD	RESIDENTIAL: 2ND FL: 9632/200 = 48 3RD FL: 9670/200 = 48 4TH FL: 9684/200 = 48 5TH FL: 8580/200 = 43 ASSEMBLY: 1ST FL LOBBY: 450/15 = 30 2ND FL COURTYARD: 3270/15 = 218 TOTAL: 435	PARKING: 1ST FL: 11800/200 = 59 TOTAL: 59
	TOTAL BUILDING OCCUPANTS: 494	

*3 HR SEPARATION BETWEEN R-1 & S-3 OCCUPANCIES
**2 HR AREA SEPARATION WALLS BETWEEN AREAS
***FULLY SPRINKLERED FOR 1-STORY ALLOWABLE INCREASE, UNDER SEPARATE PERMIT

CONTACT LIST

OWNER: STEPHEN O'KANE
415/759-0574
415/504-6768 FAX
CONTACT: STEPHEN O'KANE

ARCHITECT: LEVY DESIGN PARTNERS
90 SOUTH PARK
SAN FRANCISCO, CA 94107
415/777-0561
415/777-5117 FAX
CONTACT: TOBY LEVY, FAIA

CIVIL: SAMUEL KUSHNER
LAND SURVEYOR
21 DIAZ PLACE
OAKLAND, CA 94611
510/339-1728

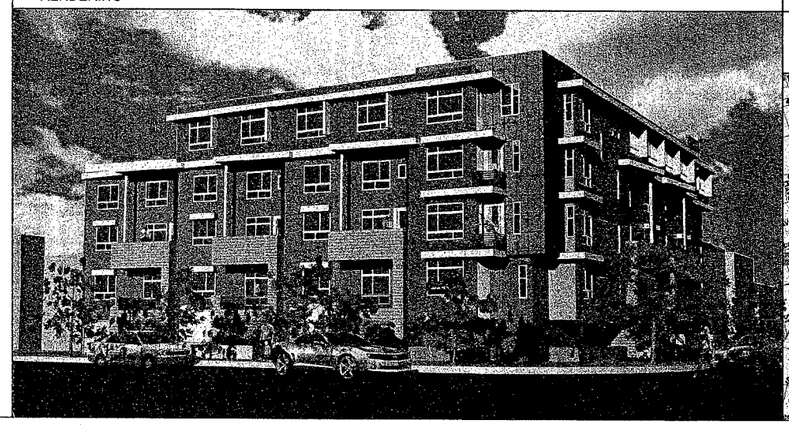
STRUCTURAL: SANTOS & URRUTIA
2451 HARRISON STREET
SAN FRANCISCO, CA 94107
415/642-7722
415/642-7590 FAX
CONTACT: RODRIGO SANTOS

MECHANICAL: ACIES
111 W. EVELYN AVE.
SUITE 301
SUNNYVALE, CA 94086
408/522-5255
408/522-5260 FAX
CONTACT: ALEX PETROVIC

ACOUSTICS: WALSH NORRIS & ASSOCIATES
225 BUSH STREET, SUITE 353
SAN FRANCISCO, CA 94104
415/391-2166
415/391-0727 FAX
CONTACT: DAVID WALSH

DRAWING INDEX

RENDERING



AREA MAP

LEVY DESIGN PARTNERS
90 South Park
San Francisco
CA 94107

880 WEST MacARTHUR BLVD.
39 RESIDENTIAL UNITS, OAKLAND, CA

PROGRESS SET
11/20/2006
NOT FOR CONST.

880 West MacArthur Blvd.
A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

DATE	ISSUE
04-05-06	PLANNING SUBMITTAL
06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

CONTACTS:
DEVI DUTTA-CHOUDHURY
(415) 777-0561 P
(415) 777-5117 F
devi@levydesignpartners.com

SCALE: AS NOTED

COVER SHEET

A0.0

CITY OF OAKLAND

250 FRANK H. OGAWA PLAZA, SUITE 2114 • OAKLAND, CALIFORNIA 94612-2031

Community and Economic Development Agency
Planning & Zoning Services Division

(510) 238-3911
FAX: (510) 238-4730
TDD: (510) 839-6451

September 7, 2006

Toby Levy
90 South Park
San Francisco, CA 94107

RE: **CASE FILE NO. CMDV06-178 & TPM-9239, 880 West MacArthur Blvd. (012-0959-021-01)**

Dear Applicant,

Your application as noted above was **approved** at the City Planning Commission meeting on: **September 6, 2006.**

Commission action is indicated below.

(X) Granted with required conditions. - **(Vote: +5, -0)**

An Appeal to the City Council of this decision may be submitted within ten (10) calendar days after the date of the hearing, which is Monday September 18th by 4:00 p.m. An appeal shall be on a form provided by the Planning and Zoning Division of the Community and Economic Development Agency, and submitted to the same at 250 Frank H. Ogawa Plaza, Suite 2114, to the attention of **Peterson Z. Vollmann, Planner III.** The appeal shall state specifically wherein it is claimed there was error or abuse of discretion by the Planning Commission or wherein their decision is not supported by substantial evidence and must include payment of $710.31 in accordance with the City of Oakland Master Fee Schedule. The appeal itself must raise each and every issue that is contested, along with all the arguments and evidence in the record which supports the basis of the appeal; failure to do so may preclude you from raising such issues during your appeal and/or in court. If you challenge a Commission decision in court, you may be limited to issues raised at the hearing or in correspondence delivered to the Zoning Division, Community and Economic Development Agency, at, or prior to, the Appeal hearing. Any party seeking to challenge in court those decisions that are final and not administratively appealable to the City Council must do so within ninety (90) days of the date of the announcement of the Commission's final decision.

If you have any questions please contact the case planner **Peterson Z. Vollmann** at **(510) 238-6167** or by email at **pvollman@oaklandnet.com.**

Very truly yours,

SCOTT MILLER,
Zoning Manager

CONDITIONS OF APPROVAL

STANDARD CONDITIONS:

1. **Approved Use.**
   a. ***Ongoing.***
   The project shall be constructed and operated in accordance with the authorized use as described in this staff report and the plans submitted on **June 21, 2006** and as amended by the following conditions. Any additional uses or facilities other than those approved with this permit, as described in the project description and approved plans, will require a separate application and approval. All proposals for future commercial uses shall require separate zoning clearances.

2. **Effective Date, Expiration, and Extensions**
   a. ***Ongoing.***
   This permit shall become effective upon satisfactory compliance with these conditions. This permit shall expire on September 6, 2008, unless actual construction or alteration, or actual commencement of the authorized activities in the case of a permit not involving construction or alteration, has begun under necessary permits by this date. Upon written request and payment of appropriate fees submitted no later than the expiration date, the Zoning Administrator may grant a one-year extension of this date, with additional extensions subject to approval by the City Planning Commission.

3. **Scope of This Approval; Major and Minor Changes**
   a. ***Ongoing.***
   The project is approved pursuant to the Planning Code only and shall comply with all other applicable codes, requirements, regulations, and guidelines imposed by other affected departments, including but not limited to the Building Services Division and the Fire Marshal. Minor changes to approved plans may be approved administratively by the Zoning Administrator; major changes shall be subject to review and approval by the City Planning Commission.

4. **Modification of Conditions or Revocation**
   a. ***Ongoing.***
   The City Planning Commission reserves the right, after notice and public hearing, to alter Conditions of Approval or revoke this conditional use permit if it is found that the approved use or facility is violating any of the Conditions of Approval, any applicable codes, requirements, regulation, guideline or causing a public nuisance.

5. **Reproduction of Conditions on Building Plans**
   a. ***Prior to issuance of building permit.***
   These conditions of approval shall be reproduced on page one of any plans submitted for a building permit for this project.

6. **Indemnification**
   a. ***Ongoing.***
   The applicant shall defend, indemnify, and hold harmless the City of Oakland, its agents, officers, and employees from any claim, action, or proceeding (including legal costs and attorney's fees) against the City of Oakland, its agents, officers or employees to attack, set aside, void or annul, an approval by the City of Oakland, the Office of Planning and Zoning Division, Planning Commission, or City Council relating to this project. The City shall promptly notify the applicant of any claim, action or proceeding and the City shall cooperate fully in such defense. The City may elect, in its sole discretion, to participate in the defense of said claim, action, or proceeding.

STANDARD CONDITIONS FOR NEW CONSTRUCTION:

7. **Waste Reduction and Recycling**
   a. ***Prior to issuance of a building permit***
   The applicant may be required to complete and submit a "Waste Reduction and Recycling Plan," and a plan to divert 50 percent of the solid waste generated by the operation of the project, to the Public Works Agency for review and approval, pursuant to City of Oakland Ordinance No. 12253. Contact the City of Oakland Environmental Services Division of Public Works at (510) 238-7073 for information.

8. **Recycling Space Allocation Requirements**
   a. ***Prior to issuance of building permit***
   The design, location and maintenance of recycling collection and storage areas must substantially comply with the provision of the Oakland City Planning Commission "Guidelines for the Development and Evaluation of Recycling Collection and Storage Areas", Policy 100-28. A minimum of two cubic feet of storage and collection area shall be provided for each dwelling unit and for each 1,000 square feet of commercial space.

STANDARD CONDITIONS FOR MAJOR PROJECTS:

9. **Air Quality**
   a. ***Prior to commencement of construction activity***
   The contractor shall implement a construction dust abatement program including the following measures:
   i. Twice-daily watering of the project site during construction to reduce dust emissions.
   ii. Following best management practices such as (i) watering all active construction areas at least twice daily; (ii) covering all trucks hauling soil and other loose materials or requiring trucks to maintain at least two feet of freeboard; (iii) paving, applying water three times daily, or applying non-toxic stabilizers on all unpaved access roads, parking areas, and staging areas at the construction site; (iv) sweeping daily with water sweepers all unpaved access roads, parking areas, and staging areas at the construction site; and (v) sweeping streets daily with water sweepers if visible soil material is carried onto adjacent public streets.
   iii. Routing temporary haul roads to the soil stockpile away from existing neighboring land uses, surfacing these temporary roads with gravel, and implementing a program to regularly water or apply an appropriate dust suppressant to control for dust.
   iv. Utilizing water sprays to control dust when material is being added or removed from the soil stockpile or when the stockpile remains undisturbed for more than a week treating the stockpile with a dust suppressant or crusting agent to eliminate windblown dust generation.
   v. Providing neighboring properties located within 300 feet of the subject property lines with name and phone number of a designated dust control coordinator who shall respond to complaints within 24 hours by suspending dust producing activities or providing additional personnel or equipment for dust control as deemed necessary. The phone number of the BAAQMD pollution complaints contact shall be provided. The dust control coordinator shall be on-call during construction hours and shall maintain a log of complaints received and remedial actions taken in response. The log shall be submitted to City staff upon request.

10. **Hydrology and Water Quality**
    a. ***Prior to commencement of construction activity***
    If required the project sponsor shall prepare, for City review and approval, and implement a Storm Water Pollution Prevention Plan (SWPPP) to reduce potential impacts to surface water quality during project construction.

11. **Construction Hours for Major Projects**
    a. ***During all construction activities.***
    Construction hours will be limited to be between 7:00AM to 7:00PM, Monday through Friday. Subject to prior authorization of the Building Services Division and the Planning and Zoning Division, no construction activities shall be allowed on Saturdays until after the building is enclosed, and then only within the interior of the building with the doors and windows closed. Saturday construction activity prior to the building being enclosed shall be evaluated on a case by case basis, with criteria including the proximity of residential uses and a survey of residents preferences for whether Saturday activity is acceptable if the overall duration of construction is shortened. No construction activity shall take place on Sundays or Federal holidays.

12. **Construction Staging and Phasing Plan**
    a. ***Prior to issuance of any demolition, grading or building permit.***
    The project applicant and construction contractor shall meet with the Traffic Engineering and Parking Division of the Oakland Public Works Agency (PWA) and other appropriate City of Oakland agencies to determine traffic management strategies to reduce traffic congestion and the effects of parking demand, to the maximum feasible extent, by construction workers during construction of this project and other nearby projects that could be simultaneously under construction.

    The project applicant shall submit a construction management and staging plan to the Building Services Division with the application for the first building permit for the project for review and approval. The plan shall include at least the following items and requirements:

    - A set of comprehensive traffic control measures, including scheduling of major truck trips and deliveries to avoid peak traffic hours, detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes.
    - Provision for parking management and spaces for all construction workers to ensure that construction workers do not park in on-street spaces.
    - Notification procedures for adjacent property owners and public safety personnel regarding when major deliveries, detours and lane closures will occur.
    - Provision for accommodation of pedestrian flow.
    - Location of construction staging areas.
    - Provisions for monitoring surface streets used for haul routes so that any damage and debris attributable to the haul trucks can be identified and corrected.
    - A temporary construction fence to contain debris and material and to secure the site.
    - Provisions for removal of trash generated by project construction activity.
    - Dust control measures as set forth in Condition #9.
    - A process for responding to, and tracking, complaints pertaining to construction activity, including the identification of an on-site complaint manager.

13. **Public Improvements Plan**
    a. ***Prior to issuance of a building permit.***
    The applicant shall submit Public Improvement Plans for adjacent public rights-of-way showing all proposed improvements and compliance with conditions of approval and City requirements, including but not limited to curbs, gutters, sewer laterals, storm drains, street trees, paving details, locations of transformers and other above-ground utility structures, the design, specifications locations of facilities required by the East Bay Municipal Utility District (EBMUD), street lighting, on-street parking and accessibility improvements compliant with applicable standards, and any other improvements or requirements for the project as provided for in this approval. Encroachment permits shall be obtained as necessary for any applicable improvements. The Planning and Zoning Division, Building Services Division and the Public Works Agency will review and approve designs and specifications for the improvements. Improvements shall be completed prior to issuance of certificate of occupancy.

14. **Undergrouned Utilities.**
    a. ***Prior to issuance of building permits.***
    The applicant shall submit plans for review and approval of the Planning and Zoning Division, Building Services Division and the Public Works Agency, and other relevant agencies as appropriate, plans that show all new electric and telephone facilities; fire alarm conduits; street light wiring; and other wiring, conduits, and similar facilities placed underground by the developer from the applicant's structures to the point of service. The plans shall show all electric and telephone facilities installed in accordance with standard specifications of the serving utilities.

15. **Exterior Materials Details**
    a. ***Prior to issuance of building permit.***
    The applicant shall submit for review and approval of the Planning and Zoning Division, plans that show the details of the exterior of each building including colors. These details shall include the labeling of all the materials and treatments proposed for the exterior of each building. The applicant shall also provide a material and color board for review and approval of the Planning and Zoning Division. All materials and treatments shall be of high quality that provides the building with significant visual interest. Material at ground level shall be made of durable material that can be maintained in an urban environment. Windows shall be articulated to provide a three inch minimum recess from the exterior building façade in order to create a sufficient shadow line. The final window details shall be submitted for review and approval.

16. **Landscape and Irrigation Plan**
    a. ***Prior to issuance of building permit.***
    The applicant shall submit for review and approval by the Planning and Zoning Division, a detailed landscape and irrigation plan prepared by a licensed landscape architect or other qualified person. Such plan shall show all landscaping on the site maintained by an automatic irrigation system or other comparable system. The landscaping plan shall include a detailed planting schedule showing sizes, quantities, and specific common and botanical names of plant species. Fire and drought-resistant species are encouraged.

17. **Landscaping Maintenance**
    a. ***Ongoing.***
    All landscaping areas and related irrigation shown on the approved plans shall be permanently maintained in neat and safe conditions, and all plants shall be maintained in good growing condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with all applicable landscaping requirements. All paving or other impervious surfaces shall occur only on approved areas.

18. **Street Trees**
    a. ***Prior to issuance of building permit.***
    The applicant shall provide one street tree (24 inch box) per 25 feet of linear frontage of the project site for review and approval of species, size at time of planting, and placement in the right-of-way, subject to review and approval by the Office of Parks and Recreation and Building Services.

19. **Meter Shielding**
    a. ***Prior to issuance of building permits.***
    The applicant shall submit for review and approval by the Planning and Zoning Division, plans showing the location of any and all utility meters, transformers, and the like located within a box set within the building, located on a non-street facing elevation, or screened from view from any public right of way.

20. **Tentative Parcel Map**
    a. ***Prior to certificate of occupancy***
    A Parcel Map shall be filed with the City Engineer within two (2) years from the date of approval of the Tentative Parcel Map, or within such additional time as may be granted by the Advisory Agency. Failure to file a Parcel Map within these time limits shall nullify the previous approval or conditional approval of the Tentative Parcel Map.

21. **Site Remediation**
    a. ***Prior to issuance of a building permit***
    All necessary remediation of the site and clearances from Alameda County shall be obtained prior to issuance of a building permit.

A signed Notice of Exemption (NOE) is enclosed certifying that the project has been found to be exempt from CEQA review. You may record the NOE, the Environmental Declaration, and the De Minimis Impact Findings at the Alameda County clerk's office at 1106 Madison Street, Oakland, CA 94612, at a cost of $25.00 made payable to the Alameda County Clerk. Please bring the original NOE related documents and five copies to the Alameda County Clerk, and return one date stamped copy to the Zoning Division, to the attention of **Peterson Z. Vollmann, Planner III.** Although recordation of the Notice of Exemption (NOE) is optional pursuant to Section 15062(d) of the California Environmental Quality Act (CEQA) Guidelines, recordation of the NOE reduces the statute of limitations on challenges to your project, based on environmental issues, to 35 days after the NOE is recorded with the County. In the absence of a recorded NOE, the statute of limitations for challenges extends to 180 days.

PLANNING DATA

ADDRESS:	880 WEST MACARTHUR BLVD, OAKLAND, CA 94608
A.P.N:	012_095902101
LOT SIZE:	16039.625 SF
ZONING DISTRICT:	PARCEL 1: C-25 PARCELS 2 & 3: C-30
GENERAL PLAN:	URBAN RESIDENTIAL
CODES:	2001 CALFORNIA BUILDING CODE (CBC) 2004 OAKLAND PLANNING CODE (OPC)
SCOPE OF WORK:	NEW 5-STORY RESIDENTIAL BUILDING WITH 39 UNITS; GROUND LEVEL PARKING; REAR COURTYARD
DENSITY:	URBAN RESIDENTIAL, GENERAL PLAN: MAX. ALLOWABLE RESIDENTIAL DENSITY: 1 UNITS/261 SF = 61.4 ALLOWABLE UNITS R-70 MAX ALLOWABLE: 1 UNIT/450 SF = 35.6 UNITS 39 RESIDENTIAL UNITS PROPOSED
UNIT MIX:	21 1BR/1BA FLATS, 790-952 SF EACH +18 1BR/1BA TOWNHOMES, 860-940 SF EACH 39 RESIDENTIAL UNITS
PARKING:	1 PARKING SPACE PER UNIT 39 TOTAL PARKING SPACES DISTRIBUTION: 20 STANDARD SPACES AT 8'-6" X 18'-0"* 13 COMPACT SPACES AT 7'-6" X 16'-0" 6 STACKED PARKING SPACES (SIZED PER MANUFACTURER'S SPECS) *INCLUDES 1 ADA VAN ACCESSIBLE SPACES
SETBACKS:	PARCEL 1 - INTERIOR LOT: FRONT (W. MACARTHUR): 10'-0" SIDE-EAST: 0'-0" GROUND FLOOR 10'-0" RESIDENTIAL LEVELS SIDE-WEST: 3'-8" REAR: 10'-0" PARCEL 2 & 3 - CORNER LOT: FRONT (W. MACARTHUR): 5'-0" SIDE (MARKET STREET): 10'-0" REAR: 5'-0" GROUND FLOOR 29'-0" RESIDENTIAL LEVELS
OPEN SPACE:	REQUIRED: 150 SF/UNIT COMMON OPEN SPACE CAN BE PROVIDED AT 60 SF PRIVATE OPEN SPACE + 30 SF COMMON OPEN SPACE PROVIDED: 18 FLATS WITH 75 SF PRIVATE DECKS 6 TOWNHOMES WITH 65 SF PRIVATE DECKS 24 TOTAL UNITS WITH PRIVATE OPEN SPACE X 30 SF = 720 REQUIRED COMMON OPEN 15 UNITS WITHOUT PRIVATE OPEN SPACE X 150 SF = 2250 REQUIRED COMMON OPEN 2970 SF TOTAL REQUIRED COMMON OPEN SPACE 2986 SF TOTAL PROVIDED COMMON OPEN SPACE AT REAR COURTYARD
BUILDING HEIGHTS:	50'-0" 40'-0" ALLOWABLE + 1/2 SETBACK

LEVY DESIGN PARTNERS
90 South Park
San Francisco
CA 94107

880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS, OAKLAND, CA

PROGRESS SET
11/20/2006

NOT FOR CONST.

880 West MacArthur Blvd.

A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

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CONTACTS:
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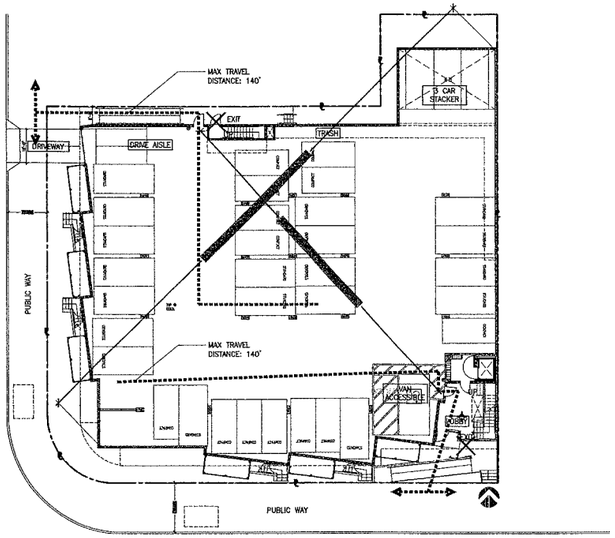
(415) 777-0561 P
(415) 777-5117 F
devi@levydesignpartners.com

SCALE: AS NOTED

PLANNING INFORMATION

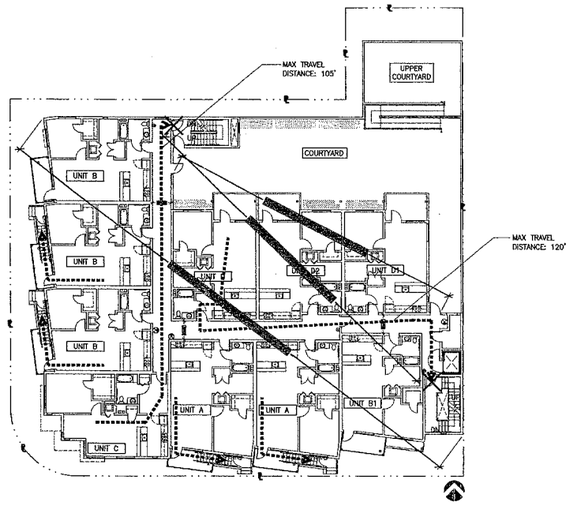
A0.1



GROUND LEVEL USE AND OCCUPANT LOADS		
	OCCUPANCY TYPE (USE)	
	S3 PARKING GARAGE	LOBBY
AREA (S.F.)	11800	450
OCCUPANT LOAD FACTOR	200	15
OCCUPANT LOAD*	59	30
EXITS REQUIRED*	2	1
MIN. EGRESS WIDTH**	44 INCHES	36 INCHES

TRAVEL DISTANCE	
MAX DIAGONAL DISTANCE	167'-1"
HALF MAX DIAGONAL DISTANCE	83'-7"
ACTUAL SEPARATION DISTANCE	105'-5"

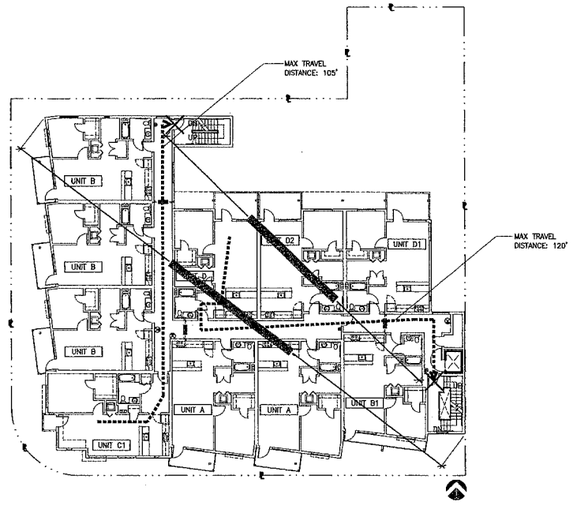
GROUND FLOOR



SECOND LEVEL USE AND OCCUPANT LOADS		
	OCCUPANCY TYPE (USE)	
	DWELLINGS (RESIDENTIAL R-1)	COURTYARD (A-3 ASSEMBLY)
AREA (S.F.)	9632	3270
OCCUPANT LOAD FACTOR	200	15
OCCUPANT LOAD*	48	218
EXITS REQUIRED*	2	2
MIN. EGRESS WIDTH**	36 INCHES	44 INCHES
PROVIDED EGRESS WIDTH	5'-6"	6'-0" (2)3'-0"DOORS
PROVIDED STAIR WIDTH	44 INCHES	44 INCHES

TRAVEL DISTANCE OF COURTYARD	
MAX DIAGONAL DISTANCE	99'-9"
HALF MAX DIAGONAL DISTANCE	49'-11"
ACTUAL SEPARATION DISTANCE	89'-7"
TRAVEL DISTANCE OF R-1	
MAX DIAGONAL DISTANCE	156'-6"
HALF MAX DIAGONAL DISTANCE	77'-9"
ACTUAL SEPARATION DISTANCE	104'-4"

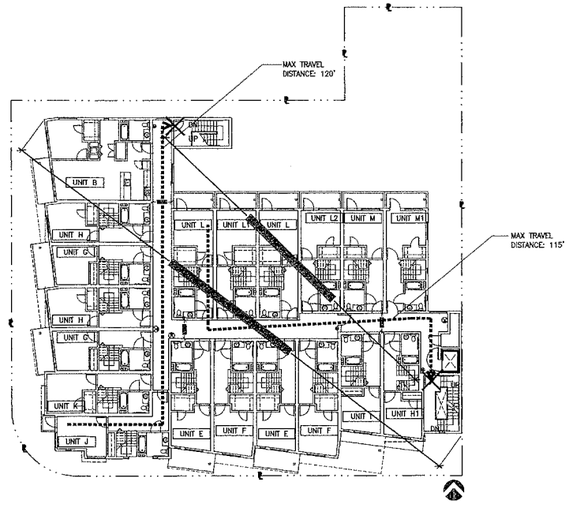
FLOOR 2



THIRD LEVEL USE AND OCCUPANT LOADS	
	OCCUPANCY TYPE (USE)
	DWELLINGS (RESIDENTIAL R-1)
AREA (S.F.)	9670
OCCUPANT LOAD FACTOR	200
OCCUPANT LOAD*	48
EXITS REQUIRED*	2
MIN. EGRESS WIDTH**	36 INCHES
PROVIDED EGRESS WIDTH	5'-6"
PROVIDED STAIR WIDTH	44 INCHES

TRAVEL DISTANCE	
MAX DIAGONAL DISTANCE	155'-7"
HALF MAX DIAGONAL DISTANCE	77'-9"
ACTUAL SEPARATION DISTANCE	104'-4"

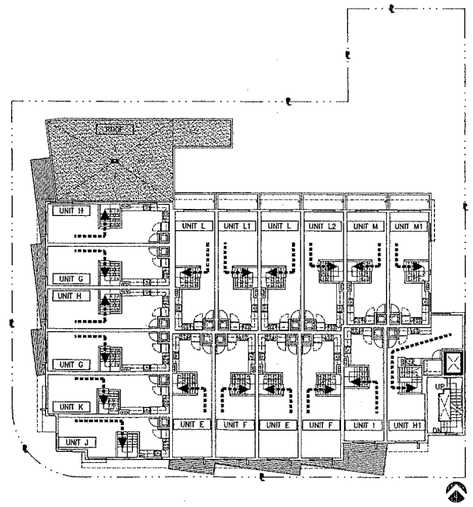
FLOOR 3



FOURTH LEVEL USE AND OCCUPANT LOADS	
	OCCUPANCY TYPE (USE)
	DWELLINGS (RESIDENTIAL R-1)
AREA (S.F.)	9684
OCCUPANT LOAD FACTOR	200
OCCUPANT LOAD*	48
EXITS REQUIRED*	2
MIN. EGRESS WIDTH**	36 INCHES
PROVIDED EGRESS WIDTH	5'-6"
PROVIDED STAIR WIDTH	44 INCHES

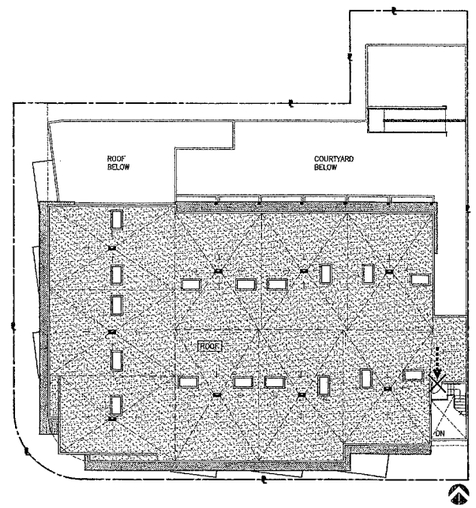
TRAVEL DISTANCE	
MAX DIAGONAL DISTANCE	155'-7"
HALF MAX DIAGONAL DISTANCE	77'-9"
ACTUAL SEPARATION DISTANCE	104'-4"

FLOOR 4



UPPER LEVEL OF TOWNHOUSE FIFTH LEVEL USE AND OCCUPANT LOADS, EXIT THROUGH UNIT TO 4TH FLOOR EGRESS	
	OCCUPANCY TYPE (USE)
	DWELLINGS (RESIDENTIAL R-1)
AREA (S.F.)	8580
OCCUPANT LOAD FACTOR	200
OCCUPANT LOAD*	43

FLOOR 5



* UNOCCUPIED ROOF. STAIR TO ROOF PROVIDED PER CBC 1003.3.3.11.

NOTES	LEGEND
1. OCCUPANT LOAD FACTOR PER CBC TABLE 10-A 2. EGRESS WIDTH TO APPLY TO STAIRS AND CORRIDORS PER CBC SECTION CHAPTER 10 AND TABLE 10-B 3. TRAVEL DISTANCE SHALL NOT EXCEED 250' PER CBC SECTION 1004.2.5.2.2	⊗ EXIT SIGN ▪▪▪▪ MAX PATH OF TRAVEL

ROOF

880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS, OAKLAND, CA

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90 South Park
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880 West MacArthur Blvd.

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OAKLAND, CA
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CONTACTS:
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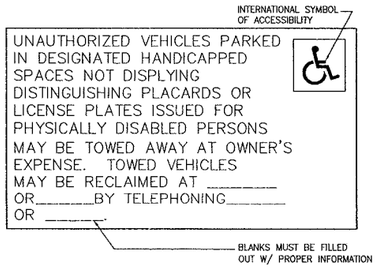
(415) 777-5117 F
devi@levydesignpartners.com

SCALE: 1" = 20'-0"

EGRESS SUMMARY

A0.2

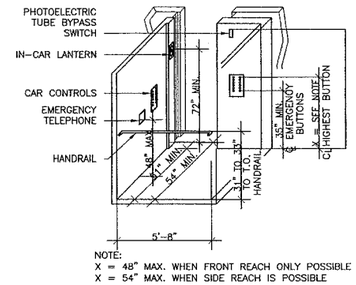
NOTE: ADDITIONAL "UNAUTHORIZED LOT" SIGNAGE MUST BE POSTED AT ENTRANCES TO OFF STREET PARKING FACILITIES OR ADJACENT TO OR VISIBLE FROM ALL ACCESSIBLE SPACES, 17" X 22" MIN. SIZE; SEE SEC. 1129B.5.



11 TYP. UNAUTHORIZED VEHICLES SIGNAGE
3"=1'-0"

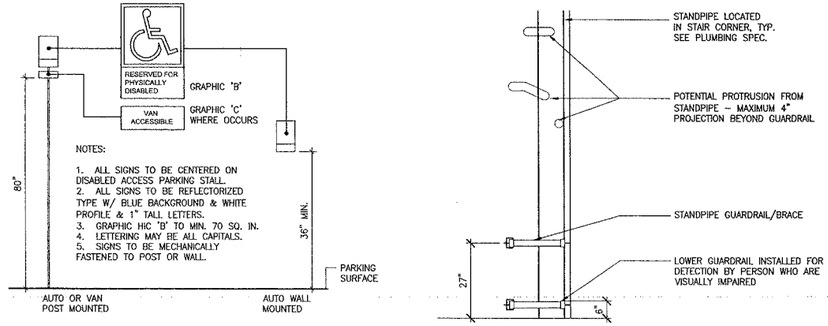
ELEVATOR NOTES:

1. IF TWO-WAY INTERCOMMUNICATION DEVICE IS IN CLOSED COMPARTMENT THEN DOOR MUST HAVE LEVER OR LOOP HARDWARE PER 1118.6.4
2. EMERGENCY INTERCOMMUNICATIONS SHALL NOT REQ. VOICE COMMUNICATION.
3. ELEVATOR MUST BE EQUIPPED W/ A DOOR REOPENING DEVICE THAT REOPENS DOOR WHEN OBSTRUCTED DURING CLOSING.
4. DOORS SHALL REMAIN FULLY OPEN WHEN ANSWERING A CALL FOR A MIN. OF 5 SECONDS.
5. MUST HAVE AN AUDIBLE & VERBAL ANNOUNCEMENT OR SIGNAL THAT SOUNDS TO TELL THE PASSENGERS THE CAR IS STOPPING AT OR PASSING A FLOOR.
6. AUDIBLE SIGNAL:
   1 BELL = UP
   2 BELLS = DOWN



NOTE:
X = 48" MAX. WHEN FRONT REACH ONLY POSSIBLE
X = 54" MAX. WHEN SIDE REACH IS POSSIBLE

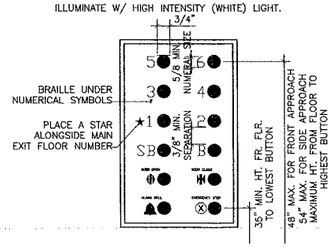
4 ELEVATOR CAB
1/4"=1'-0"



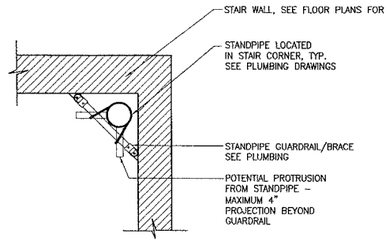
10 TYP. ACCESSIBLE PARKING STALL SIGN
3"=1'-0"

7 INTERIOR STAIR CORNER WITH STANDPIPE BRACE/GUARDRAIL
3/4"=1'-0"

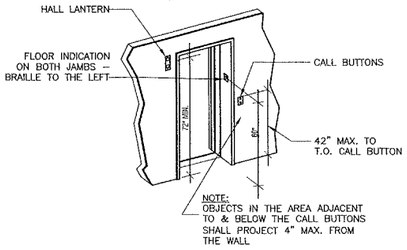
NOTES:
1. CONTROL BUTTONS SHALL BE RAISED 1/8", HAVE SQUARE SHOULDERS, MECHANICAL & ILLUMINATE WHEN PRESSED.
2. RAISED NUMBERS & LETTERS SHALL BE WHITE ON BLACK BACKGROUND
3. ENTIRE FACE OF LIGHTED BUTTONS MUST FULLY ILLUMINATE W/ HIGH INTENSITY (WHITE) LIGHT.



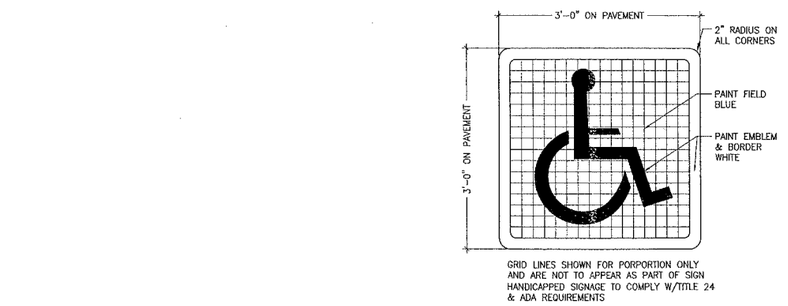
3 ELEVATOR CONTROL PANEL
3"=1'-0"



6 INTERIOR STAIR CORNER WITH STANDPIPE BRACE/GUARDRAIL
3/4"=1'-0"

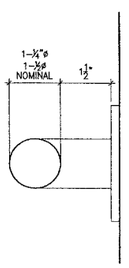


2 ELEVATOR ENTRY
1/4"=1'-0"

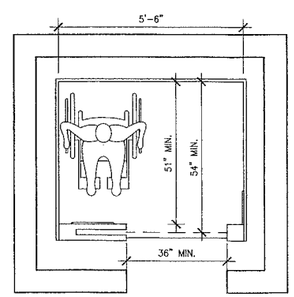


GRID LINES SHOWN FOR PORPORTION ONLY AND ARE NOT TO APPEAR AS PART OF SIGN
HANDICAPPED SIGNAGE TO COMPLY W/TITLE 24 & ADA REQUIREMENTS

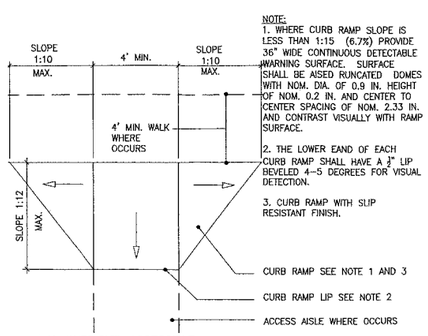
9 PAINTED ACCESSIBLE SIGN - ON GROUND AT PARK. STALL
1"=1'-0"



5 GRABRAIL SECTION, TYP.
6"=1'-0"



1 ELEVATOR CAB PLAN
1/2"=1'-0"

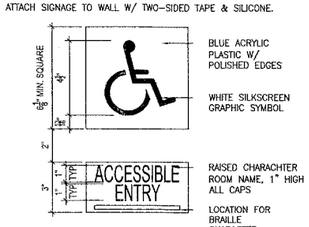


NOTE:
1. WHERE CURB RAMP SLOPE IS LESS THAN 1:15 (6.7%) PROVIDE 36" WIDE CONTINUOUS DETECTABLE WARNING SURFACE. SURFACE SHALL BE AISED RUNCATED DOMES WITH NOM. DIA. OF 0.9 IN. HEIGHT OF NOM. 0.2 IN. AND CENTER TO CENTER SPACING OF NOM. 2.33 IN. AND CONTRAST VISUALLY WITH RAMP SURFACE.
2. THE LOWER EAND OF EACH CURB RAMP SHALL HAVE A ½" LIP BEVELED 4-5 DEGREES FOR VISUAL DETECTION.
3. CURB RAMP WITH SLIP RESISTANT FINISH.

12 CURB CUT - ACCESSIBLE
1/4"=1'-0"

NOTE:

1. ROOM NAME TO BE RAISED 1/32" SANS SERIF, COLOR WHITE. BRAILLE TO BE GRADE 2 BRAILLE, COLOR WHITE.
2. SIGNAGE TO BE 1/4" THICK BLUE ACRYLIC PLASTIC TO MATCH FED. STND. 595b, COLOR #15090. SYMBOL TO BE SILK-SCREEN EPOXY OR VINYL, COLOR WHITE.
3. ATTACH SIGNAGE TO WALL W/ TWO-SIDED TAPE & SILICONE.



8 TYP. ACCESSIBLE SIGNAGE
3"=1'-0"

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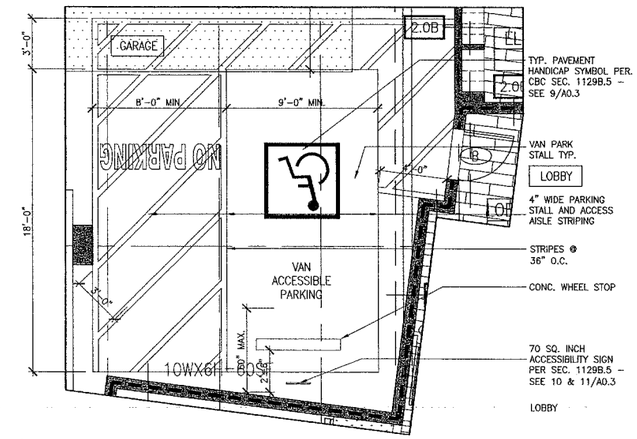
devi@levydesignpartners.com

SCALE: AS NOTED

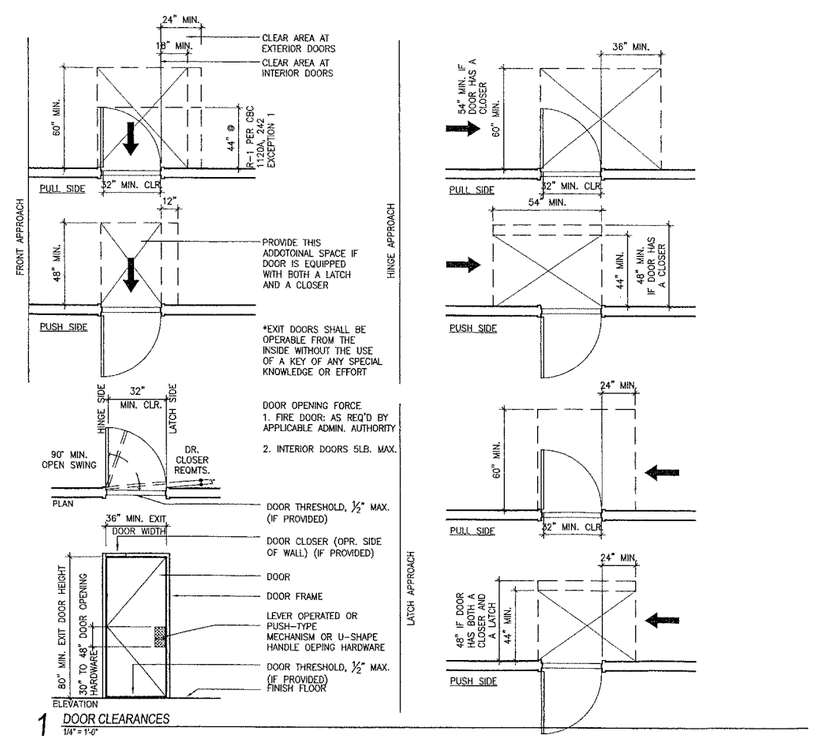
ACCESSIBILITY DETAILS

A0.3

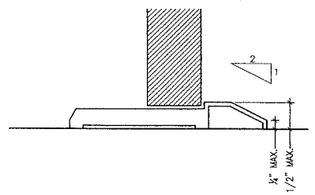
1. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING1:50 (2%) IN ANY DIRECTION. EXTEND ACCESS AISLE PAINT TO TOE OF CURB RAMP.
2. PAINT ENTIRE PARKING STALL BLUE WITH WHITE OUTLINE.
3. WHERE CURB RAMP CONDITION OCCURS PAINT AS PER CURB RAMP DETAIL.EXTEND ACCESS AISLE PAINT TO TOE OF CURB RAMP.



2 *PAINTED ACCESSIBLE SIGN - ON GROUND AT PARK. STALL*
1"=1'-0"



1 *DOOR CLEARANCES*
1/4" = 1'-0"



3 *TYP. THRESHOLD DETAIL*
1/4"=1'-0"

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SCALE: AS NOTED

ACCESSIBILITY DETAILS

A0.4

PERFORMANCE CERTIFICATE OF COMPLIANCE — Part 1 of 3 — PERF-1

PROJECT NAME	DATE
Macarthur Condos	2/22/2007

PROJECT ADDRESS		Building Permit #
880 West Macarthur Boulevard Oakland		
PRINCIPAL DESIGNER - ENVELOPE: Levy Design Partners Architecture	TELEPHONE: 415-777-0561	
DOCUMENTATION AUTHOR: ACIES Engineering	TELEPHONE: (408) 522-5255	Checked by/Date — Enforcement Agency Use

GENERAL INFORMATION

DATE OF PLANS	BUILDING CONDITIONED FLOOR AREA	CLIMATE ZONE
10.31.2006	29,311 Sq.Ft.	3

BUILDING TYPE: [ ] NONRESIDENTIAL [X] HIGH RISE RESIDENTIAL [ ] HOTEL/MOTEL GUEST ROOM

PHASE OF CONSTRUCTION: [X] NEW CONSTRUCTION [ ] ADDITION [ ] EXISTING + ADDITION/ALTERATION

STATEMENT OF COMPLIANCE

This Certificate of Compliance lists the building features and performance specifications needed to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to a Building using the performance compliance approach.

The documentation preparer hereby certifies that the documentation is accurate and complete.

DOCUMENTATION AUTHOR	SIGNATURE	DATE
ACIES ENGINEERING		02/22/07

The Principal Designer hereby certifys that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other calculations submitted with this permit application. The proposed building as designed meets the energy efficiency requirements contained in sections 110, 116, through 118, and 140, 142, 143 or 149 of Title 24, Part 6.

ENV. LTG. MECH.

[ ] [ ] [X] 1. I hereby affirm that I am eligible under the provisions of Division 3 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am licensed in the State of California as a civil engineer, mechanical engineer, or I am a licensed architect.

[ ] [ ] [ ] 2. I affirm that I am eligible under the provisions of Division 3 of the Business and Professions Code Section 5537.2 or 6737.3 to sign this document as the person responsible for its preparation; and that I am a licensed contractor performing this work.

[ ] [ ] [ ] 3. I affirm that I am eligible under Division 3 of the Business and Professions Code to sign this document because it pertains to a structure or type of work described as exempt pursuant to Business and Professions Code Sections 5537, 5538, and 6737.1. (These sections of the Business and Professions Code are printed in full in the Nonresidential Manual.)

ENVELOPE COMPLIANCE

Indicate location on plans of Note Block for Mandatory Measures: A0.8

Required Forms: ENV-1

PRINCIPAL ENVELOPE DESIGNER - NAME	SIGNATURE	LIC. NO.	DATE
Levy Design Partners Architecture			

LIGHTING COMPLIANCE

Indicate location on plans of Note Block for Mandatory Measures: Lighting Compliance Not In The Scope Of This Submittal

Required Forms

PRINCIPAL LIGHTING DESIGNER - NAME	SIGNATURE	LIC. NO.	DATE

MECHANICAL COMPLIANCE

Indicate location on plans of Note Block for Mandatory Measures: A0.8

Required Forms: MECH-1, MECH-2, MECH-3, MECH-5

PRINCIPAL MECHANICAL DESIGNER - NAME	SIGNATURE	LIC. NO.	DATE
Acies Engineeing		M28498	02/22/07

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

EnergyPro 4.2 by EnergySoft User Number: 5387 Job Number: 2006401 Page:1 of 30

PERFORMANCE CERTIFICATE OF COMPLIANCE — Part 2 of 3 — PERF-1

PROJECT NAME: Macarthur Condos DATE: 2/22/2007

ANNUAL TDV ENERGY USE SUMMARY (kBtu/sqft-yr)

ENERGY COMPONENT	Standard Design	Proposed Design	Compliance Margin
Space Heating	24.05	20.23	3.82
Space Cooling	3.49	8.22	-4.73
Indoor Fans	0.00	0.00	0.00
Heat Rejection	0.00	0.00	0.00
Pumps & Misc.	4.73	4.73	0.00
Domestic Hot Water	18.94	15.91	3.03
Lighting	28.44	28.44	0.00
Receptacle	28.44	28.44	0.00
Process	0.00	0.00	0.00
TOTALS:	108.09	105.97	2.12

Percent better than Standard: 2.0% (2.0% excluding process)

BUILDING COMPLIES

GENERAL INFORMATION

Building Orientation	(S) 180 deg	Conditioned Floor Area	29,311 sqft.
Number of Stories	5	Unconditioned Floor Area	0 sqft.
Number of Systems	57	Conditioned Footprint Area	102 sqft.
Number of Zones	57	Fuel Type	Natural Gas

	Orientation	Gross Area	Glazing Area	Glazing Ratio
Front Elevation	(S)	4,560 sqft.	1,139 sqft.	25.0%
Left Elevation	(W)	3,695 sqft.	1,121 sqft.	28.6%
Rear Elevation	(N)	4,568 sqft.	1,136 sqft.	22.9%
Right Elevation	(E)	2,052 sqft.	90 sqft.	4.4%
Total		15,476 sqft.	3,486 sqft.	22.5%
Roof		8,315 sqft.	225 sqft.	2.7%

	Standard	Proposed
Lighting Power Density	0.000 W/sqft.	0.000 W/sqft.
Prescriptive Env. Heat Loss	3,728 Btu/h	4,052 Btu/h
Prescriptive Env. Heat Gain	319,353 Btu/h-F	487,582 Btu/h-F

Remarks:

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

EnergyPro 4.2 by EnergySoft User Number: 5387 Job Number: 2006401 Page:2 of 30

PERFORMANCE CERTIFICATE OF COMPLIANCE — Part 3 of 3 — PERF-1

PROJECT NAME: Macarthur Condos DATE: 2/22/2007

ZONE INFORMATION

System Name	Zone Name	Occupancy Type	Floor Area (sqft.)	Inst. LPD (W/sf)[1]	Ctrl. Credits (W/sf)[2]	Allowed LPD Area (W/sf)[3]	Allowed LPD Tailored (W/sf)[4]	Proc. Loads (W/sf)
Wall Heater 1200W	UNIT M1 517 L2	High-Rise Residential Living	397	*0.500				
	UNIT L1 516 L2	High-Rise Residential Living	420	*0.500				
	UNIT L 515 L2	High-Rise Residential Living	520	*0.500				
	UNIT L 514 L2	High-Rise Residential Living	420	*0.500				
	UNIT L 513 L2	High-Rise Residential Living	420	*0.500				
	UNIT G 511 L2	High-Rise Residential Living	427	*0.500				
	UNIT H 510 L2	High-Rise Residential Living	427	*0.500				
	UNIT G 509 L2	High-Rise Residential Living	427	*0.500				
	UNIT K 508 L2	High-Rise Residential Living	427	*0.500				
	UNIT E 506 L2	High-Rise Residential Living	431	*0.500				
	UNIT F 505 L2	High-Rise Residential Living	431	*0.500				
	UNIT E 504 L2	High-Rise Residential Living	431	*0.500				
	UNIT F 503 L2	High-Rise Residential Living	431	*0.500				
	UNIT G 502 L2	High-Rise Residential Living	396	*0.500				
Wall Heater 1500W	UNIT J 507 L2	High-Rise Residential Living	370	*0.500				
Wall Heater 1725W	UNIT H 412 L1	High-Rise Residential Living	356	*0.500				
	UNIT G 411 L1	High-Rise Residential Living	312	*0.500				
	UNIT H 410 L1	High-Rise Residential Living	356	*0.500				
	UNIT G 409 L1	High-Rise Residential Living	312	*0.500				
	UNIT E 408 L1	High-Rise Residential Living	359	*0.500				

Notes: 1. See LTG-2-C (Items marked with asterisk, see LTG-2-C by others) 2. See LTG-4-C 3. See LTG-5-C (by others) 4. See LTG-6-C — Items above require special documentation.

EXCEPTIONAL CONDITIONS COMPLIANCE CHECKLIST

The local enforcement agency should pay special attention to the items specified in this checklist. These items require special written justification and documentation, and special verification to be used with the performance approach. The local enforcement agency determines the adequacy of the justification, and may reject a building or design that otherwise complies based on the adequacy of the special justification and documentation submitted.

Building has 43 Dwelling Units. This has been used in the Highrise Residential DHW calcs.

The exceptional features listed in this performance approach application have specifically been reviewed. Adequate written justification and documentation for their use have been provided by the applicant.

Authorized Signature or Stamp

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

EnergyPro 4.2 by EnergySoft User Number: 5387 Job Number: 2006401 Page:3 of 30

PERFORMANCE CERTIFICATE OF COMPLIANCE — Part 3 of 3 — PERF-1

PROJECT NAME: Macarthur Condos DATE: 2/22/2007

ZONE INFORMATION

System Name	Zone Name	Occupancy Type	Floor Area (sqft.)	Inst. LPD (W/sf)[1]	Ctrl. Credits (W/sf)[2]	Allowed LPD Area (W/sf)[3]	Allowed LPD Tailored (W/sf)[4]	Proc. Loads (W/sf)
	UNIT F 405 L1	High-Rise Residential Living	388	*0.500				
	UNIT E 404 L1	High-Rise Residential Living	389	*0.500				
	UNIT F 403 L1	High-Rise Residential Living	388	*0.500				
	UNIT G 402 L1	High-Rise Residential Living	312	*0.500				
	UNIT H1 401 L1	High-Rise Residential Living	356	*0.500				
Wall Heater 2000W	UNIT M1 518 L2	High-Rise Residential Living	397	*0.500				
	UNIT H 512 L2	High-Rise Residential Living	427	*0.500				
	UNIT H1 501 L2	High-Rise Residential Living	525	*0.500				
Wall Heater 2400W	UNIT M1 419 L1	High-Rise Residential Living	300	*0.500				
	UNIT M 418 L1	High-Rise Residential Living	354	*0.500				
	UNIT L1 417 L1	High-Rise Residential Living	354	*0.500				
	UNIT L 416 L1	High-Rise Residential Living	377	*0.500				
	UNIT L 415 L1	High-Rise Residential Living	377	*0.500				
	UNIT L 414 L1	High-Rise Residential Living	377	*0.500				
	UNIT K 406 L1	High-Rise Residential Living	384	*0.500				
	UNIT J 407 L1	High-Rise Residential Living	387	*0.500				
Wall Heater 2525W	UNIT D1 310	High-Rise Residential Living	697	*0.500				
	UNIT D2 309	High-Rise Residential Living	697	*0.500				
	UNIT D 308	High-Rise Residential Living	739	*0.500				
	UNIT B 306	High-Rise Residential Living	711	*0.500				

Notes: 1. See LTG-2-C (Items marked with asterisk, see LTG-2-C by others) 2. See LTG-4-C 3. See LTG-5-C (by others) 4. See LTG-6-C — Items above require special documentation.

EXCEPTIONAL CONDITIONS COMPLIANCE CHECKLIST

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Authorized Signature or Stamp

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

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PERFORMANCE CERTIFICATE OF COMPLIANCE — Part 3 of 3 — PERF-1

PROJECT NAME: Macarthur Condos DATE: 2/22/2007

ZONE INFORMATION

System Name	Zone Name	Occupancy Type	Floor Area (sqft.)	Inst. LPD (W/sf)[1]	Ctrl. Credits (W/sf)[2]	Allowed LPD Area (W/sf)[3]	Allowed LPD Tailored (W/sf)[4]	Proc. Loads (W/sf)
	UNIT B 305	High-Rise Residential Living	711	*0.500				
	UNIT A 303	High-Rise Residential Living	792	*0.500				
	UNIT A 302	High-Rise Residential Living	792	*0.500				
	UNIT B1 301	High-Rise Residential Living	715	*0.500				
	UNIT D1 210	High-Rise Residential Living	697	*0.500				
	UNIT D2 209	High-Rise Residential Living	697	*0.500				
	UNIT D 208	High-Rise Residential Living	739	*0.500				
	UNIT B 206	High-Rise Residential Living	711	*0.500				
	UNIT B 205	High-Rise Residential Living	711	*0.500				
	UNIT A 203	High-Rise Residential Living	792	*0.500				
	UNIT A 202	High-Rise Residential Living	792	*0.500				
	UNIT B1 201	High-Rise Residential Living	715	*0.500				
Wall Heater 3200W	UNIT B 413 L1	High-Rise Residential Living	691	*0.500				
	UNIT B2 307	High-Rise Residential Living	657	*0.500				
	UNIT C1 304	High-Rise Residential Living	758	*0.500				
	UNIT B2 207	High-Rise Residential Living	657	*0.500				
	UNIT C 204	High-Rise Residential Living	708	*0.500				

Notes: 1. See LTG-2-C (Items marked with asterisk, see LTG-2-C by others) 2. See LTG-4-C 3. See LTG-5-C (by others) 4. See LTG-6-C — Items above require special documentation.

EXCEPTIONAL CONDITIONS COMPLIANCE CHECKLIST

The local enforcement agency should pay special attention to the items specified in this checklist. These items require special written justification and documentation, and special verification to be used with the performance approach. The local enforcement agency determines the adequacy of the justification, and may reject a building or design that otherwise complies based on the adequacy of the special justification and documentation submitted.

The exceptional features listed in this performance approach application have specifically been reviewed. Adequate written justification and documentation for their use have been provided by the applicant.

Authorized Signature or Stamp

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

EnergyPro 4.2 by EnergySoft User Number: 5387 Job Number: 2006401 Page:5 of 30

CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments
1	Roof	384	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT M1 517 L2
2	Wall	97	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT M1 517 L2
3	Roof	408	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT L1 516 L2
4	Wall	97	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT L1 516 L2
5	Roof	408	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT L 515 L2
6	Wall	97	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT L 515 L2
7	Roof	408	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT L 514 L2
8	Wall	97	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT L 514 L2
9	Roof	408	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT L 513 L2
10	Wall	97	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT L 513 L2
11	Roof	414	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT G 511 L2
12	Wall	97	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT G 511 L2
13	Roof	414	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT H 510 L2
14	Wall	97	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT H 510 L2
15	Floor	30	0.048	R-19	R-0.0	0	180	New	21-A4	UNIT G 509 L2
16	Roof	414	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT G 509 L2
17	Wall	97	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT G 509 L2
18	Wall	25	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT K 508 L2
19	Roof	414	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT K 508 L2
20	Wall	108	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT K 508 L2

*N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

[ ] More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction.

#	Type	Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
1	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT M1 517 L2
2	Window Rear (N)	40	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT M1 517 L2
3	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT L1 516 L2
4	Window Rear (N)	40	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L1 516 L2
5	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT L 515 L2
6	Window Rear (N)	40	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L 515 L2
7	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT L 514 L2
8	Window Rear (N)	40	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L 514 L2
9	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT L 513 L2
10	Window Rear (N)	40	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L 513 L2
11	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT G 511 L2
12	Window Left (W)	40	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT G 511 L2
13	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT H 510 L2

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt.	Window Wd.	Overhang Len.	Hgt.	LExt.	RExt.	Left Fin Dist.	Len.	Hgt.	Right Fin Dist.	Len.	Hgt.
1	None	1.00												
2	None	0.76												
3	None	1.00												
4	None	0.76												
5	None	1.00												
6	None	0.76												
7	None	1.00												
8	None	0.76												
9	None	1.00												
10	None	0.76												
11	None	1.00												
12	None	0.76												
13	None	1.00												

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

[ ] The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

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CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments
21	Roof	418	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT E 506 L2
22	Wall	97	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT E 506 L2
23	Roof	418	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT F 505 L2
24	Wall	97	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT F 505 L2
25	Roof	418	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT E 504 L2
26	Wall	97	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT E 504 L2
27	Wall	52	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT F 503 L2
28	Roof	416	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT F 503 L2
29	Wall	97	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT F 503 L2
30	Floor	22	0.048	R-19	R-0.0	0	180	New	21-A4	UNIT G 502 L2
31	Roof	364	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT G 502 L2
32	Wall	97	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT G 502 L2
33	Wall	319	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT J 507 L2
34	Roof	358	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT J 507 L2
35	Wall	129	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT J 507 L2
36	Wall	97	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT H 412 L1
37	Wall	40	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT H 412 L1
38	Wall	93	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT G 411 L1
39	Wall	97	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT H 410 L1
40	Wall	40	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT H 410 L1

*N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

[ ] More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction.

#	Type	Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
14	Window Left (W)	40	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT H 510 L2
15	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT G 509 L2
16	Window Left (W)	40	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT G 509 L2
17	Window Front (S)	8	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT K 508 L2
18	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT K 508 L2
19	Window Left (W)	28	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT K 508 L2
20	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT E 506 L2
21	Window Front (S)	40	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT E 506 L2
22	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT F 505 L2
23	Window Front (S)	40	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT F 505 L2
24	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT E 504 L2
25	Window Front (S)	40	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT E 504 L2
26	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT F 503 L2

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt.	Window Wd.	Overhang Len.	Hgt.	LExt.	RExt.	Left Fin Dist.	Len.	Hgt.	Right Fin Dist.	Len.	Hgt.
14	None	0.76												
15	None	1.00												
16	None	0.76												
17	None	0.76												
18	None	1.00												
19	None	0.76												
20	None	1.00												
21	None	0.76												
22	None	1.00												
23	None	0.76												
24	None	1.00												
25	None	0.76												
26	None	1.00												

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

[ ] The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

EnergyPro 4.2 by EnergySoft User Number: 5387 Job Number: 2006401 Page:7 of 30

CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments
41	Wall	93	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT G 409 L1
42	Wall	40	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT G 409 L1
43	Wall	93	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT E 406 L1
44	Wall	40	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT F 405 L1
45	Wall	97	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT F 405 L1
46	Wall	93	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT E 404 L1
47	Wall	81	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT F 403 L1
48	Wall	97	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT F 403 L1
49	Wall	93	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT G 402 L1
50	Wall	20	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT H1 401 L1
51	Wall	97	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT H1 401 L1
52	Wall	322	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT M1 518 L2
53	Roof	384	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT M1 518 L2
54	Wall	97	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT M1 518 L2
55	Roof	414	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT H 512 L2
56	Wall	97	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT H 512 L2
57	Wall	355	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT H 512 L2
58	Wall	80	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT H1 501 L2
59	Wall	120	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT H1 501 L2
60	Floor	10	0.048	R-19	R-0.0	0	180	New	21-A4	UNIT H1 501 L2

*N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

[ ] More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction.

#	Type	Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
27	Window Front (S)	40	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT F 503 L2
28	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT G 502 L2
29	Window Front (S)	40	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT G 502 L2
30	Window Front (S)	7	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT J 507 L2
31	Window Front (S)	34	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT J 507 L2
32	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT J 507 L2
33	Window Left (W)	8	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT J 507 L2
34	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT H 412 L1
35	Window Left (W)	4	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT G 411 L1
36	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT G 411 L1
37	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT H 410 L1
38	Window Left (W)	4	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT G 409 L1
39	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT G 409 L1

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt.	Window Wd.	Overhang Len.	Hgt.	LExt.	RExt.	Left Fin Dist.	Len.	Hgt.	Right Fin Dist.	Len.	Hgt.
27	None	0.76												
28	None	1.00												
29	None	0.76												
30	None	0.76												
31	None	0.76												
32	None	1.00												
33	None	0.76												
34	None	0.76												
35	None	0.76												
36	None	0.76												
37	None	0.76												
38	None	0.76												
39	None	0.76												

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

[ ] The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

EnergyPro 4.2 by EnergySoft User Number: 5387 Job Number: 2006401 Page:8 of 30

LEVY DESIGN ARCHITECT

90 South Park
San Francisco
CA 94107

880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS, OAKLAND, CA

PROGRESS SET
11/20/2006

NOT FOR CONST.

880 West MacArthur Blvd.

A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

DATE	ISSUE
04-05-06	PLANNING SUBMITTAL
06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

CONTACTS:
DEVI DUTTA-CHOUDHURY
(415) 777-0561 P
(415) 777-5117 F
devi@levydesignpartners.com

SCALE: NTS

TITLE 24

A0.5

CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments
61	Roof	512	0.036	R-30	R-0.0	0	0	New	02-A8	UNIT H1 501 L2
62	Wall	97	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT H1 501 L2
63	Wall	140	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT M1 419 L1
64	Wall	131	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT M1 419 L1
65	Wall	64	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT M1 419 L1
66	Wall	64	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT M 418 L1
67	Wall	64	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT L1 417 L1
68	Wall	64	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT L 416 L1
69	Wall	64	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT L 415 L1
70	Wall	64	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT L 414 L1
71	Wall	31	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT K 408 L1
72	Wall	75	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT K 408 L1
73	Wall	35	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT K 406 L1
74	Wall	35	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT J 407 L1
75	Wall	153	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT J 407 L1
76	Wall	116	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT J 407 L1
77	Wall	84	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT J 407 L1
78	Wall	103	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D1 310
79	Wall	35	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT D1 310
80	Wall	285	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT D1 310

* N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

☐ More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction.

#	Type	Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
40	Window Front (S)	4	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT E 406 L1
41	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT E 408 L1
42	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT F 405 L1
43	Window Front (S)	4	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT E 404 L1
44	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT E 404 L1
45	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT F 403 L1
46	Window Front (S)	4	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT G 402 L1
47	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT G 402 L1
48	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT H1 401 L1
49	Window Right (E)	2	0.790	116-A	0.70	116-B	90	New	Double Metal Clear	UNIT M1 518 L2
50	Window Right (E)	9	0.790	116-A	0.70	116-B	90	New	Double Metal Clear	UNIT M1 518 L2
51	Window Right (E)	9	0.790	116-A	0.70	116-B	90	New	Double Metal Clear	UNIT M1 518 L2
52	Window Right (E)	27	0.790	116-A	0.70	116-B	90	New	Double Metal Clear	UNIT M1 518 L2

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt. Wd.	Overhang Len. Hgt. LExt. RExt.	Left Fin Dist. Len. Hgt.	Right Fin Dist. Len. Hgt.
40	None	0.76				
41	None	0.76				
42	None	0.76				
43	None	0.76				
44	None	0.76				
45	None	0.76				
46	None	0.76				
47	None	0.76				
48	None	0.76				
49	None	0.76				
50	None	0.76				
51	None	0.76				
52	None	0.76				

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

☐ The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments
81	Wall	77	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D1 310
82	Wall	35	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT D2 309
83	Wall	103	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D2 309
84	Wall	77	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D2 309
85	Wall	103	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D 308
86	Wall	30	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT D 308
87	Wall	77	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D 308
88	Wall	93	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B 306
89	Wall	40	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT B 306
90	Wall	70	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B 306
91	Wall	93	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B 305
92	Wall	40	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT B 305
93	Wall	70	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B 305
94	Wall	93	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT A 303
95	Wall	40	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT A 303
96	Wall	70	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT A 303
97	Wall	93	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT A 302
98	Wall	40	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT A 302
99	Wall	70	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT A 302
100	Wall	93	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT B1 301

* N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

☐ More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction.

#	Type	Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
53	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT M1 518 L2
54	Window Rear (N)	40	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT M1 518 L2
55	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT H 512 L2
56	Window Left (W)	40	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT H 512 L2
57	Window Rear (N)	7	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT H 512 L2
58	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT H 512 L2
59	Window Rear (N)	30	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT H1 501 L2
60	Skylight Rear (N)	12	0.510	NFRC	0.61	NFRC	0	New	IWC 5300 Vinyl/Clear	UNIT H1 501 L2
61	Window Front (S)	40	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT H1 501 L2
62	Window Right (E)	2	0.790	116-A	0.70	116-B	90	New	Double Metal Clear	UNIT M1 419 L1
63	Window Right (E)	9	0.790	116-A	0.70	116-B	90	New	Double Metal Clear	UNIT M1 419 L1
64	Window Right (E)	17	0.790	116-A	0.70	116-B	90	New	Double Metal Clear	UNIT M1 419 L1
65	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT M1 419 L1

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt. Wd.	Overhang Len. Hgt. LExt. RExt.	Left Fin Dist. Len. Hgt.	Right Fin Dist. Len. Hgt.
53	None	1.00				
54	None	0.76				
55	None	1.00				
56	None	0.76				
57	None	0.76				
58	None	0.76				
59	None	0.76				
60	None	1.00				
61	None	0.76				
62	None	0.76				
63	None	0.70				
64	None	0.76				
65	None	0.76				

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

☐ The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments
101	Wall	40	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT B1 301
102	Wall	70	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT B1 301
103	Wall	103	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D1 210
104	Wall	35	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT D1 210
105	Wall	285	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT D1 210
106	Wall	77	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D1 210
107	Wall	30	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT D2 209
108	Wall	103	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D2 209
109	Wall	77	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D2 209
110	Wall	103	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D 208
111	Wall	30	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT D 208
112	Wall	77	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT D 208
113	Wall	93	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B 206
114	Wall	40	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT B 206
115	Wall	70	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B 206
116	Wall	93	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B 205
117	Wall	40	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT B 205
118	Wall	70	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B 205
119	Wall	93	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT A 203
120	Wall	40	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT A 203

* N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

☐ More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction.

#	Type	Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
66	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT M1 419 L1
67	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT M 418 L1
68	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT M 418 L1
69	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L1 417 L1
70	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L1 417 L1
71	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L 416 L1
72	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L 416 L1
73	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L 415 L1
74	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L 415 L1
75	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L 414 L1
76	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT L 414 L1
77	Window Front (S)	6	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT K 408 L1
78	Window Left (W)	40	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT K 408 L1

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt. Wd.	Overhang Len. Hgt. LExt. RExt.	Left Fin Dist. Len. Hgt.	Right Fin Dist. Len. Hgt.
66	None	0.76				
67	None	0.76				
68	None	0.76				
69	None	0.76				
70	None	0.76				
71	None	0.76				
72	None	0.76				
73	None	0.76				
74	None	0.76				
75	None	0.76				
76	None	0.76				
77	None	0.76				
78	None	0.76				

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

☐ The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments
121	Wall	70	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT A 203
122	Wall	93	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT A 202
123	Wall	40	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT A 202
124	Wall	70	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT A 202
125	Wall	93	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT B1 201
126	Wall	40	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT B1 201
127	Wall	70	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT B1 201
128	Roof	161	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT B 413 L1
129	Wall	93	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B 413 L1
130	Wall	163	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT B 413 L1
131	Roof	530	0.036	R-30	R-0.0	0	0	New	02-A9	UNIT B 413 L1
132	Wall	100	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B 413 L1
133	Wall	156	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT B 413 L1
134	Wall	93	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B2 307
135	Wall	163	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT B2 307
136	Wall	70	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B2 307
137	Wall	156	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT B2 307
138	Wall	40	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT C1 304
139	Wall	90	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT C1 304
140	Wall	26	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT C1 304

* N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

☐ More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction.

#	Type	Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
79	Window Front (S)	7	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT J 407 L1
80	Window Front (S)	7	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT J 407 L1
81	Window Front (S)	34	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT J 407 L1
82	Window Left (W)	9	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT J 407 L1
83	Window Left (W)	9	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT J 407 L1
84	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT J 407 L1
85	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D1 310
86	Window Right (E)	9	0.790	116-A	0.70	116-B	90	New	Double Metal Clear	UNIT D1 310
87	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D1 310
88	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D1 310
89	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D2 309
90	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D2 309
91	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D2 309

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt. Wd.	Overhang Len. Hgt. LExt. RExt.	Left Fin Dist. Len. Hgt.	Right Fin Dist. Len. Hgt.
79	None	0.76				
80	None	0.76				
81	None	0.76				
82	None	0.76				
83	None	0.76				
84	None	0.76				
85	None	0.76				
86	None	0.76				
87	None	0.76				
88	None	0.76				
89	None	0.76				
90	None	0.76				
91	None	0.76				

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

☐ The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments
141	Floor	40	0.048	R-19	R-0.0	0	180	New	21-A4	UNIT C1 304
142	Wall	40	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT C1 304
143	Wall	290	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT C1 304
144	Wall	94	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT C1 304
145	Wall	93	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B2 207
146	Wall	163	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT B2 207
147	Wall	70	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT B2 207
148	Wall	156	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT B2 207
149	Wall	40	0.074	R-19	R-0.0	0	90	New	09-A5	UNIT C 204
150	Wall	90	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT C 204
151	Wall	44	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT C 204
152	Wall	40	0.074	R-19	R-0.0	90	90	New	09-A5	UNIT C 204
153	Wall	290	0.074	R-19	R-0.0	180	90	New	09-A5	UNIT C 204
154	Wall	101	0.074	R-19	R-0.0	270	90	New	09-A5	UNIT C 204

* N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

☐ More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction.

#	Type	Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
92	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D 308
93	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D 308
94	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D 308
95	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 306
96	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 306
97	Window Left (W)	34	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 306
98	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 305
99	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 305
100	Window Left (W)	34	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 305
101	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 303
102	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 303
103	Window Front (S)	34	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 303
104	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 302

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt. Wd.	Overhang Len. Hgt. LExt. RExt.	Left Fin Dist. Len. Hgt.	Right Fin Dist. Len. Hgt.
92	None	0.76				
93	None	0.76				
94	None	0.76				
95	None	0.76				
96	None	0.76				
97	None	0.76				
98	None	0.76				
99	None	0.76				
100	None	0.76				
101	None	0.76				
102	None	0.76				
103	None	0.76				
104	None	0.76				

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

☐ The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments

* N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

☐ More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction.

#	Type	Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
105	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 302
106	Window Front (S)	34	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 302
107	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT B1 301
108	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT B1 301
109	Window Front (S)	34	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT B1 301
110	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D1 210
111	Window Right (E)	9	0.790	116-A	0.70	116-B	90	New	Double Metal Clear	UNIT D1 210
112	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D1 210
113	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D1 210
114	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D2 209
115	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D2 209
116	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D2 209
117	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D 208

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt. Wd.	Overhang Len. Hgt. LExt. RExt.	Left Fin Dist. Len. Hgt.	Right Fin Dist. Len. Hgt.
105	None	0.76				
106	None	0.76				
107	None	0.76				
108	None	0.76				
109	None	0.76				
110	None	0.76				
111	None	0.76				
112	None	0.76				
113	None	0.76				
114	None	0.76				
115	None	0.76				
116	None	0.76				
117	None	0.76				

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

☐ The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments

* N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

☐ More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction.

#	Type	Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
118	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D 208
119	Window Rear (N)	27	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT D 208
120	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 206
121	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 206
122	Window Left (W)	34	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 206
123	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 205
124	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 205
125	Window Left (W)	34	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 205
126	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 203
127	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 203
128	Window Front (S)	34	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 203
129	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 202
130	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 202

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt. Wd.	Overhang Len. Hgt. LExt. RExt.	Left Fin Dist. Len. Hgt.	Right Fin Dist. Len. Hgt.
118	None	0.76				
119	None	0.76				
120	None	0.76				
121	None	0.76				
122	None	0.76				
123	None	0.76				
124	None	0.76				
125	None	0.76				
126	None	0.76				
127	None	0.76				
128	None	0.76				
129	None	0.76				
130	None	0.76				

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

☐ The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments

* N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

☐ More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction.

#	Type	Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
131	Window Front (S)	34	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT A 202
132	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT B1 201
133	Window Front (S)	27	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT B1 201
134	Window Front (S)	34	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT B1 201
135	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 413 L1
136	Window Rear (N)	7	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT B 413 L1
137	Window Left (W)	4	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 413 L1
138	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B 413 L1
139	Window Rear (N)	4	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT B 413 L1
140	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B2 307
141	Window Rear (N)	7	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT B2 307
142	Window Left (W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B2 307
143	Window Left (W)	34	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B2 307

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt. Wd.	Overhang Len. Hgt. LExt. RExt.	Left Fin Dist. Len. Hgt.	Right Fin Dist. Len. Hgt.
131	None	0.76				
132	None	0.76				
133	None	0.76				
134	None	0.76				
135	None	0.76				
136	None	0.76				
137	None	0.76				
138	None	0.76				
139	None	0.76				
140	None	0.76				
141	None	0.76				
142	None	0.76				
143	None	0.76				

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

☐ The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 Run Code: 1172178364

LEVY DESIGN ARCHITECTS

90 South Park
San Francisco
CA 94107

880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS, OAKLAND, CA

PROGRESS SET
11/20/2006

NOT FOR CONST.

880 West MacArthur Blvd.

A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

DATE	ISSUE
04-05-06	PLANNING SUBMITTAL
06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

CONTACTS:
DEVI DUTTA-CHOUDHURY
(415) 777-0561 P
(415) 777-5117 F
devi@levydesignpartners.com

SCALE: NTS

TITLE 24

A0.6

CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments

* N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

☐ More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction

#	Type			Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
144	Window	Rear	(N)	4	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT B2 307
145	Window	Left	(W)	40	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT C1 304
146	Window	Front	(S)	9	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT C1 304
147	Window	Front	(S)	7	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT C1 304
148	Window	Front	(S)	7	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT C1 304
149	Window	Front	(S)	26	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT C1 304
150	Window	Left	(W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT C1 304
151	Window	Left	(W)	9	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT C1 304
152	Window	Left	(W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B2 207
153	Window	Rear	(N)	7	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT B2 207
154	Window	Left	(W)	27	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B2 207
155	Window	Left	(W)	34	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT B2 207
156	Window	Rear	(N)	4	0.790	116-A	0.70	116-B	0	New	Double Metal Clear	UNIT B2 207

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt. Wd.	Overhang Len. Hgt. LExt. RExt.	Left Fin Dist. Len. Hgt.	Right Fin Dist. Len. Hgt.
144	None	0.76				
145	None	0.76				
146	None	0.76				
147	None	0.76				
148	None	0.76				
149	None	0.76				
150	None	0.76				
151	None	0.76				
152	None	0.76				
153	None	0.76				
154	None	0.76				
155	None	0.76				
156	None	0.76				

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

☐ The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 — Run Code: 1172178364

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CERTIFICATE OF COMPLIANCE — ENV-1-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

OPAQUE SURFACES

#	Surface Type	Area	U-Fac.	Insulation Cav.	Insulation Cont.	Act. Azm.	Tilt	Cond.* Status	Joint Appendix IV Reference	Location / Comments

* N, E, A, R (New, Existing, Altered, Removed)

FENESTRATION SURFACES

☐ More than or equal to 10,000 sq.ft. of site-built fenestration area must include a label certificate either issued by NFRC or provide a CEC Default Label Certificate using the default U-factors from Standards Table 116-A and B. Certificate shall be filed in the contractor's project office during construction and in the building manager's office after construction

#	Type			Area	U-Fac.[1]		SHGC[2]		Act. Azm.	Cond. Stat.	Glazing Type	Location/ Comments
157	Window	Left	(W)	40	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT C 204
158	Window	Front	(S)	9	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT C 204
159	Window	Front	(S)	7	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT C 204
160	Window	Front	(S)	7	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT C 204
161	Window	Front	(S)	26	0.790	116-A	0.70	116-B	180	New	Double Metal Clear	UNIT C 204
162	Window	Left	(W)	29	0.790	116-A	0.70	116-B	270	New	Double Metal Clear	UNIT C 204

(1) U-factor Type: 116-A Default Table from Standards, Table NI-1 Default Table from the ACM Manual Appendix, NFRC Labeled value.
(2) SHGC Type: 116-B Default Table from Standards, COG Center of Glass, NFRC Labeled Value

EXTERIOR SHADING

#	Exterior Shade Type	SHGC	Window Hgt. Wd.	Overhang Len. Hgt. LExt. RExt.	Left Fin Dist. Len. Hgt.	Right Fin Dist. Len. Hgt.
157	None	0.76				
158	None	0.76				
159	None	0.76				
160	None	0.76				
161	None	0.76				
162	None	0.76				

MINIMUM SKYLIGHT AREA FOR LARGE ENCLOSED SPACES

☐ The proposed building contains an enclosed space with floor area greater than 25,000 sq.ft, a ceiling height greater than 15 feet and a LPD for general lighting of at least 0.5 W/sq.ft. If this box is checked, ENV-4-C must be filled out when submitting under the Prescriptive Compliance Approach.

Run Initiation Time: 02/22/07 13:06:04 — Run Code: 1172178364

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CERTIFICATE OF COMPLIANCE — MECH-1-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

Designer:

This form is to be used by the designer and attached to the plans. Listed below are all the acceptance tests for mechanical systems. The designer is required to check the boxes by all acceptance tests that apply and list all equipment that requires an acceptance test. If all equipment of a certain type requires a test, list the equipment description and the number of systems to be tested in parentheses. The NJ number designates the Section in the Appendix of the Nonresidential ACM Manual that describes the test. Also indicate the person responsible for performing the tests (i.e. the installing contractor, design professional or an agent selected by the owner). Since this form will be part of the plans, completion of this section will allow the responsible party to budget for the scope of work appropriately.

Building Departments:

SYSTEM ACCEPTANCE. Before an occupancy permit is granted for a newly constructed building or space, or a new space-conditioning system serving a building or space is operated for normal use, all control devices serving the building or space shall be certified as meeting the Acceptance Requirements for Code Compliance.

In addition a Certificate of Acceptance, MECH-1-A Form shall be submitted to the building department that certifies plans, specifications, installation certificates, and operating and maintenance information meet the requirements of Section 10-103(b) and Title 24 Part 6.

STATEMENT OF COMPLIANCE

☐ MECH-2-A: Ventilation System Acceptance Document
- Variable Air Volume Systems Outdoor Air Acceptance
- Constant Air Volume Systems Outdoor Air Acceptance

Equipment requiring acceptance testing ______

Test required on all New systems both New Construction and Retrofit.

☐ MECH-3-A: Packaged HVAC Systems Acceptance Document
Equipment requiring acceptance testing ______

Test required on all New systems both New Construction and Retrofit.

☐ MECH-4-A: Air-Side Economizer Acceptance Document
Equipment requiring acceptance testing ______

Test required on all New systems both New Construction and Retrofit. Units with economizers that are installed at the factory and certified with the commission do not require equipment testing but do require construction inspection.

☐ MECH-5-A: Air Distribution Acceptance Document
Equipment requiring acceptance testing ______

This test required if the unit serves 5,000 ft2 of space or less and 25% or more of the ducts are in nonconditioned or semiconditioned space like an attic. New systems that meet the above requirements. Retrofit systems that meet the above requirements and either extend ducts, replace ducts or replace the packaged unit

☐ MECH-6-A: Demand Control Ventilation Acceptance Document
Equipment requiring acceptance testing ______

All new DCV controls installed on new or existing packaged systems must be tested

☐ MECH-7-A: Supply Fan Variable Flow Control Acceptance Document
Equipment requiring acceptance testing ______

All new VAV fan volume controls installed on new or existing systems must be tested

☐ MECH-8-A: -Hydronic System Control Acceptance Document
- Variable Flow Controls *Applies to chilled and hot water systems.*
- Automatic Isolation Controls *Applies to new boilers and chillers and the primary pumps are connected to a common header.*
- Supply Water Temperature Reset Controls *Applies to new constant flow chilled and hot water systems that have a design capacity greater than or equal to 500,000 Btu/hr.*
- Water-loop Heat Pump Controls *Applies to all new waterloop heat pump systems where the combined loop pumps are greater than 5 hp.*
- Variable Frequency Controls *Applies to all new distribution pumps on new variable flow chilled, hydronic heat pump or condenser water systems where the pumps motors are greater than 5 hp.*

Equipment requiring acceptance testing ______

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AIR SYSTEM REQUIREMENTS — Part 1 of 2 — MECH-2-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

SYSTEM FEATURES

	T-24 Section	AIR SYSTEMS, Central or Single Zone		
ITEM OR SYSTEM TAG(S)		Wall Heater 1200W	Wall Heater 1500W	Wall Heater 1725W
Number of Systems		14	1	10
MANDATORY MEASURES		Reference on Plans or Specification [1]		
Heating Equipment Efficiency	112(a)	3.41 HSPF	3.41 HSPF	3.41 HSPF
Cooling Equipment Efficiency	112(a)	n/a	n/a	n/a
Heat Pump Thermostat	112(b)	n/a	n/a	n/a
Furnace Controls	112(c), 115(a)	n/a	n/a	n/a
Natural Ventilation	121(b)	Yes	Yes	No
Minimum Ventilation	121(b)	0 cfm	0 cfm	0 cfm
VAV Minimum Position Control	121(c)	No	No	No
Demand Control Ventilation	121(c)	No	No	No
Time Control	121(c), 122(e)	Programmable Switch	Programmable Switch	Programmable Switch
Setback and Setup Control	122(e)	Heating Required	Heating Required	Heating Required
Outdoor Damper Control	122(f)	Auto	Auto	
Isolation Zones	122(g)	n/a	n/a	n/a
Pipe Insulation	123			
Duct Insulation	124	R-8.0	R-8.0	n/a
PRESCRIPTIVE MEASURES				
Calculated Heating Capacity x 1.43 [2]	144 (a & b)	n/a	n/a	n/a
Proposed Heating Capacity [2]	144 (a & b)	57,288 btuh	5,115 btuh	58,830 btuh
Calculated Sensible Cooling Capacity x 1.21 [2]	144 (a & b)	n/a	n/a	n/a
Proposed Sensible Cooling Capacity [2]	144 (a & b)	0 btuh	0 btuh	0 btuh
Fan Control	144 (c)	Constant Volume	Constant Volume	Constant Volume
DP Sensor Location	144 (c)			
Supply Pressure Reset (DDC only)	144 (c)	Yes	Yes	No
Simultaneous Heat/Cool	144 (d)	No	No	No
Economizer	144 (e)	No Economizer	No Economizer	No Economizer
Heating Air Supply Reset	144 (f)	Constant Temp	Constant Temp	Constant Temp
Cooling Air Supply Reset	144 (f)	Constant Temp	Constant Temp	Constant Temp
Duct Sealing for Prescriptive Compliance [3]	144 (k)	No	No	No

1: For each central and single zone air systems (or group of similar units) fill in the reference to sheet number and/or specification section and paragraph number where the required features are documented. If a requirement is not applicable, put "N/A" in the column.

2: Not required for hydronic heating and cooling. Either enter a value here or put in reference of plans and specifications per footnote 1.

3: Enter Yes if System is: Constant Volume, Single Zone; Serves < 5,000 sqft; Has > 25% duct in unconditioned space. Duct sealing is required for Prescriptive Compliance, see PERF-1 for performance method duct sealing requirements.

NOTES TO FIELD - For Building Department Use Only

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AIR SYSTEM REQUIREMENTS — Part 1 of 2 — MECH-2-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

SYSTEM FEATURES

	T-24 Section	AIR SYSTEMS, Central or Single Zone		
ITEM OR SYSTEM TAG(S)		Wall Heater 2000W	Wall Heater 2400W	Wall Heater 2525W
Number of Systems		3	8	16
MANDATORY MEASURES		Reference on Plans or Specification [1]		
Heating Equipment Efficiency	112(a)	3.41 HSPF	3.41 HSPF	3.41 HSPF
Cooling Equipment Efficiency	112(a)	n/a	n/a	n/a
Heat Pump Thermostat	112(b)	n/a	n/a	n/a
Furnace Controls	112(c), 115(a)	n/a	n/a	n/a
Natural Ventilation	121(b)	No	No	Yes
Minimum Ventilation	121(b)	0 cfm	0 cfm	0 cfm
VAV Minimum Position Control	121(c)	No	No	No
Demand Control Ventilation	121(c)	No	No	No
Time Control	121(c), 122(e)	Programmable Switch	Programmable Switch	Programmable Switch
Setback and Setup Control	122(e)	Heating Required	Heating Required	Heating Required
Outdoor Damper Control	122(f)			Auto
Isolation Zones	122(g)	n/a	n/a	n/a
Pipe Insulation	123			
Duct Insulation	124	n/a	n/a	R-8.0
PRESCRIPTIVE MEASURES				
Calculated Heating Capacity x 1.43 [2]	144 (a & b)	n/a	n/a	n/a
Proposed Heating Capacity [2]	144 (a & b)	20,460 btuh	65,472 btuh	137,760 btuh
Calculated Sensible Cooling Capacity x 1.21 [2]	144 (a & b)	n/a	n/a	n/a
Proposed Sensible Cooling Capacity [2]	144 (a & b)	0 btuh	0 btuh	0 btuh
Fan Control	144 (c)	Constant Volume	Constant Volume	Constant Volume
DP Sensor Location	144 (c)			
Supply Pressure Reset (DDC only)	144 (c)	No	No	Yes
Simultaneous Heat/Cool	144 (d)	No	No	No
Economizer	144 (e)	No Economizer	No Economizer	No Economizer
Heating Air Supply Reset	144 (f)	Constant Temp	Constant Temp	Constant Temp
Cooling Air Supply Reset	144 (f)	Constant Temp	Constant Temp	Constant Temp
Duct Sealing for Prescriptive Compliance [3]	144 (k)	No	No	No

1: For each central and single zone air systems (or group of similar units) fill in the reference to sheet number and/or specification section and paragraph number where the required features are documented. If a requirement is not applicable, put "N/A" in the column.

2: Not required for hydronic heating and cooling. Either enter a value here or put in reference of plans and specifications per footnote 1.

3: Enter Yes if System is: Constant Volume, Single Zone; Serves < 5,000 sqft; Has > 25% duct in unconditioned space. Duct sealing is required for Prescriptive Compliance, see PERF-1 for performance method duct sealing requirements.

NOTES TO FIELD - For Building Department Use Only

Run Initiation Time: 02/22/07 13:06:04 — Run Code: 1172178364

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AIR SYSTEM REQUIREMENTS — Part 1 of 2 — MECH-2-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

SYSTEM FEATURES

	T-24 Section	AIR SYSTEMS, Central or Single Zone		
ITEM OR SYSTEM TAG(S)		Wall Heater 3200W		
Number of Systems		5		
MANDATORY MEASURES		Reference on Plans or Specification [1]		
Heating Equipment Efficiency	112(a)	3.41 HSPF		
Cooling Equipment Efficiency	112(a)	n/a		
Heat Pump Thermostat	112(b)	n/a		
Furnace Controls	112(c), 115(a)	n/a		
Natural Ventilation	121(b)	No		
Minimum Ventilation	121(b)	0 cfm		
VAV Minimum Position Control	121(c)	No		
Demand Control Ventilation	121(c)	No		
Time Control	121(c), 122(e)	Programmable Switch		
Setback and Setup Control	122(e)	Heating Required		
Outdoor Damper Control	122(f)			
Isolation Zones	122(g)	n/a		
Pipe Insulation	123			
Duct Insulation	124	n/a		
PRESCRIPTIVE MEASURES				
Calculated Heating Capacity x 1.43 [2]	144 (a & b)	n/a		
Proposed Heating Capacity [2]	144 (a & b)	54,560 btuh		
Calculated Sensible Cooling Capacity x 1.21 [2]	144 (a & b)	n/a		
Proposed Sensible Cooling Capacity [2]	144 (a & b)	0 btuh		
Fan Control	144 (c)	Constant Volume		
DP Sensor Location	144 (c)			
Supply Pressure Reset (DDC only)	144 (c)	No		
Simultaneous Heat/Cool	144 (d)	No		
Economizer	144 (e)	No Economizer		
Heating Air Supply Reset	144 (f)	Constant Temp		
Cooling Air Supply Reset	144 (f)	Constant Temp		
Duct Sealing for Prescriptive Compliance [3]	144 (k)	No		

1: For each central and single zone air systems (or group of similar units) fill in the reference to sheet number and/or specification section and paragraph number where the required features are documented. If a requirement is not applicable, put "N/A" in the column.

2: Not required for hydronic heating and cooling. Either enter a value here or put in reference of plans and specifications per footnote 1.

3: Enter Yes if System is: Constant Volume, Single Zone; Serves < 5,000 sqft; Has > 25% duct in unconditioned space. Duct sealing is required for Prescriptive Compliance, see PERF-1 for performance method duct sealing requirements.

NOTES TO FIELD - For Building Department Use Only

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WATER SIDE SYSTEM REQUIREMENTS — Part 2 of 2 — MECH-2-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

SYSTEM FEATURES

	T-24 Section	[2] WATER SIDE SYSTEMS: Chillers, Towers, Boilers, Hydronic Loops		
ITEM OR SYSTEM TAG(S)				
Number of Systems				
MANDATORY MEASURES		Reference on Plans or Specification[1]		
Equipment Efficiency	112(a)			
Pipe Insulation	123			
PRESCRIPTIVE MEASURES				
Calculated Capacity	144 (a & b)			
Proposed Capacity	144 (a & b)			
Tower Fan Controls	144 (h)			
Tower Flow Controls	144 (h)			
Variable Flow System Design	144 (j)			
Chiller and Boiler Isolation	144 (j)			
CHW and HHW Reset Controls	144 (j)			
WLHP Isolation Valves	144 (j)			
VSD on CHW, CW & WLHP Pumps > 5 HP	144 (j)			
DP Sensor Location	144 (j)			

1: For each chiller, cooling tower, boiler, and hydronic loop (or groups of similar equipment) fill in the reference to sheet number and/or specification section and paragraph number where the required features are documented. If a requirement is not applicable, put "N/A" in the column.

2: Water side systems include wet side system using other liquids such as glycol or brine.

	T-24 Section	Service Hot Water, Pool Heating		
ITEM OR SYSTEM TAG(S)		DHW Heater		
Number of Systems		1		
MANDATORY MEASURES		Reference on Plans or Specification[1]		
Water Heater Certification	113 (a)	Lochinvar PFN0751		
Water Heater Efficiency	113 (b)	68%		
Service Water Heating Installation	113 (c)			
Pool and Spa Efficiency and Control	114 (a)	n/a		
Pool and Spa Installation	114 (b)	n/a		
Pool Heater - No Pilot Light	115 (c)	n/a		
Spa Heater - No Pilot Light	115 (d)	n/a		

1: For each water heater, pool heat and domestic water loop (or groups of similar equipment) fill in the reference to sheet number and/or specification section and paragraph number where the required features are documented. If a requirement is not applicable, put "N/A" ins the column.

NOTES TO FIELD - For Building Department Use Only

Run Initiation Time: 02/22/07 13:06:04 — Run Code: 1172178364

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MECHANICAL VENTILATION — MECH-3-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

MECHANICAL VENTILATION (Section 121(b)2) / PRESCRIPTIVE REHEAT LIMITATION (Section 144(d))

	AREA BASIS			OCCUPANCY BASIS					VAV MINIMUM				
A	B	C	D	E	F	G	H	I	J	K	L	M	N
ZONE/SYSTEM	Condition Area (SF)	CFM per Square Foot	Min CFM by Area (B x C)	Number of People	CFM per Person	Min CFM by Occupant (E x F)	REQ'D V.A Max of (D or G)	Design Vent. Air CFM	30% of Design Zone Supply CFM	B x 0.4 CFM/sq. ft.	Max of Columns H, J, K or 300 CFM	Design Min. Air Setpoint	Transfer Air
UNIT M1 517 L2	397	0.15	60				60	0					60
UNIT L1 516 L2	420	0.15	63				63	0					63
UNIT L 515 L2	520	0.15	78				78	0					78
UNIT L 514 L2	420	0.15	63				63	0					63
UNIT L 513 L2	420	0.15	63				63	0					63
UNIT G 511 L2	427	0.15	64				64	0					64
UNIT H 510 L2	427	0.15	64				64	0					64
UNIT G 509 L2	427	0.15	64				64	0					64
UNIT K 508 L2	427	0.15	64				64	0					64
UNIT E 506 L2	431	0.15	65				65	0					65
UNIT F 505 L2	431	0.15	65				65	0					65
UNIT E 504 L2	431	0.15	65				65	0					65
UNIT F 503 L2	431	0.15	65				65	0					65
UNIT G 502 L2	396	0.15	59				59	0					59
Wall Heater 1200W						Total	901	0					
UNIT J 507 L2	370	0.15	56				56	0					56
Wall Heater 1500W						Total	56	0					
UNIT H 412 L1	356	0.15	53				53	0					53
UNIT G 411 L1	312	0.15	47				47	0					47
UNIT H 410 L1	356	0.15	53				53	0					53
UNIT G 409 L1	312	0.15	47				47	0					47
UNIT E 406 L1	369	0.15	55				55	0					55
UNIT F 405 L1	388	0.15	58				58	0					58
UNIT E 404 L1	369	0.15	55				55	0					55
UNIT F 403 L1	388	0.15	58				58	0					58

C	Minimum ventilation rate per Section 121, Table 121-A
E	Based on fixed seat or the greater of the expected number of occupants and 50% of the CBC occupant load for egress purposes for spaces without fixed seating
H	Required Ventilation Air (REQ'D V.A.) is the larger of the ventilation rates calculated on and AREA or OCCUPANCY BASIS (column D or G)
I	Must be greater than or equal to H, or use Transfer Air (column N) to make up the difference.
J	Design fan supply cfm (Fan CFM) x 30%; or
K	Condition area (ft. sq.) x 0.4 cfm/ft. sq.; or
L	Maximum of Columns H, J, K, or 300 cfm
M	This must be less than or equal to Column L and greater than or equal to the sum of Columns H + N
N	Transfer air must be provided where the Required Ventilation Air (column H) is greater than the Design Minimum Air (column M). Where required, transfer air must be greater than or equal to the difference between the Required Ventilation Air (column H) and the Design Minimum Air (column M), column H - M.

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ARCHITECTS
LEVY DESIGN
90 South Park
San Francisco
CA 94107

880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS, OAKLAND, CA

PROGRESS SET
11/20/2006
NOT FOR CONST.

880 West MacArthur Blvd.
A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

DATE	ISSUE
04-05-06	PLANNING SUBMITTAL
06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

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SCALE: NTS

TITLE 24

MECHANICAL VENTILATION — MECH-3-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

MECHANICAL VENTILATION (Section 121(b)2)

	AREA BASIS			OCCUPANCY BASIS					PRESCRIPTIVE REHEAT LIMITATION (Section 144(d)) VAV MINIMUM				
A	B	C	D	E	F	G	H	I	J	K	L	M	N
ZONE/SYSTEM	Condition Area (SF)	CFM per Square Foot	Min CFM by Area (B x C)	Number of People	CFM per Person	Min CFM by Occupant (E x F)	REQ'D V.A Max of (D or G)	Design Vent. Air CFM	30% of Design Zone Supply CFM	B x 0.4 CFM/sq. ft.	Max of Columns H, J, K or 300 CFM	Design Min. Air Setpoint	Transfer Air
UNIT G 402 L1	312	0.15	47				47	0					47
UNIT H1 401 L1	356	0.15	53				53	0					53
Wall Heater 1725W						Total	528	0					
UNIT M1 518 L2	397	0.15	60				60	0					60
UNIT H 512 L2	427	0.15	64				64	0					64
UNIT H1 501 L2	525	0.15	79				79	0					79
Wall Heater 2000W						Total	202	0					
UNIT M1 419 L1	300	0.15	45				45	0					45
UNIT M 418 L1	354	0.15	53				53	0					53
UNIT L1 417 L1	354	0.15	53				53	0					53
UNIT L 416 L1	377	0.15	57				57	0					57
UNIT L 415 L1	377	0.15	57				57	0					57
UNIT L 414 L1	377	0.15	57				57	0					57
UNIT K 408 L1	364	0.15	55				55	0					55
UNIT J 407 L1	387	0.15	58				58	0					58
Wall Heater 2400W						Total	433	0					
UNIT D1 310	697	0.15	105				105	0					105
UNIT D2 309	697	0.15	105				105	0					105
UNIT D 308	739	0.15	111				111	0					111
UNIT B 306	711	0.15	107				107	0					107
UNIT B 305	711	0.15	107				107	0					107
UNIT A 303	792	0.15	119				119	0					119
UNIT A 302	792	0.15	119				119	0					119
UNIT B1 301	715	0.15	107				107	0					107
UNIT D1 210	697	0.15	105				105	0					105

C — Minimum ventilation rate per Section 121, Table 121-A.
E — Based on fixed seat or the greater of the expected number of occupants and 50% of the CBC occupant load for egress purposes for spaces without fixed seating.
H — Required Ventilation Air (REQ'D V.A.) is the larger of the ventilation rates calculated on and AREA or OCCUPANCY BASIS (column D or G).
I — Must be greater than or equal to H, or use Transfer Air (column N) to make up the difference.
J — Design fan supply cfm (Fan CFM) x 30%; or
K — Condition area (ft. sq.) x 0.4 cfm/ft. sq.; or
L — Maximum of Columns H, J, K, or 300 cfm
M — This must be less than or equal to Column L and greater that or equal to the sum of Columns H + N.
N — Transfer air must be provided where the Required Ventilation Air (column H) is greater than the Design Minimum Air (column M). Where required, transfer air must be greater than or equal to the difference between the Required Ventilation Air (column H) and the Design Minimum Air (column M), column H - M.

MECHANICAL VENTILATION — MECH-3-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

MECHANICAL VENTILATION (Section 121(b)2)

	AREA BASIS			OCCUPANCY BASIS					PRESCRIPTIVE REHEAT LIMITATION (Section 144(d)) VAV MINIMUM				
A	B	C	D	E	F	G	H	I	J	K	L	M	N
ZONE/SYSTEM	Condition Area (SF)	CFM per Square Foot	Min CFM by Area (B x C)	Number of People	CFM per Person	Min CFM by Occupant (E x F)	REQ'D V.A Max of (D or G)	Design Vent. Air CFM	30% of Design Zone Supply CFM	B x 0.4 CFM/sq. ft.	Max of Columns H, J, K or 300 CFM	Design Min. Air Setpoint	Transfer Air
UNIT D2 209	697	0.15	105				105	0					105
UNIT D 208	739	0.15	111				111	0					111
UNIT B 206	711	0.15	107				107	0					107
UNIT B 205	711	0.15	107				107	0					107
UNIT A 203	792	0.15	119				119	0					119
UNIT A 202	792	0.15	119				119	0					119
UNIT B1 201	715	0.15	107				107	0					107
Wall Heater 2525W						Total	1,756	0					
UNIT B 413 L1	691	0.15	104				104	0					104
UNIT B2 307	657	0.15	99				99	0					99
UNIT C1 304	758	0.15	114				114	0					114
UNIT B2 207	657	0.15	99				99	0					99
UNIT C 204	708	0.15	106				106	0					106
Wall Heater 3200W						Total	521	0					

C — Minimum ventilation rate per Section 121, Table 121-A.
E — Based on fixed seat or the greater of the expected number of occupants and 50% of the CBC occupant load for egress purposes for spaces without fixed seating.
H — Required Ventilation Air (REQ'D V.A.) is the larger of the ventilation rates calculated on and AREA or OCCUPANCY BASIS (column D or G).
I — Must be greater than or equal to H, or use Transfer Air (column N) to make up the difference.
J — Design fan supply cfm (Fan CFM) x 30%; or
K — Condition area (ft. sq.) x 0.4 cfm/ft. sq.; or
L — Maximum of Columns H, J, K, or 300 cfm
M — This must be less than or equal to Column L and greater that or equal to the sum of Columns H + N.
N — Transfer air must be provided where the Required Ventilation Air (column H) is greater than the Design Minimum Air (column M). Where required, transfer air must be greater than or equal to the difference between the Required Ventilation Air (column H) and the Design Minimum Air (column M), column H - M.

MECHANICAL EQUIPMENT DETAILS — Part 1 of 2 — MECH-5-C

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

CHILLER AND TOWER SUMMARY

Equipment Name	Equipment Type	Qty.	Efficiency	Tons	PUMPS Tot. Qty	GPM	BHP	Motor Eff.	Drive Eff.	Pump Control

DHW / BOILER SUMMARY

System Name	System Type	Distribution Type	Qty	Rated Input	Vol. (Gals.)	Condition Status	Energy Factor or RE	Standby Loss or Pilot	TANK INSUL. Ext. R-Val.
Lochinvar PFN0751	Large Gas	All Pipes Ins	1	750,000	400	New	0.88	0.00%	0.0

MULTI-FAMILY CENTRAL WATER HEATING DETAILS

Hot Water Pump: Control	#	HP	Type	Hot Water Piping Length (ft): In Plenum	Outside	Buried	Add 1/2" Insulation
Demand	1	1.5	Premium Eff	400	0	0	Yes

CENTRAL SYSTEM RATINGS

System Name	System Type	Qty	HEATING Output	Aux. kW	Eff.	COOLING Output	Efficiency	Condition Status	Economizer Type
Electric Wall Heater 1200W	Room PTAC	14	4,092	0.0	3.41 HSPF	0	n/a	New	No Economizer
Electric Wall Heater 1500 W	Split DX	1	5,115	0.0	3.41 HSPF	0	n/a	New	No Economizer
Electric Wall Heater 1725 W	Split DX	10	5,883	0.0	3.41 HSPF	0	n/a	New	No Economizer
Electric Wall Heater 2000 W	Split DX	3	6,820	0.0	3.41 HSPF	0	n/a	New	No Economizer
Electric Wall Heater 2400 W	Split DX	8	8,184	0.0	3.41 HSPF	0	n/a	New	No Economizer
Electric Wall Heater 2525 W	Split DX	16	8,610	0.0	3.41 HSPF	0	n/a	New	No Economizer
Electric Wall Heater 3200 W	Split DX	5	10,912	0.0	3.41 HSPF	0	n/a	New	No Economizer

CENTRAL SYSTEM FAN SUMMARY

System Name	Fan Type	SUPPLY FAN Motor Location	CFM	BHP	Motor Eff.	Drive Eff.	RETURN FAN CFM	BHP	Motor Eff.	Drive Eff.
Electric Wall Heater 1200W	Constant Volume	Blow-Through	none				none			
Electric Wall Heater 1500 W	Constant Volume	Draw-Through	none				none			
Electric Wall Heater 1725 W	Constant Volume	Draw-Through	none				none			
Electric Wall Heater 2000 W	Constant Volume	Draw-Through	none				none			
Electric Wall Heater 2400 W	Constant Volume	Draw-Through	none				none			
Electric Wall Heater 2525 W	Constant Volume	Draw-Through	none				none			
Electric Wall Heater 3200 W	Constant Volume	Draw-Through	none				none			

Run Initiation Time: 02/22/07 13:06:04 — Run Code: 1172178364

ENVELOPE MANDATORY MEASURES — ENV-MM

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

DESCRIPTION	Designer	Enforcement
[X] § 118(a) Installed Insulating Material shall have been certified by the manufacturer to comply with the California Quality Standards for insulating material, Title 20, Chapter 4, Article 3.		
[X] § 118(c) All Insulating Materials shall be installed in compliance with the flame spread rating and smoke density requirements of Sections 2602 and 707 of Title 24, Part 2.		
[X] § 117(a) All Exterior Joints and openings in the building that are observable sources of air leakage shall be caulked, gasketed, weatherstripped or otherwise sealed.		
[X] § 116(b) Site Constructed Doors, Windows and Skylights shall be caulked between the unit and the building, and shall be weatherstripped (except for unframed glass doors and fire doors).		
[X] § 116(a)1 Manufactured Doors and Windows Installed shall have air infiltration rates not exceeding those shown in Table Number 1-E. of the Standards. Manufactured fenestration products must be labeled for U-value according to NFRC procedures.		
[X] § 118(e) Demising Walls in Nonresidential Buildings: The opaque portions of framed demising walls in nonresidential buildings shall have insulation with an installed R-value of no less than R-13 between framing members.		

MECHANICAL MANDATORY MEASURES — Part 1 of 2 — MECH-MM

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

DESCRIPTION	Designer	Enforcement
Equipment and Systems Efficiencies		
[X] § 111 Any appliance for which there is a California standard established in the Appliance Efficiency Regulations will comply with the applicable standard.		
[ ] § 115(a) Fan type central furnaces shall not have a pilot light.		
[ ] § 123 Piping, except that conveying fluids at temperatures between 60 and 105 degrees Fahrenheit, or within HVAC equipment, shall be insulated in accordance with Standards Section 123.		
[ ] § 124 Air handling duct systems shall be installed and insulated in compliance with Sections 601, 602, 603, 604, and 605 of the 2001 CMC Standards.		
Controls		
§ 122(e) Each space conditioning system shall be installed with one of the following:		
[ ] § 122(e)1A Each space conditioning system serving building types such as offices and manufacturing facilities (and all others not explicitly exempt from the requirements of Section 112 (d)) shall be installed with an automatic time switch with an accessible manual override that allows operation of the system during off-hours for up to 4 hours. The time switch shall be capable of programming different schedules for weekdays and weekends and have program backup capabilities that prevent the loss of the device's program and time setting for at least 10 hours if power is interrupted; or		
[ ] § 122(e)1B An occupancy sensor to control the operating period of the system; or		
[ ] § 122(e)1C A 4-hour timer that can be manually operated to control the operating period of the system.		
[ ] § 122(e)2 Each space conditioning system shall be installed with controls that temporarily restart and temporarily operate the system as required to maintain a setback heating and/or a setup cooling thermostat setpoint.		
[ ] § 122(g) Each space conditioning system serving multiple zones with a combined conditioned floor area more than 25,000 square feet shall be provided with isolation zones. Each zone: shall not exceed 25,000 square feet; shall be provided with isolation devices, such as valves or dampers, that allow the supply of heating or cooling to be setback or shut off independently of other isolation areas; and shall be controlled by a time control device as described above.		
[X] § 122(a&b) Each space conditioning system shall be controlled by an individual thermostat that responds to temperature within the zone. Where used to control heating, the control shall be adjustable down to 55 degrees F or lower. For cooling, the control shall be adjustable up to 85 degrees F or higher. Where used for both heating and cooling, the control shall be capable of providing a deadband of at least 5 degrees F within which the supply of heating and cooling is shut off or reduced to a minimum.		
[X] § 122(c) Thermostats shall have numeric setpoints in degrees Fahrenheit (F) and adjustable setpoint stops accessible only to authorized personnel.		
[ ] § 112(b) Heat pumps shall be installed with controls to prevent electric resistance supplementary heater operation when the heating load can be met by the heat pump alone.		

MECHANICAL MANDATORY MEASURES — Part 2 of 2 — MECH-MM

PROJECT NAME: Macarthur Condos — DATE: 2/22/2007

Description	Designer	Enforcement
Ventilation		
[ ] § 121(e) Controls shall be provided to allow outside air dampers or devices to be operated at the ventilation rates as specified on these plans.		
[ ] § 122(f) Gravity or automatic dampers interlocked and closed on fan shutdown shall be provided on the outside air intakes and discharges of all space conditioning and exhaust systems.		
[ ] § 122(f) All gravity ventilating systems shall be provided with automatic or readily accessible manually operated dampers in all openings to the outside, except for combustion air openings.		
[ ] § 121(f)1 Air Balancing: The system shall be balanced in accordance with the National Environmental Balancing Bureau (NEBB) Procedural Standards (1983), or Associated Air Balance Council (AABC) National Standards (1989); or		
[ ] § 121(f)2 Outside Air Certification: The system shall provide the minimum outside air as shown on the mechanical drawings, and shall be measured and certified by the installing licensed C-20 mechanical contractor and certified by (1) the design mechanical engineer, (2) the installing licenced C-20 mechanical contractor, or (3) the person with overall responsibility for the design of the ventilation system; or		
[ ] § 121(f)3 Outside Air Measurement: The system shall be equipped with a calibrated local or remote device capable of measuring the quantity of outside air on a continuous basis and displaying that quantity on a readily accessible display divice; or		
[ ] § 121(f)4 Another method approved by the Commission.		
Service Water Heating Systems		
[ ] § 113(b)2 If a circulating hot water system is installed, it shall have a control capable of automatically turning off the circulating pump(s) when hot water is not required.		
[X] § 113(c) Lavatories in restrooms of public facilities shall be equipped with controls to limit the outlet temperature to 110 degrees F.		

ARCHITECT LEVY DESIGN
90 South Park
San Francisco
CA 94107

880 WEST MacARTHUR BLVD.

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A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

DATE	ISSUE
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06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

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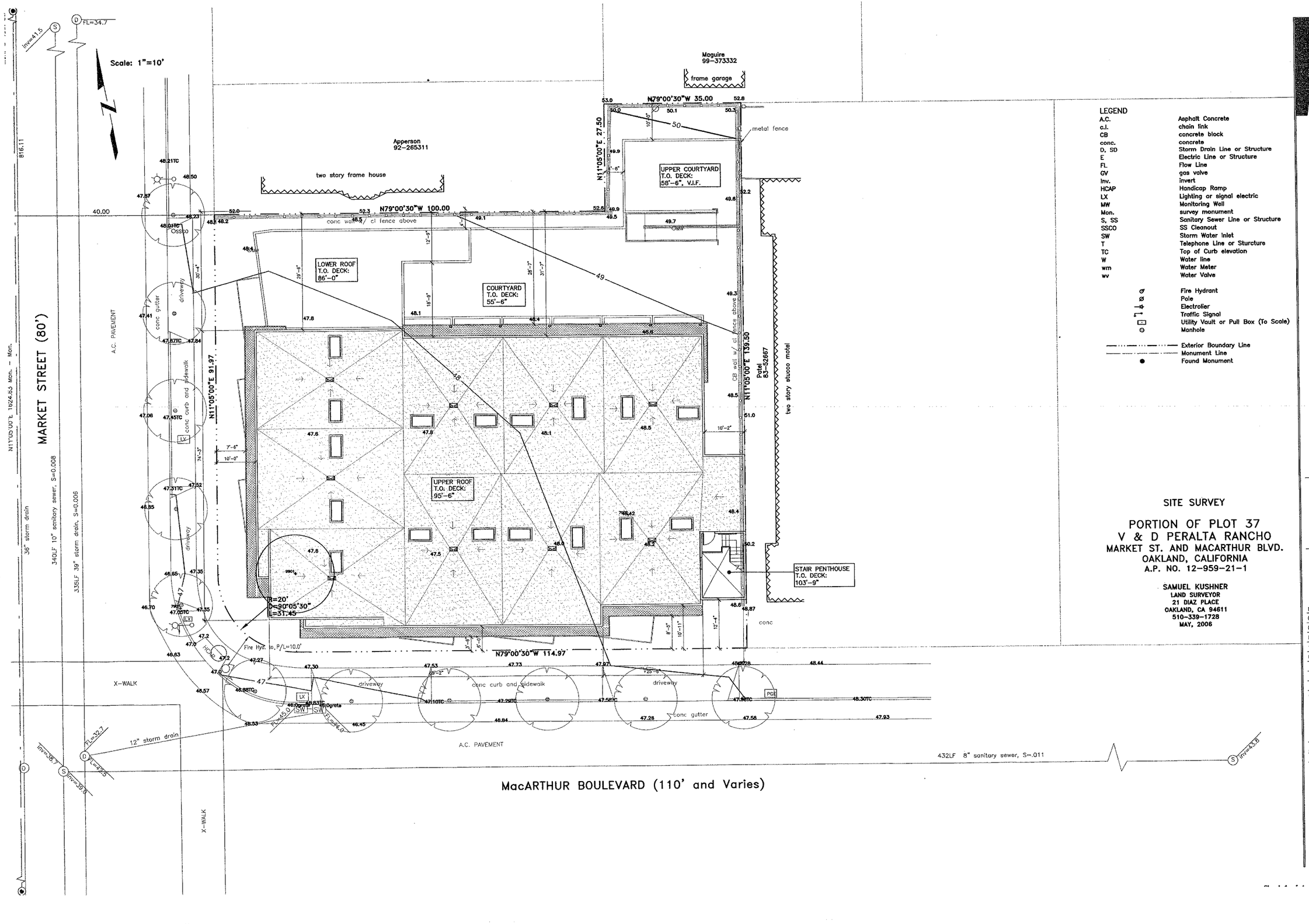
SCALE: NTS

TITLE 24

A0.8



LEGEND

A.C.	Asphalt Concrete
c.l.	chain link
CB	concrete block
conc.	concrete
D, SD	Storm Drain Line or Structure
E	Electric Line or Structure
FL	Flow Line
GV	gas valve
Inv.	invert
HCAP	Handicap Ramp
LX	Lighting or signal electric
MW	Monitoring Well
Mon.	survey monument
S, SS	Sanitary Sewer Line or Structure
SSCO	SS Cleanout
SW	Storm Water Inlet
T	Telephone Line or Sturcture
TC	Top of Curb elevation
W	Water line
wm	Water Meter
wv	Water Valve
	Fire Hydrant
	Pole
	Electrolier
	Traffic Signal
	Utility Vault or Pull Box (To Scale)
	Manhole
	Exterior Boundary Line
	Monument Line
	Found Monument

SITE SURVEY

PORTION OF PLOT 37
V & D PERALTA RANCHO
MARKET ST. AND MACARTHUR BLVD.
OAKLAND, CALIFORNIA
A.P. NO. 12-959-21-1

SAMUEL KUSHNER
LAND SURVEYOR
21 DIAZ PLACE
OAKLAND, CA 94611
510-339-1728

MAY, 2006

880 WEST MacARTHUR BLVD.

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CONTACTS:
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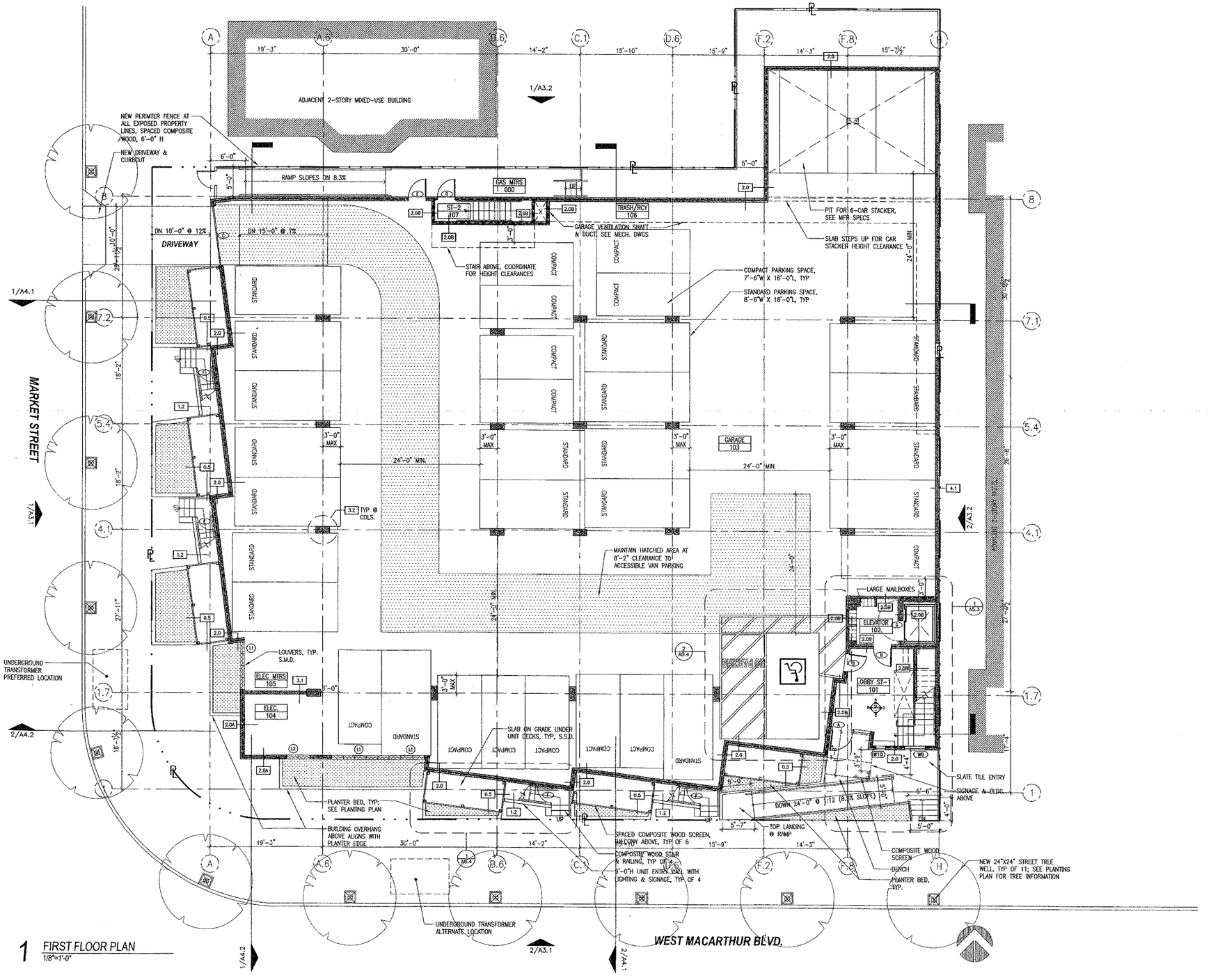
SCALE: 1:120

PLOT PLAN

A1.1



1 FIRST FLOOR PLAN
1/8"=1'-0"

SYMBOL LEGEND

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- 1.6 — WALL ASSEMBLY, SEE A9.1, A9.2
- (D) DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
- (WX) WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
- (L) LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER
- UNIT-XX / XXX — UNIT TYPE / UNIT NUMBER

WALL RATING LEGEND

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED AREA SEPARATION WALL
- 2HR FIRE RATED WALL
- 4HR FIRE RATED WALL

GENERAL NOTES

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1, A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1–A6.6 FOR ENLARGED UNIT PLANS

SEE A8.1 & A8.2 FOR DOOR & WINDOW SCHEDULE

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNNECT TO CITY SEWER. SLOPES 1/4" PER FOOT MINIMUM TO DRAIN.

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'--2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.

SLAB @ PARKING LEVEL TO SLOPE TO DRAIN, MAX 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

FLOORS 2–5 TO BE 1 HR CONSTRUCTION THROUGHOUT PER CBC SECTION 310.2.2

NO PARAPET REQUIRED @ AREA SEPARATION PER CDC 504.6.4 EXCEPTION #2

DIMENSION NOTES

1. WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.N.O.

2. ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.

3. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

LEVY DESIGN PARTNERS
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CONTACTS:
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(415) 777-5117 F
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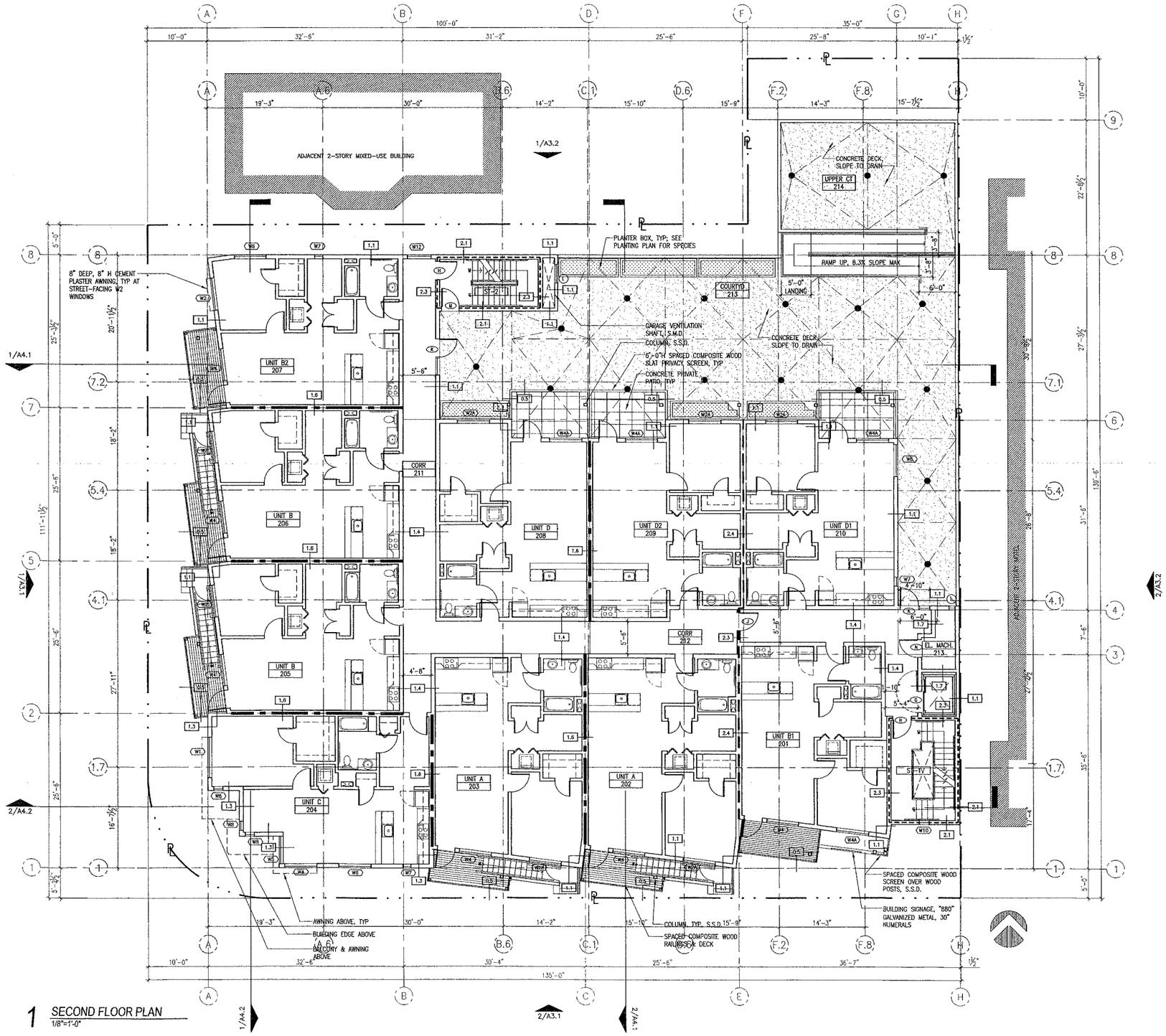
SCALE: 1/8" = 1'-0"

FIRST FLOOR PLAN

A2.1



1 SECOND FLOOR PLAN
1/8"=1'-0"

SYMBOL LEGEND

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- 1.6 — WALL ASSEMBLY, SEE A9.1, A9.2
- X — DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
- WX — WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
- L — LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER
- UNIT XX / XXX — UNIT TYPE / UNIT NUMBER

WALL RATING LEGEND

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED AREA SEPARATION WALL
- 2HR FIRE RATED WALL
- 4HR FIRE RATED WALL

GENERAL NOTES

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1, A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1–A6.6 FOR ENLARGED UNIT PLANS

SEE A8.1 & A8.2 FOR DOOR & WINDOW SCHEDULE

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER. SLOPES 1/4" PER FOOT MINIMUM TO DRAIN.

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'–0" MIN DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'–2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.

SLAB @ PARKING LEVEL TO SLOPE TO DRAIN, MAX 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

FLOORS 2–5 TO BE 1 HR CONSTRUCTION THROUGHOUT PER CBC SECTION 310.2.2

NO PARAPET REQUIRED @ AREA SEPARATION PER CDC 504.6.4 EXCEPTION #2

DIMENSION NOTES

1. WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.N.O.

2. ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.

3. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

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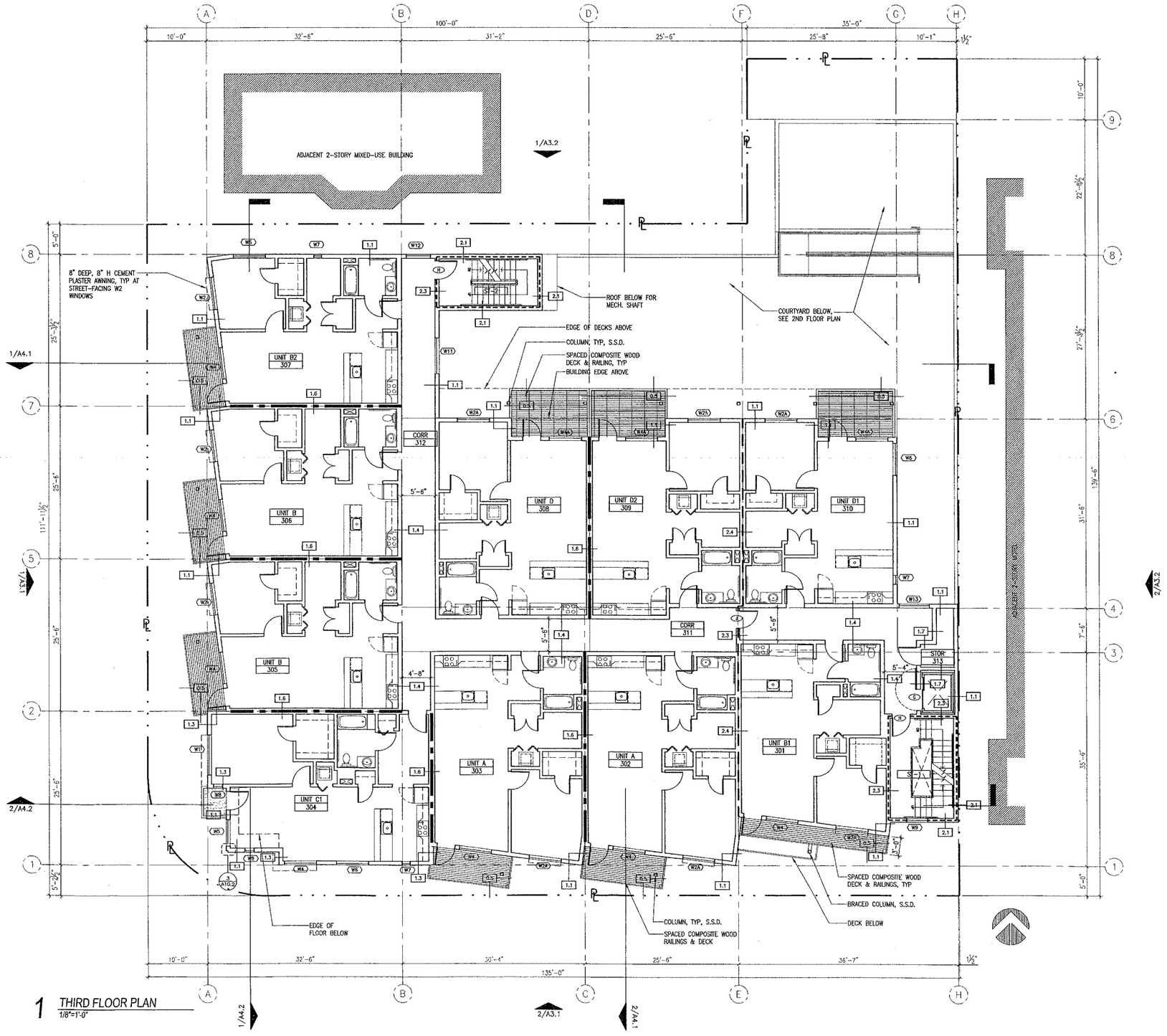
SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN

A2.2



1 THIRD FLOOR PLAN
1/8"=1'-0"

SYMBOL LEGEND

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- 1.6 — WALL ASSEMBLY, SEE A9.1, A9.2
- (X) DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
- (WX) WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
- (L) LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER
- UNIT-XX / XXX — UNIT TYPE / UNIT NUMBER

WALL RATING LEGEND

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED AREA SEPARATION WALL
- 2HR FIRE RATED WALL
- 4HR FIRE RATED WALL

GENERAL NOTES

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1, A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1–A6.6 FOR ENLARGED UNIT PLANS

SEE A8.1 & A8.2 FOR DOOR & WINDOW SCHEDULE

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER. SLOPES 1/4" PER FOOT MINIMUM TO DRAIN.

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'–0" MIN DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

AT PARKING LEVEL: CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'–2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.

SLAB @ PARKING LEVEL TO SLOPE TO DRAIN, MAX 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

FLOORS 2–5 TO BE 1 HR CONSTRUCTION THROUGHOUT PER CBC SECTION 310.2.2

NO PARAPET REQUIRED @ AREA SEPARATION PER CDC 504.6.4 EXCEPTION #2

DIMENSION NOTES

1. WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.N.O.

2. ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.

3. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

LEVY DESIGN PARTNERS
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880 WEST MacARTHUR BLVD.

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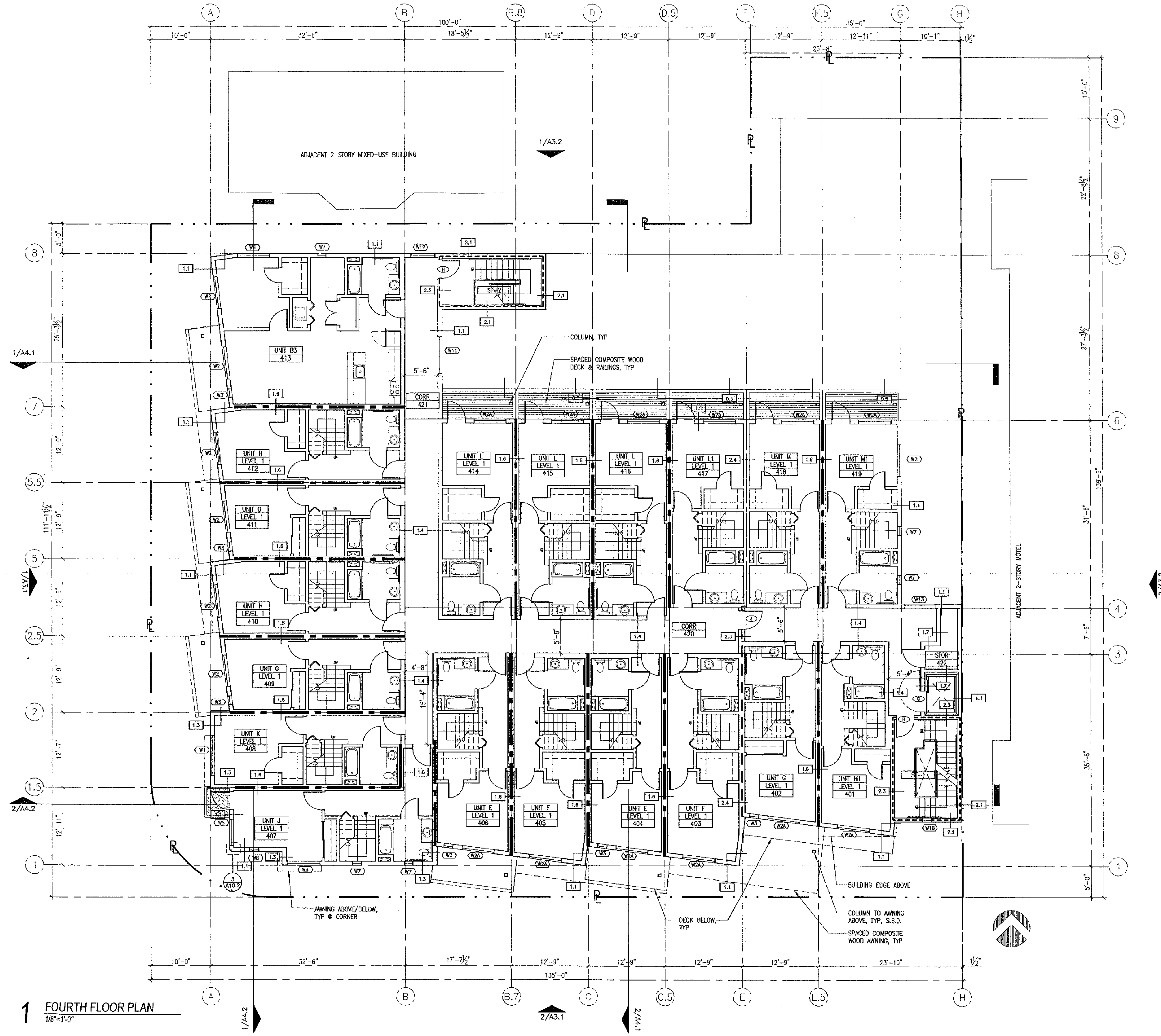
devi@levydesignpartners.com

SCALE: 1/8" = 1'-0"

THIRD FLOOR PLAN

A2.3



1 FOURTH FLOOR PLAN
1/8"=1'-0"

SYMBOL LEGEND

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- 1.6 — WALL ASSEMBLY, SEE A9.1, A9.2
- (X) DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
- (WX) WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
- (L) LOUVER, SEE MECHANICAL DRAWINGS
- ● DECK DRAIN TO CITY SEWER
- UNIT-XX — UNIT TYPE
- XXX — UNIT NUMBER

WALL RATING LEGEND

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED AREA SEPARATION WALL
- 2HR FIRE RATED WALL
- 4HR FIRE RATED WALL

GENERAL NOTES

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1, A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1–A6.6 FOR ENLARGED UNIT PLANS

SEE A8.1 & A8.2 FOR DOOR & WINDOW SCHEDULE

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER. SLOPES 1/4" PER FOOT MINIMUM TO DRAIN.

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'–0" MIN DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'–2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.

SLAB @ PARKING LEVEL TO SLOPE TO DRAIN, MAX 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

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FLOORS 2–5 TO BE 1 HR CONSTRUCTION THROUGHOUT PER CBC SECTION 310.2.2

NO PARAPET REQUIRED @ AREA SEPARATION PER CDC 504.6.4 EXCEPTION #2

DIMENSION NOTES

1. WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.N.O.

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3. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

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880 WEST MacARTHUR BLVD.

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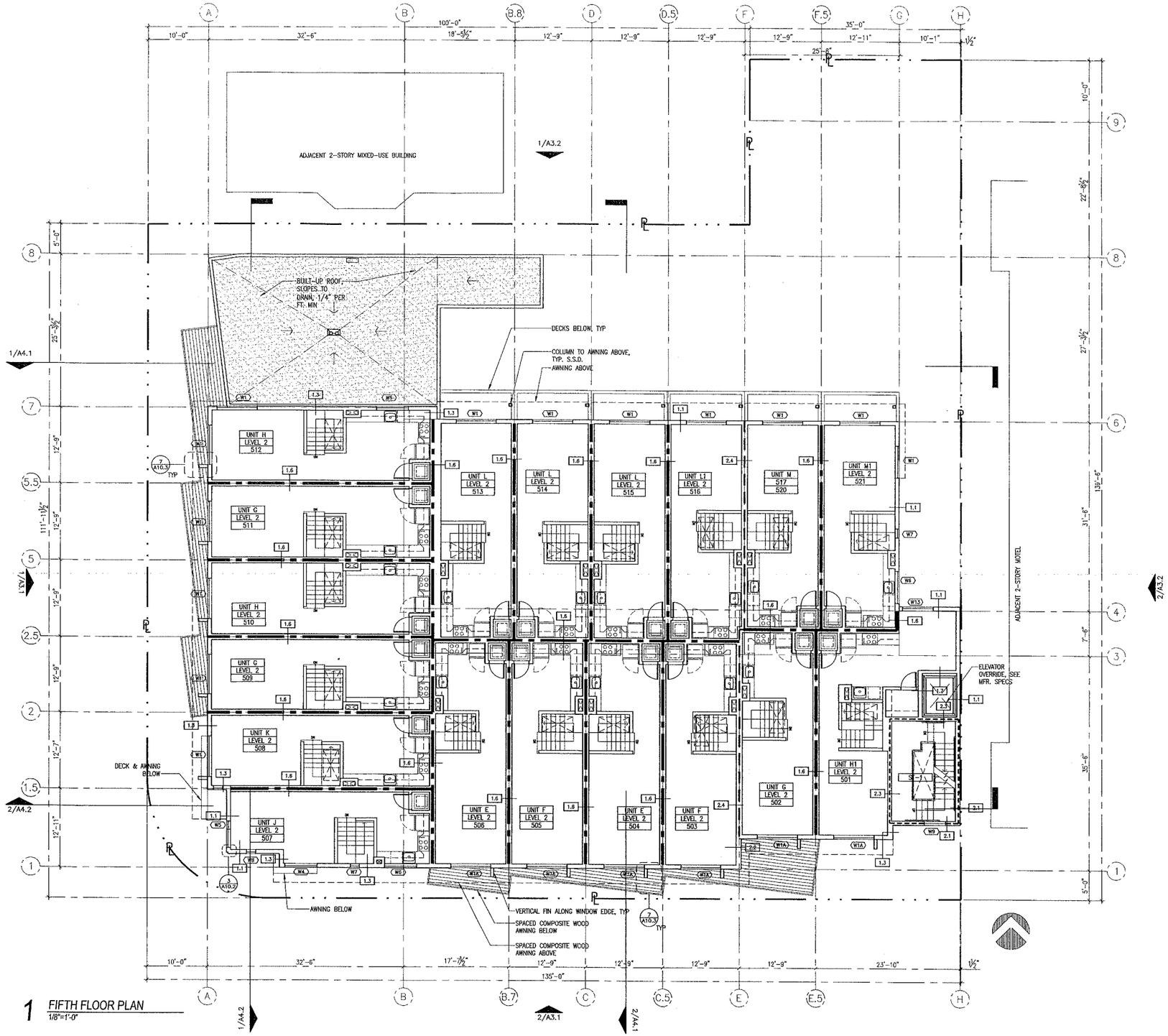
SCALE: 1/8" = 1'-0"

FOURTH FLOOR PLAN

A2.4



1 FIFTH FLOOR PLAN
1/8"=1'-0"

SYMBOL LEGEND

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- 1.6 — WALL ASSEMBLY, SEE A9.1, A9.2
- (X) DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
- (WX) WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
- (L) LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER
- UNIT-XX / XXX — UNIT TYPE / UNIT NUMBER

WALL RATING LEGEND

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED AREA SEPARATION WALL
- 2HR FIRE RATED WALL
- 4HR FIRE RATED WALL

GENERAL NOTES

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1, A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1–A6.6 FOR ENLARGED UNIT PLANS

SEE A8.1 & A8.2 FOR DOOR & WINDOW SCHEDULE

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER. SLOPES 1/4" PER FOOT MINIMUM TO DRAIN.

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'–0" MIN DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'–2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.

SLAB @ PARKING LEVEL TO SLOPE TO DRAIN, MAX 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

FLOORS 2–5 TO BE 1 HR CONSTRUCTION THROUGHOUT PER CBC SECTION 310.2.2

NO PARAPET REQUIRED @ AREA SEPARATION PER CDC 504.6.4 EXCEPTION #2

DIMENSION NOTES

1. WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.N.O.

2. ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.

3. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

LEVY DESIGN PARTNERS
90 South Park
San Francisco
CA 94107

880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS, OAKLAND, CA

PROGRESS SET
11/20/2006

NOT FOR CONST.

880 West MacArthur Blvd.

A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

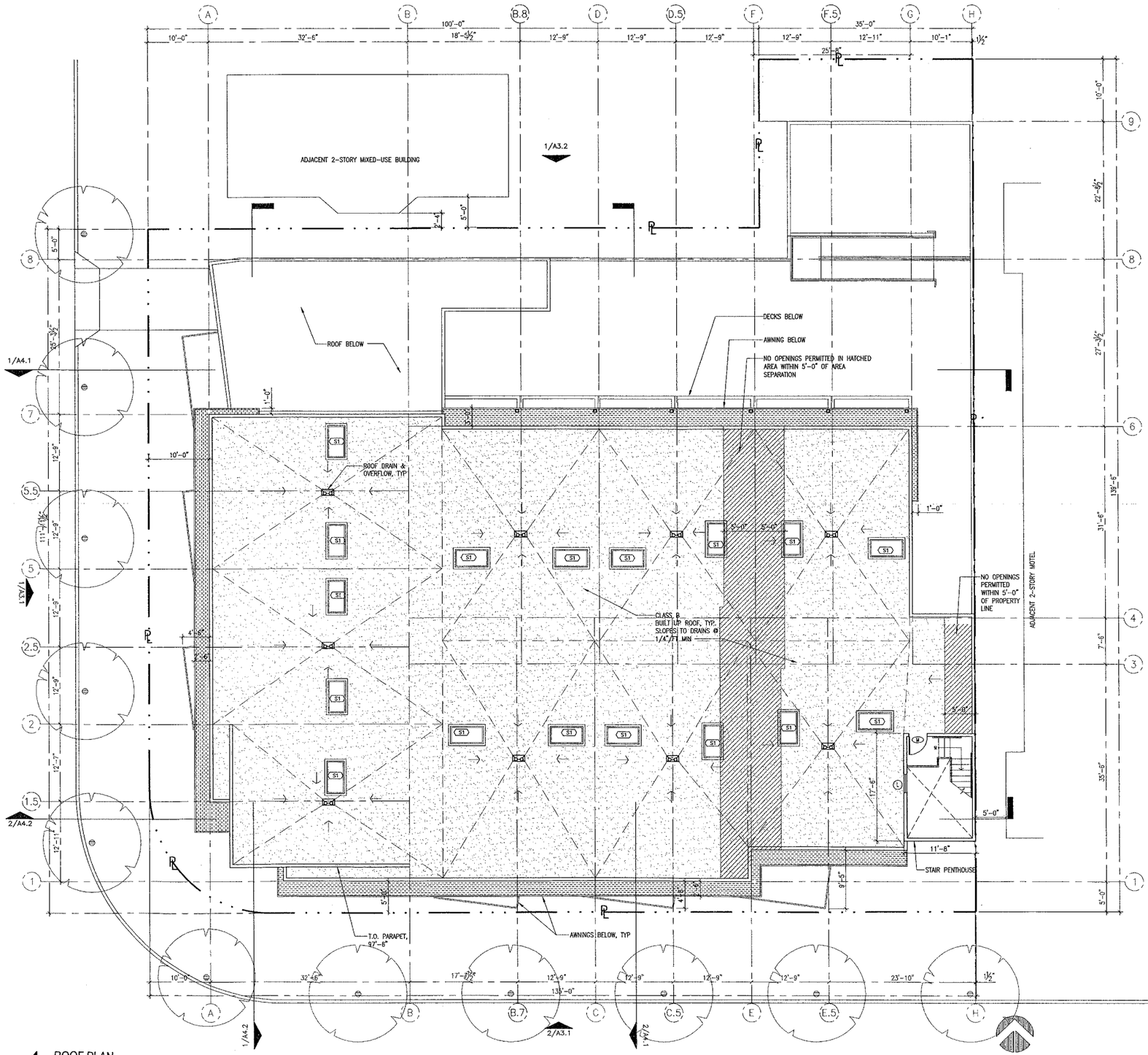
DATE	ISSUE
04-05-06	PLANNING SUBMITTAL
06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

CONTACTS:
DEVI DUTTA-CHOUDHURY
(415) 777-0561 P
(415) 777-5117 F
devi@levydesignpartners.com

SCALE: 1/8" = 1'-0"

FIFTH FLOOR PLAN

A2.5



1 ROOF PLAN
1/8"=1'-0"

SYMBOL LEGEND

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- 1.6 — WALL ASSEMBLY, SEE A9.1, A9.2
- X — DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
- WX — WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
- L — LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER
- UNIT -XX / XXX — UNIT TYPE / UNIT NUMBER

WALL RATING LEGEND

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED AREA SEPARATION WALL
- 2HR FIRE RATED WALL
- 4HR FIRE RATED WALL

GENERAL NOTES

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1, A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1–A6.6 FOR ENLARGED UNIT PLANS

SEE A8.1 & A8.2 FOR DOOR & WINDOW SCHEDULE

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MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

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SLAB @ PARKING LEVEL TO SLOPE TO DRAIN, MAX 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

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1. WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.N.O.

2. ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.

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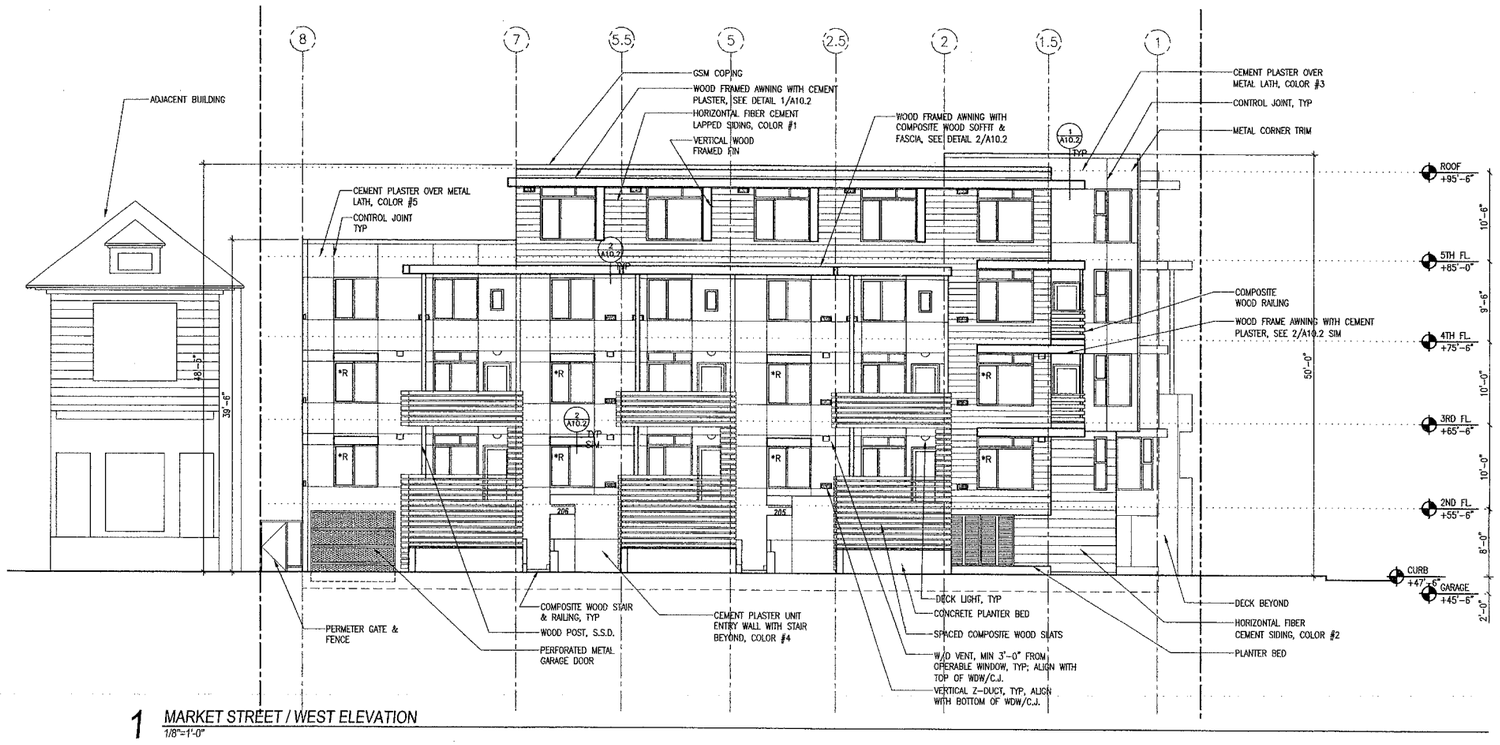
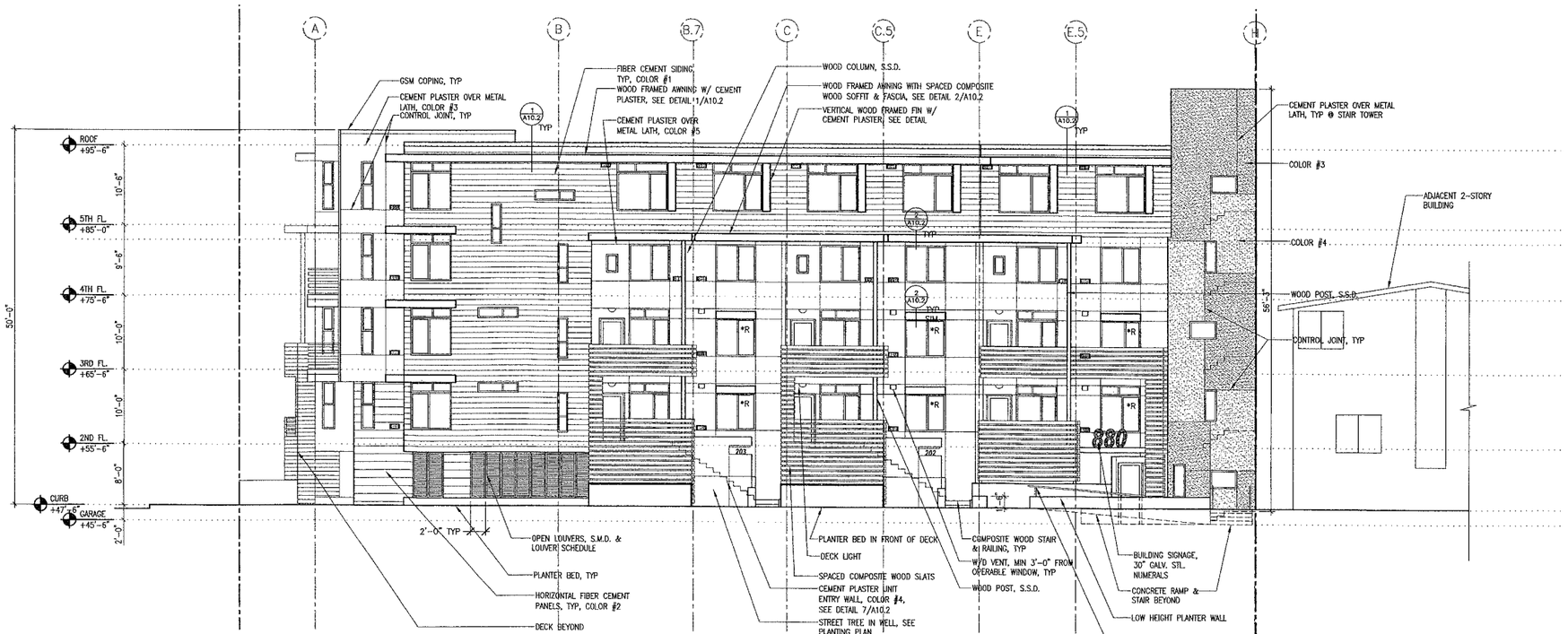
SCALE: 1/8" = 1'-0"

ROOF PLAN

A2.6



1 MARKET STREET / WEST ELEVATION
1/8"=1'-0"



2 WEST MACARTHUR STREET / SOUTH ELEVATION
1/8"=1'-0"

GENERAL NOTES

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR DOOR SCHEDULE, SEE SHEET A8.1

FOR WINDOW SCHEDULE, SEE SHEET A8.2

FOR LOUVER SIZES SEE MECHANICAL DRAWINGS

FOR DIMENSIONS NOT INDICATED HERE; SEE FLOOR PLANS AND ENLARGED UNIT PLANS.

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER.

ALL ROOF AREAS TO BE CLASS "B" PER CBC SECTION 1503

*R INDICATES LOCATION OF RESCUE WINDOW/DOOR

PROVIDE EMERGENCY EGRESS WINDOWS FOR BEDROOMS PER CBC SECTION 310.4

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

ALL FLASHING, COPING, DOWNSPOUTS, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES

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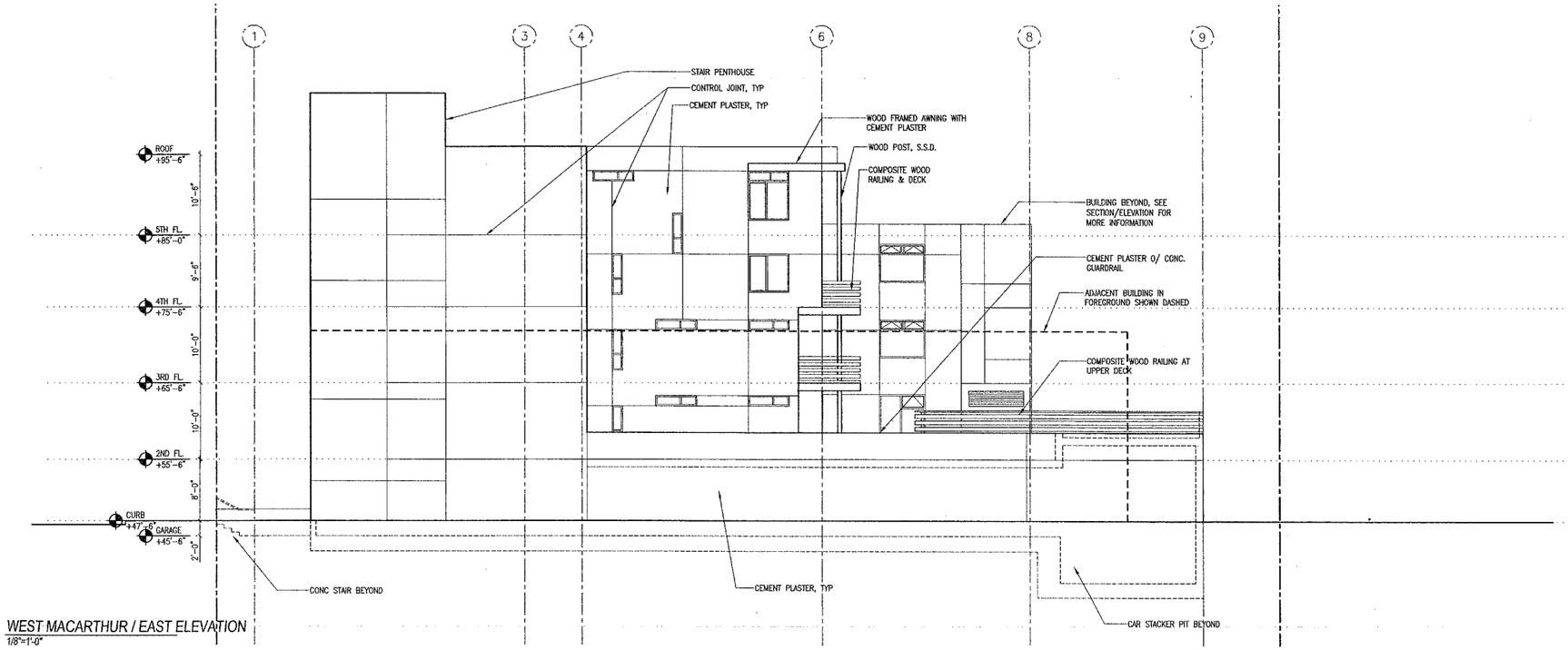
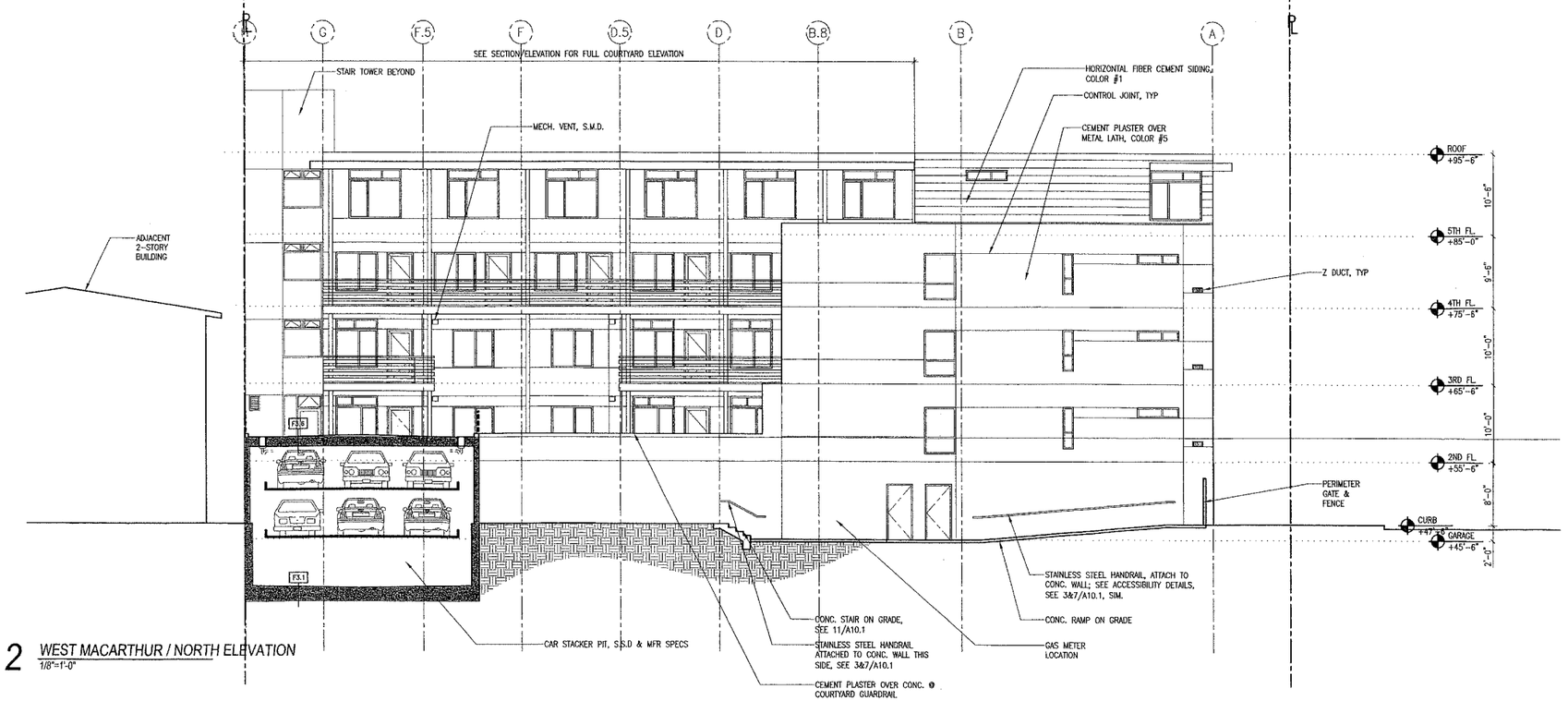
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

A3.1



1 WEST MACARTHUR / EAST ELEVATION
1/8"=1'-0"



2 WEST MACARTHUR / NORTH ELEVATION
1/8"=1'-0"

GENERAL NOTES

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR DOOR SCHEDULE, SEE SHEET A8.1

FOR WINDOW SCHEDULE, SEE SHEET A8.2

FOR LOUVER SIZES SEE MECHANICAL DRAWINGS

FOR DIMENSIONS NOT INDICATED HERE; SEE FLOOR PLANS AND ENLARGED UNIT PLANS.

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER.

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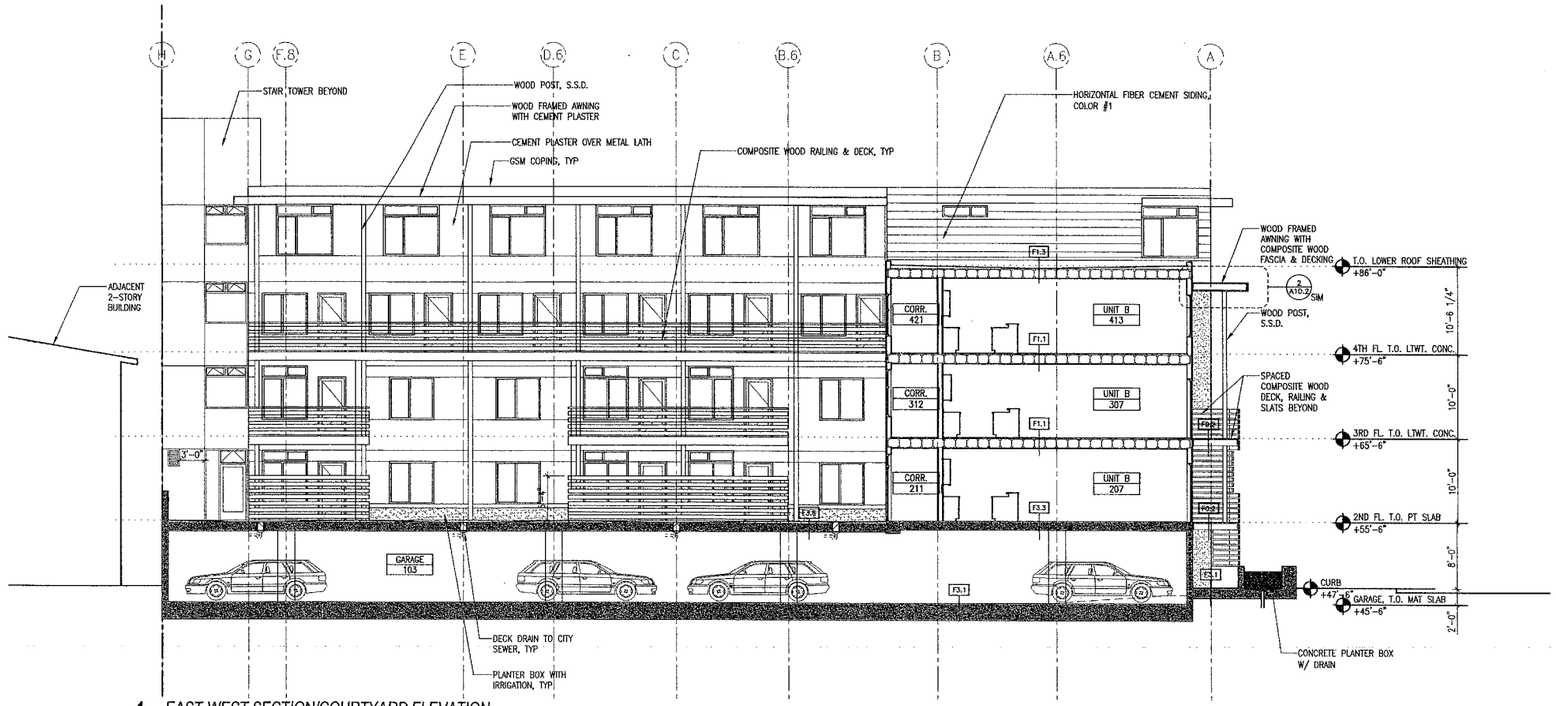
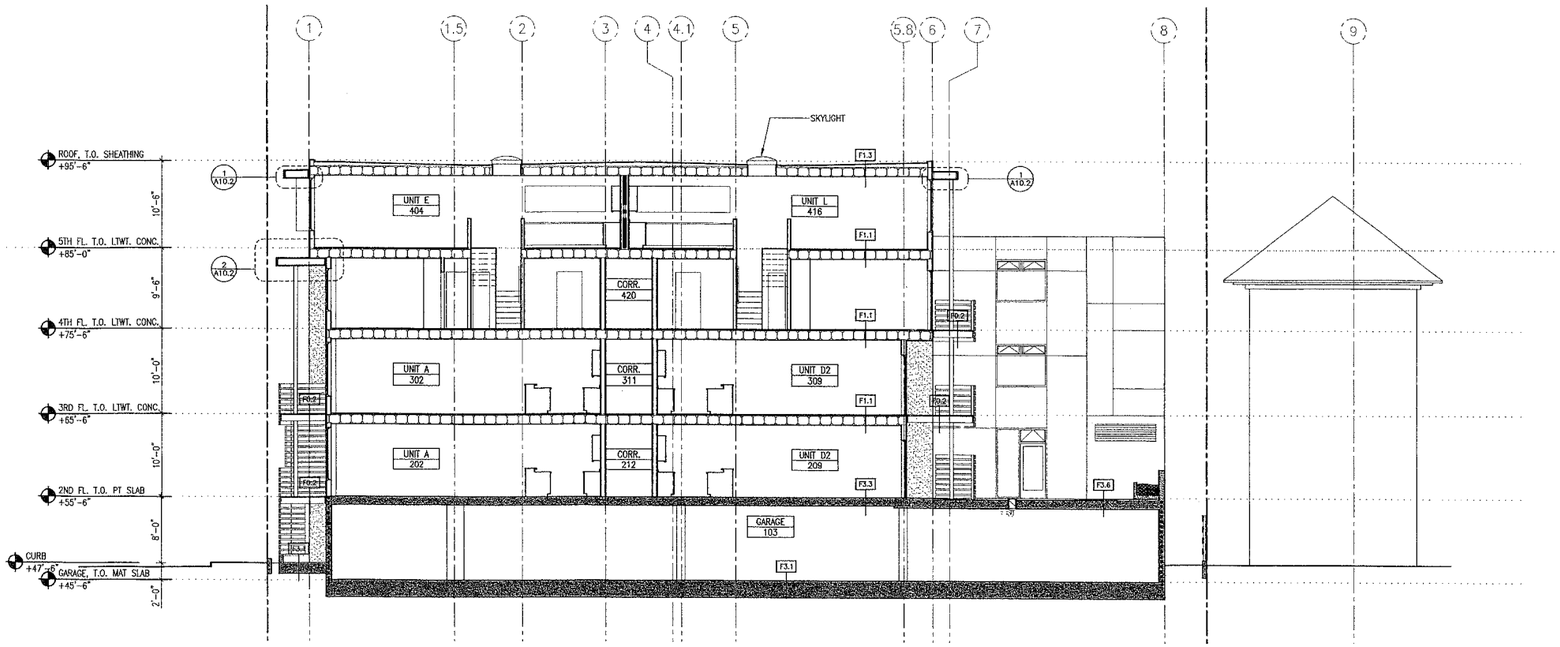
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

A3.2



1 EAST-WEST SECTION/COURTYARD ELEVATION
1/8"=1'-0"



2 NORTH-SOUTH SECTION/COURTYARD ELEVATION
1/8"=1'-0"

SYMBOL LEGEND

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- 1.8 WALL ASSEMBLY, SEE A9.1, A9.2
- X DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
- WX WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
- L LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER

WALL RATING LEGEND

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED AREA SEPARATION WALL
- 2HR FIRE RATED WALL
- 3HR FIRE AREA SEPERATION
- 4HR FIRE RATED WALL

GENERAL NOTES

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR DOOR SCHEDULE, SEE SHEET A8.1

FOR WINDOW SCHEDULE, SEE SHEET A8.2

FOR LOUVER SIZES SEE MECHANICAL DRAWINGS

FOR DIMENSIONS NOT INDICATED HERE; SEE FLOOR PLANS AND ENLARGED UNIT PLANS.

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER.

ALL ROOF AREAS TO BE CLASS "B" PER CBC SECTION 1503

*R INDICATES LOCATION OF RESCUE WINDOW/DOOR

PROVIDE EMERGENCY EGRESS WINDOWS FOR BEDROOMS PER CBC SECTION 310.4

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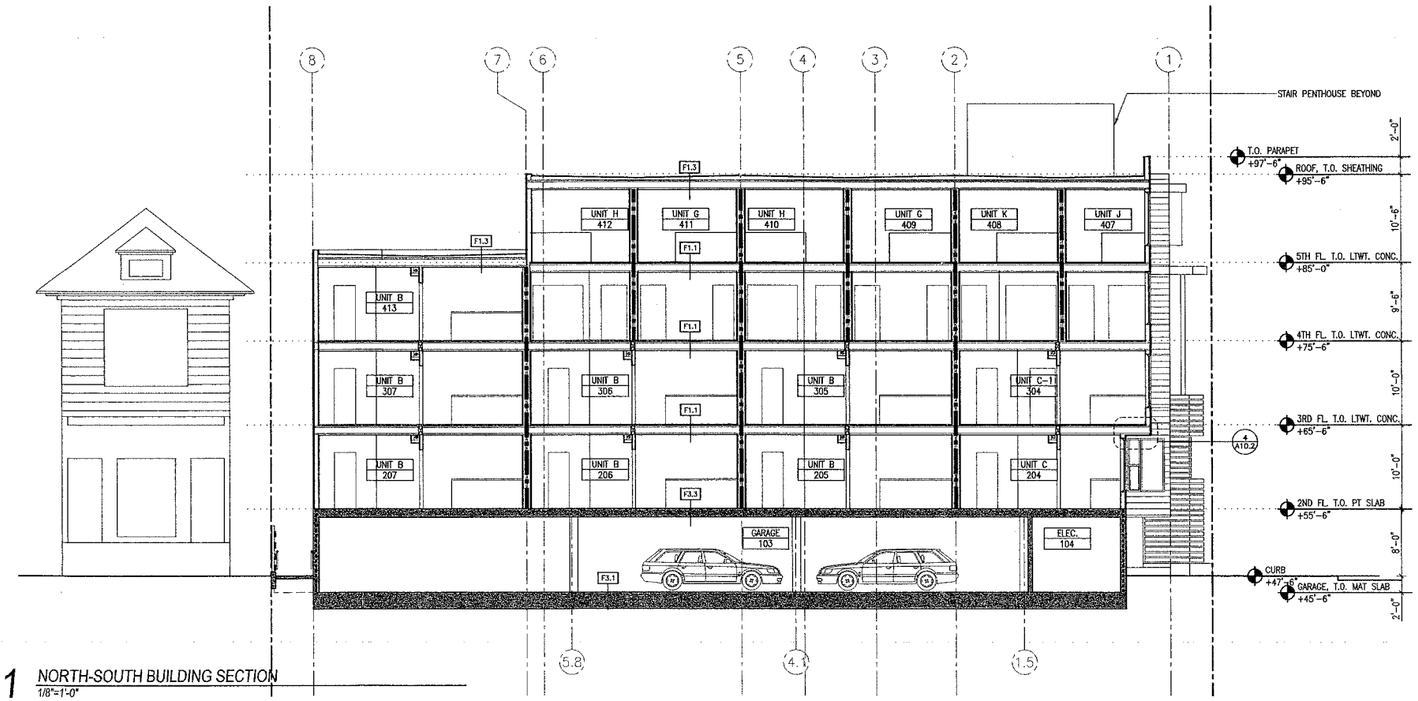
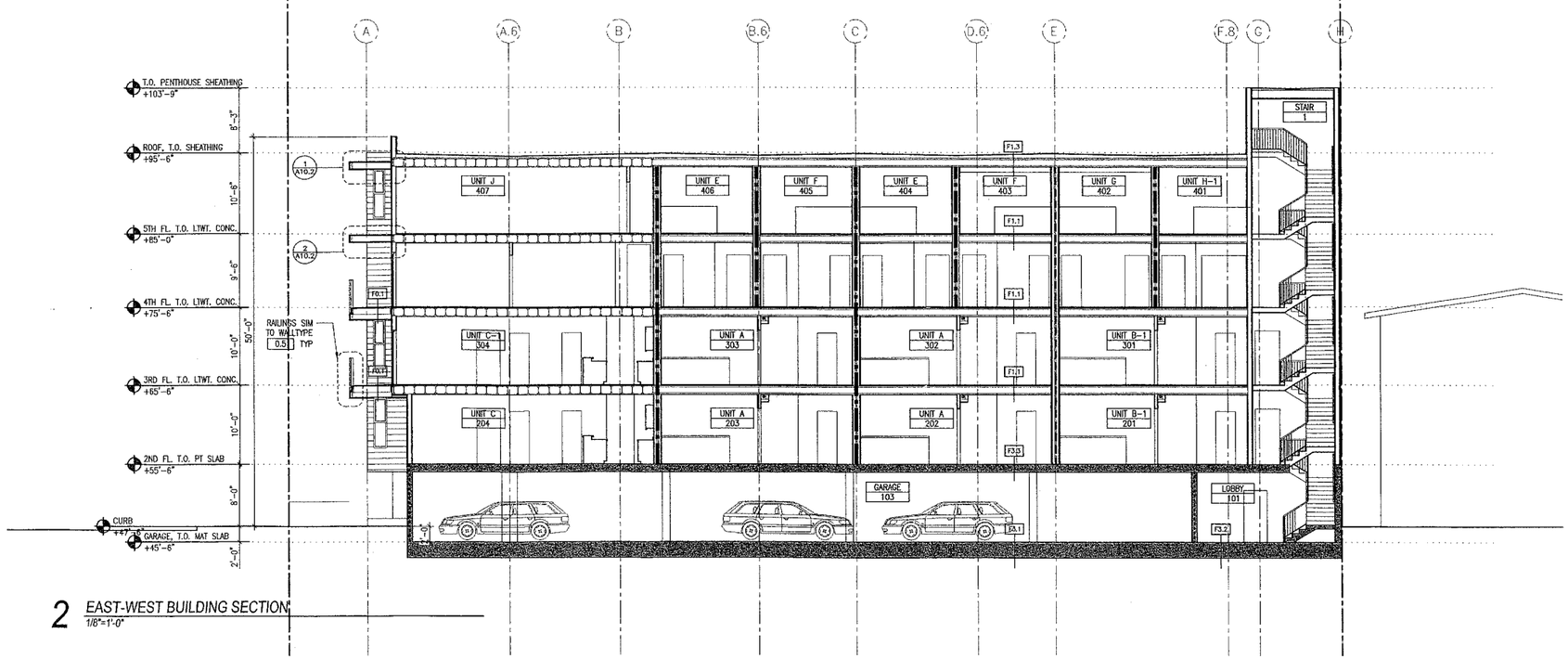
SCALE: 1/8" = 1'-0"

BUILDING SECTIONS

A4.1



1 NORTH-SOUTH BUILDING SECTION
1/8"=1'-0"



2 EAST-WEST BUILDING SECTION
1/8"=1'-0"

SYMBOL LEGEND

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- 1.6 WALL ASSEMBLY, SEE A9.1, A9.2
- X DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
- WX WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
- L LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER

WALL RATING LEGEND

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED AREA SEPARATION WALL
- 2HR FIRE RATED WALL
- 3HR FIRE AREA SEPERATION
- 4HR FIRE RATED WALL

GENERAL NOTES

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR DOOR SCHEDULE, SEE SHEET A8.1

FOR WINDOW SCHEDULE, SEE SHEET A8.2

FOR LOUVER SIZES SEE MECHANICAL DRAWINGS

FOR DIMENSIONS NOT INDICATED HERE; SEE FLOOR PLANS AND ENLARGED UNIT PLANS.

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER.

ALL ROOF AREAS TO BE CLASS "B" PER CBC SECTION 1503

*R INDICATES LOCATION OF RESCUE WINDOW/DOOR

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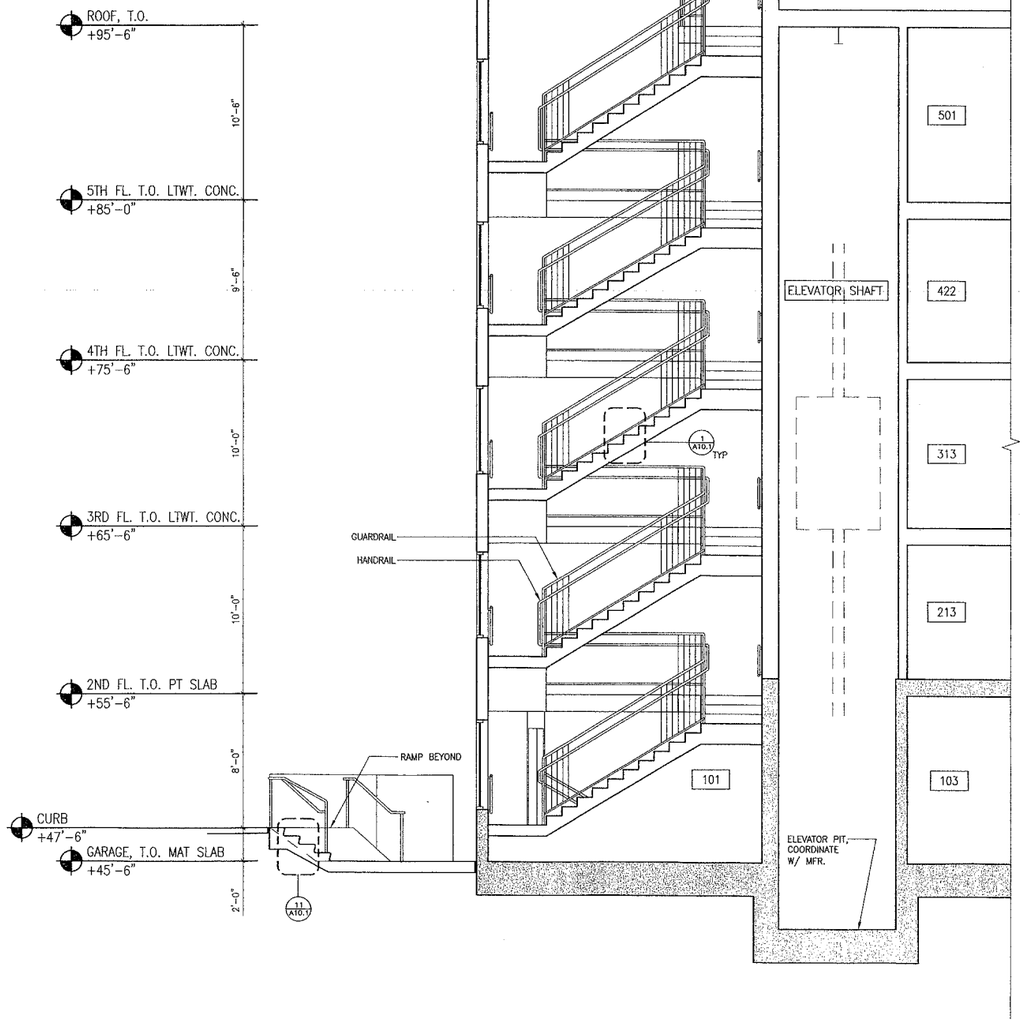
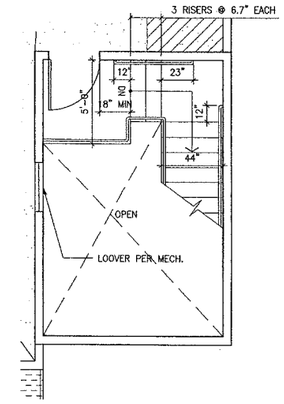
SCALE: 1/8" = 1'-0"

BUILDING SECTIONS

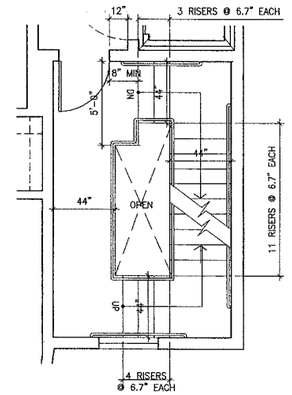
A4.2



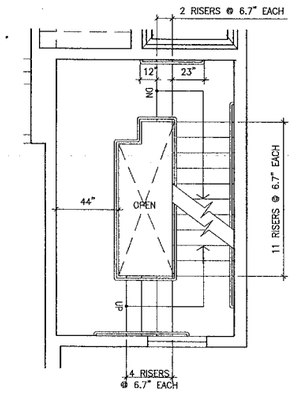
2 STAIR SECTION
1/4"=1'-0"



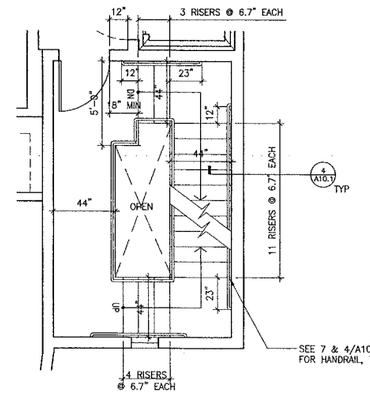
6TH FLOOR (ROOF PENTHOUSE)



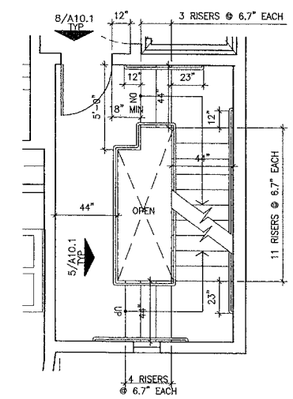
3RD FLOOR



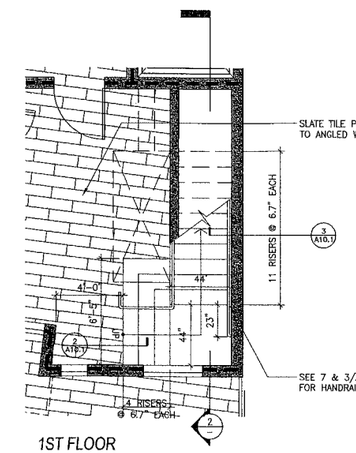
5TH FLOOR



2ND FLOOR



4TH FLOOR



1ST FLOOR

1 STAIR 1 (EAST) TO ROOF
1/4"=1'-0"

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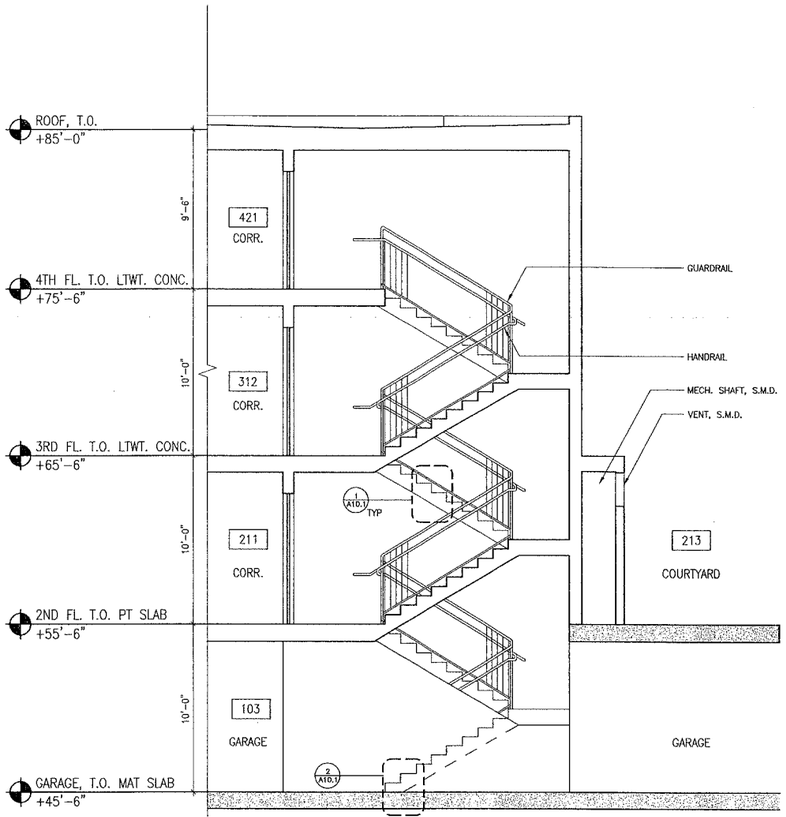
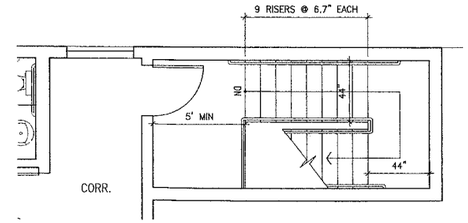
SCALE: 1/4" = 1'-0"

ENLARGED STAIR SECTION AND PLANS

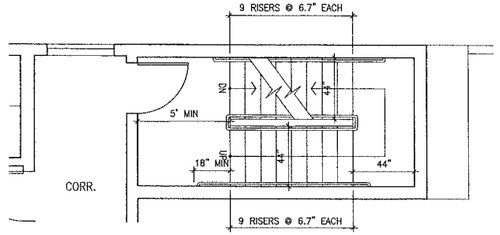
A5.1



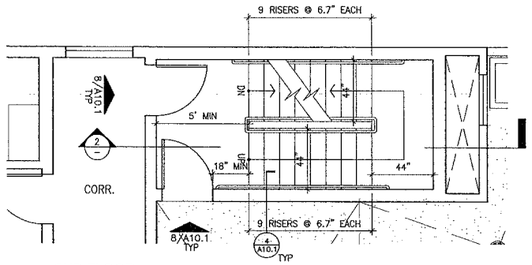
2 *STAIR PLANS*
1/4"=1'-0"



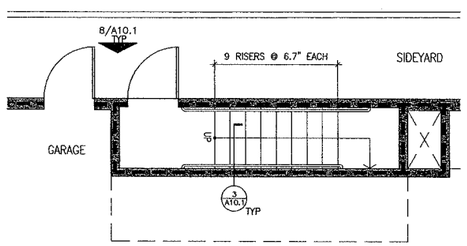
4TH FLOOR



3RD FLOOR



2ND FLOOR



1ST FLOOR

1 *STAIR 2 (EAST) TO 3RD FLOOR*
1/4"=1'-0"

LEVY DESIGN PARTNERS
90 South Park
San Francisco
CA 94107

880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS, OAKLAND, CA

PROGRESS SET
11/20/2006

NOT FOR CONST.

880 West MacArthur Blvd.

A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

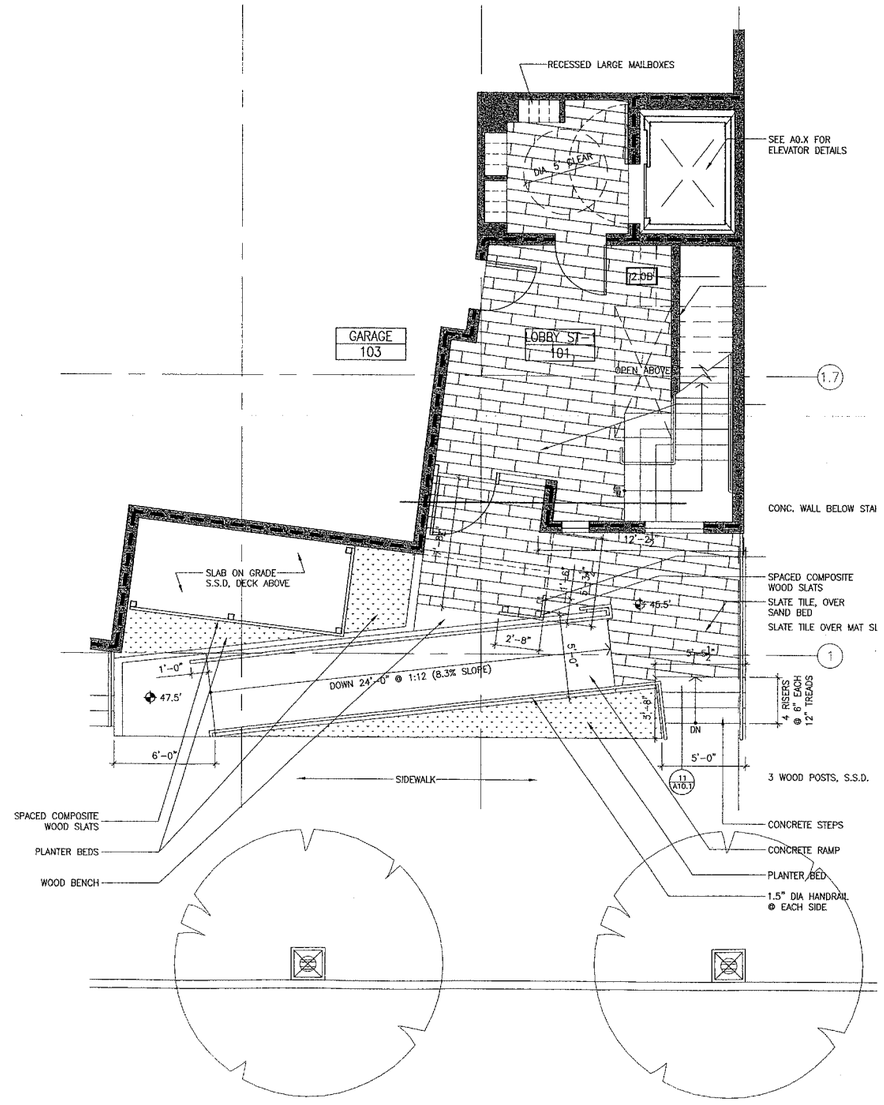
DATE	ISSUE
04-05-06	PLANNING SUBMITTAL
06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

CONTACTS:
DEVI DUTTA-CHOUDHURY
(415) 777-0561 P
(415) 777-5117 F
devi@levydesignpartners.com

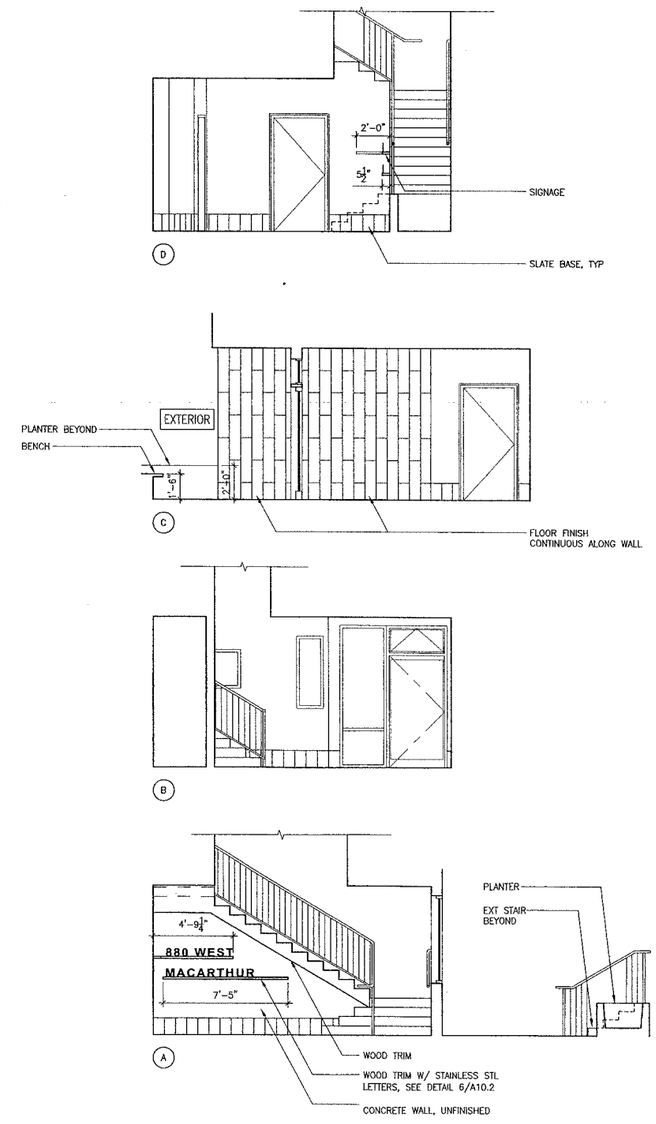
SCALE: 1/4" = 1'-0"

ENLARGED
STAIR SECTION
AND PLANS

A5.2



1 ENLARGED PLANS: LOBBY
1/4"=1'-0"



1A LOBBY ELEVATIONS
1/4"=1'-0"

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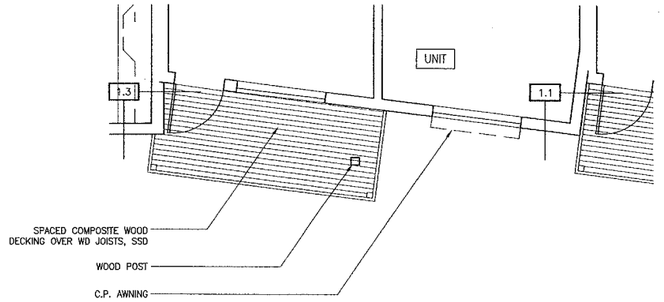
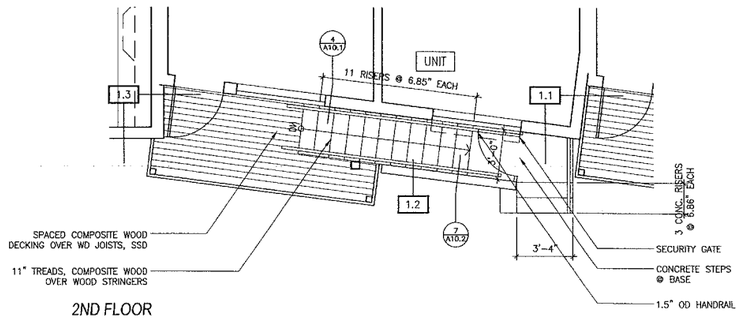
SCALE: 1/4" = 1'-0"

ENLARGED ELEVATOR & LOBBY PLAN & ELEV

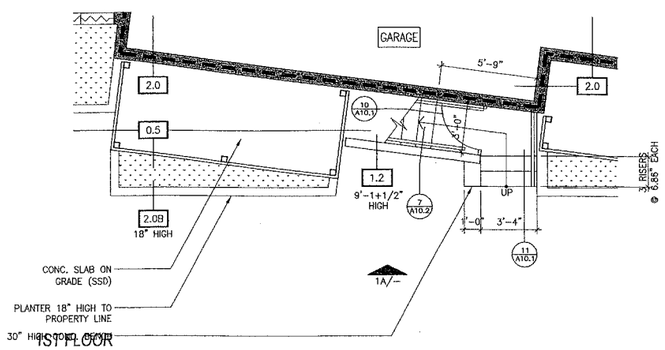
A5.3



3RD FLOOR

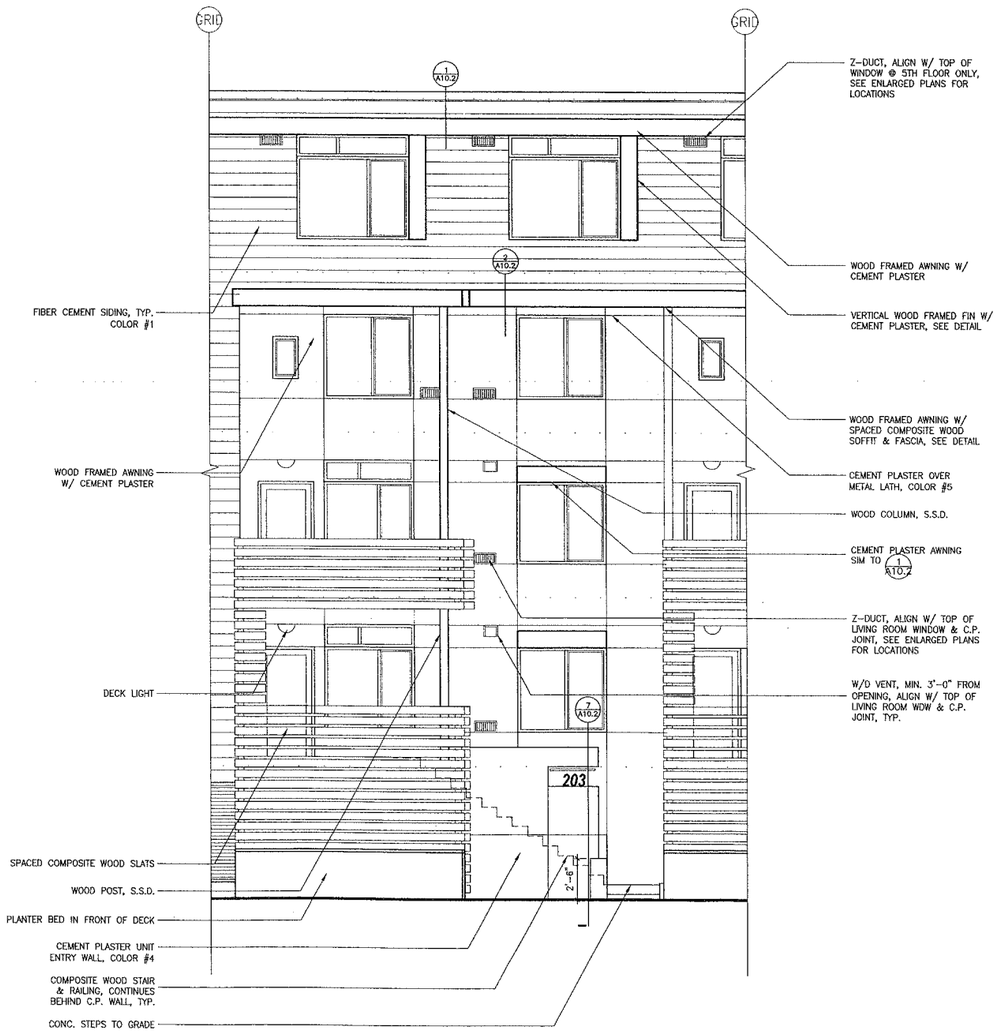


2ND FLOOR



1ST FLOOR

1 ENLARGED PLANS: UNIT ENTRY
1/4"=1'-0"



1A UNIT ENTRY EXTERIOR ELEVATIONS
1/4"=1'-0"

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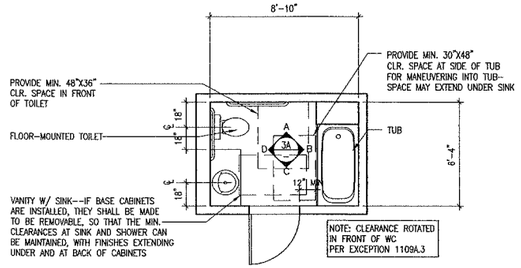
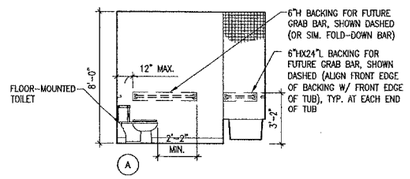
SCALE: 1/4" = 1'-0"

ENLARGED UNIT ENTRANCE PLAN & ELEV

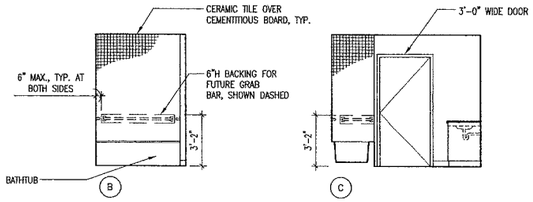
A5.4

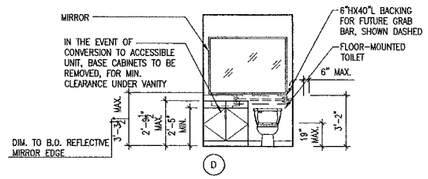


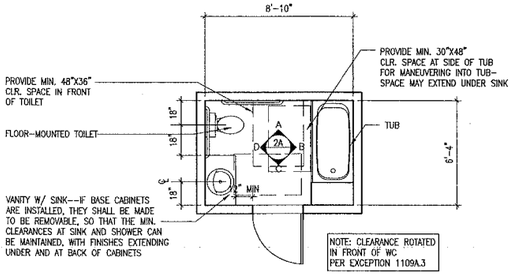
3 PRIMARY ADAPTABLE BATHROOM PLAN TYPE 3
1/4"=1'-0"



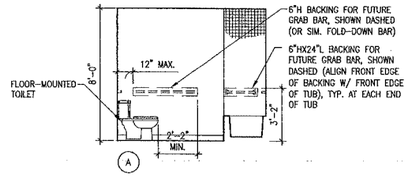
3A BATHROOM ELEVATIONS
1/4"=1'-0"



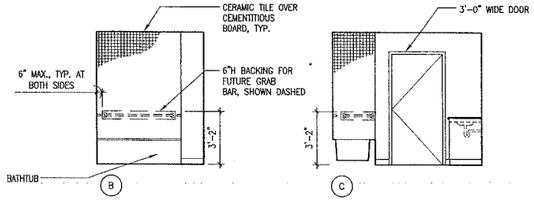


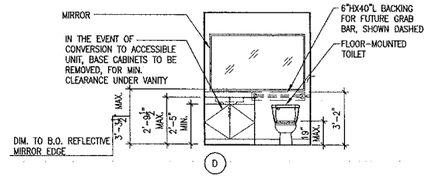


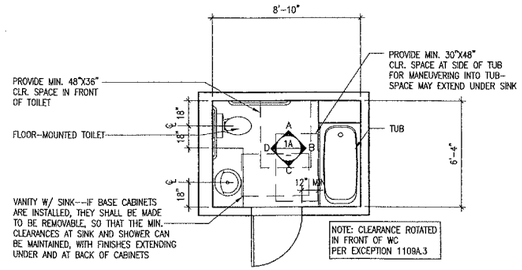
2 PRIMARY ADAPTABLE BATHROOM PLAN TYPE 2
1/4"=1'-0"



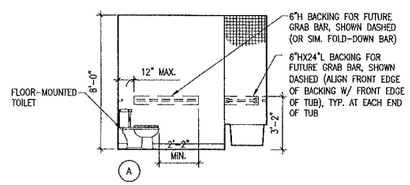
2A BATHROOM ELEVATIONS
1/4"=1'-0"



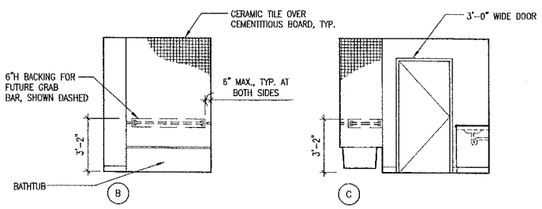


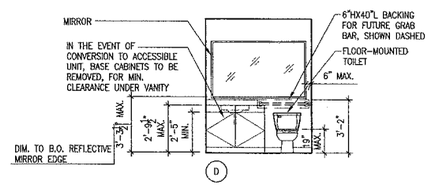


1 PRIMARY ADAPTABLE BATHROOM PLAN TYPE 1
1/4"=1'-0"



1A BATHROOM ELEVATIONS
1/4"=1'-0"





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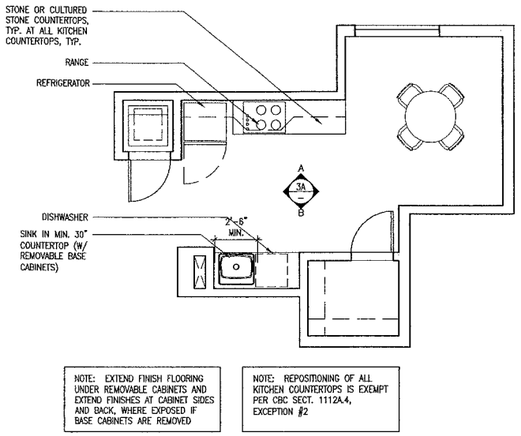
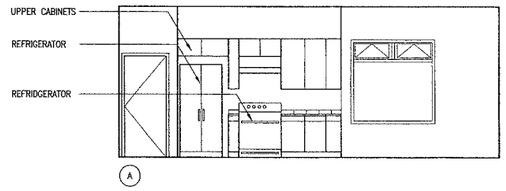
SCALE: 1/4" = 1'-0"

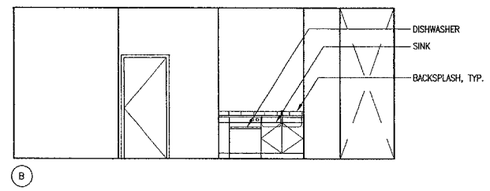
ENLARGED BATHROOM PLANS & ELE

A5.5

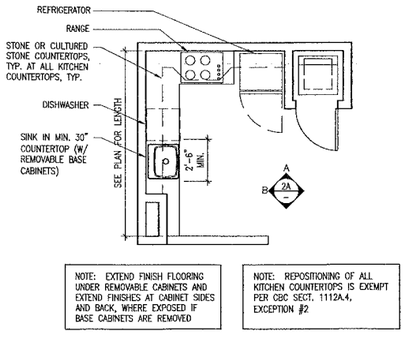


3 KITCHEN PLAN TYPE 3
1/4"=1'-0"

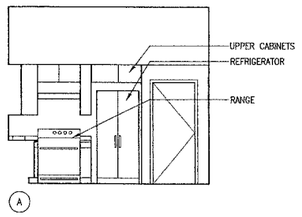


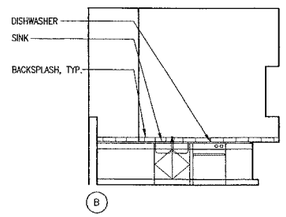


3A ADAPTABLE KITCHEN ELEVATIONS
1/4"=1'-0"

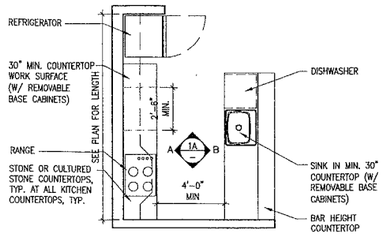


2 KITCHEN PLAN TYPE 2
1/4"=1'-0"

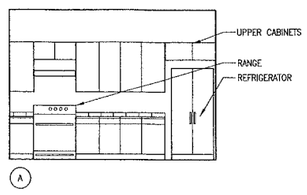


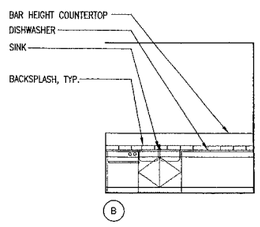


2A ADAPTABLE KITCHEN ELEVATIONS
1/4"=1'-0"



1 KITCHEN PLAN TYPE 1
1/4"=1'-0"





1A ADAPTABLE KITCHEN ELEVATIONS
1/4"=1'-0"

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CA 94107

880 WEST MacARTHUR BLVD

39 RESIDENTIAL UNITS, OAKLAND, CA

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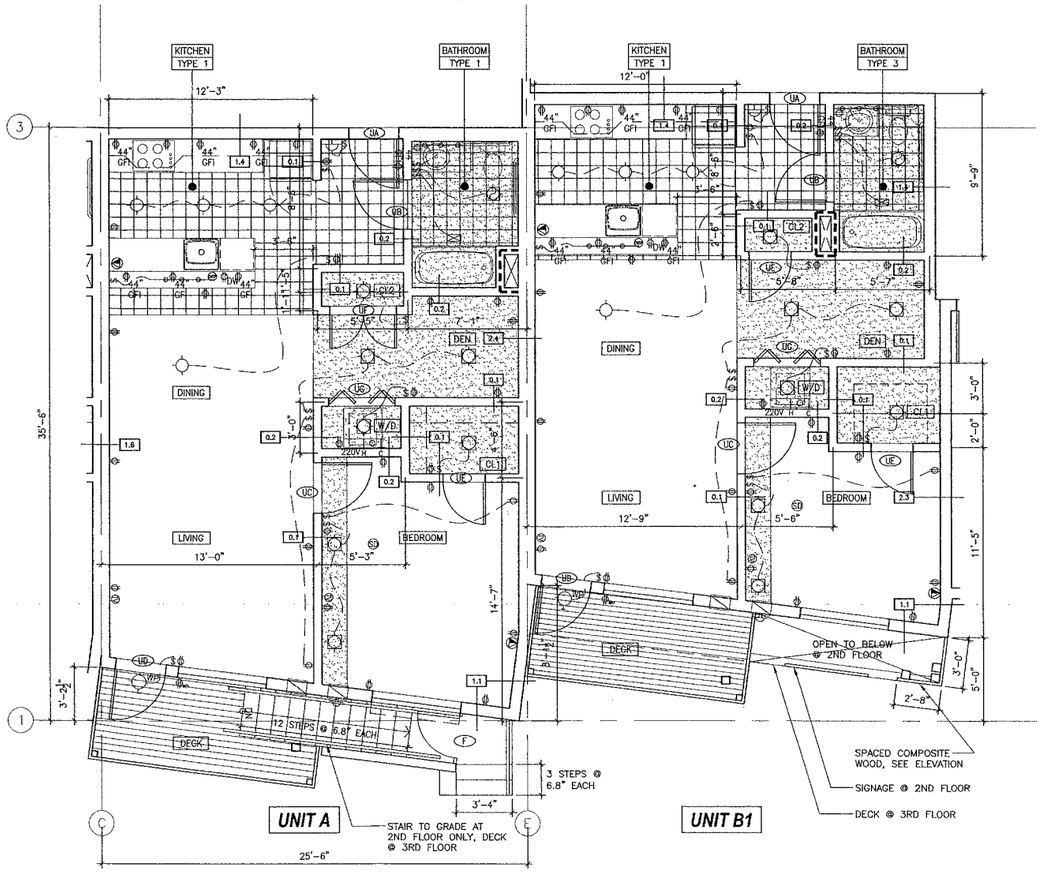
(415) 777-5117 F
devi@levydesignpartners.com

SCALE: 1/4" = 1'-0"

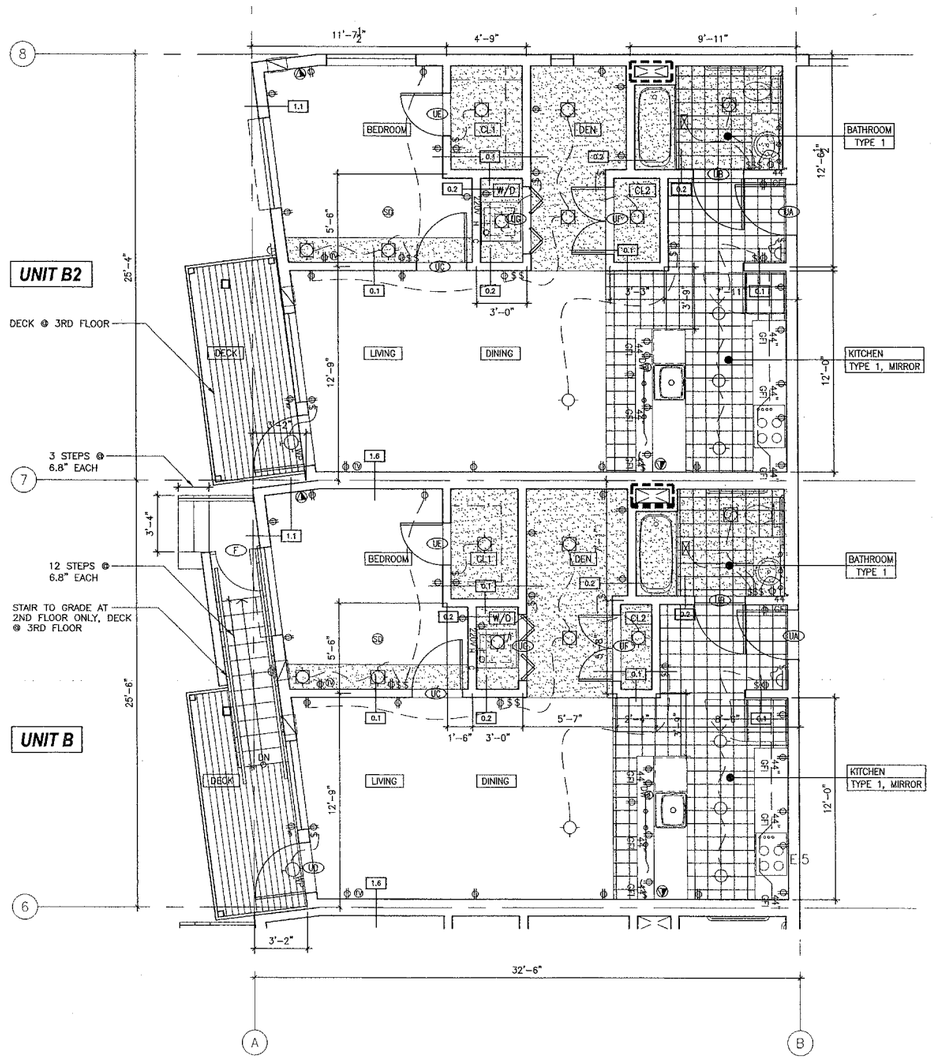
ENLARGED KITCHEN PLANS & ELEV

A5.6



2 ENLARGED PLANS: UNITS A & B1

1/4"=1'-0"



1 ENLARGED PLANS: UNITS B & B2

1/4"=1'-0"

GENERAL

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

1.6 WALL ASSEMBLY, SEE A9.1, A9.2

FOR DOOR SCHEDULE, SEE SHEET A8.1

SEE FLOOR PLANS FOR WINDOW TYPES AND DOOR TYPES NOT SHOWN HERE

FOR FINISH SCHEDULE, SEE SHEET A8.3

SEE FLOOR PLANS FOR DIMENSIONS NOT SHOWN HERE

ALL CORRIDOR WALLS TO BE 1-HR CONSTRUCTION, MINIMUM

PROVIDE 1-HR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER CBC SECTION 1208.2

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DEPTH AS FRAMING OR GREATER.

SEE A5.6 FOR ENLARGED KITCHEN PLANS AND INTERIORS

SEE A5.5 FOR ENLARGED BATHROOM PLANS AND INTERIORS

ALL HABITABLE ROOMS SHALL BE HEATED PER CBC SECTION 310.11 S.M.D. FOR HEATER LOCATIONS

ALL CEILINGS TO BE PAINTED GYPSUM WALL BOARD, U.N.O.

LIGHT FIXTURE SIZES AND LOCATIONS ARE SCHEMATIC.

SEE ELEVATIONS FOR ALIGNMENT OF Z-DUCTS ALONG MARKET STREET AND WEST MACARTHUR BLVD.

SEE COVER SHEET FOR ADDITIONAL SYMBOLS

LIGHTING @ KITCHEN TO BE FLUORESENT PER TITLE 24 ENERGY REQUIREMENTS

ALL DIMENSIONS TO CL. STUD, EXCEPT @ EXTERIOR AND CORRIDOR WALLS, WHERE DIMENSION IS TO OUTSIDE FACE OF STUD

DROPPED CEILING GYPSUM BD.

TILE FLOORING, CARPET ELSEWHERE

Z-DUCT, SEE ELEVATION FOR ALIGNMENT

RECESSED LIGHTING FIXTURE

SURFACE MOUNTED LIGHT FIXTURE

DRYER VENT; MIN 3' FROM OPENING SEE ELEVATION FOR ALIGNMENT

PLUMBING, 1-HR SHAFT

880 WEST MacARTHUR BLVD.

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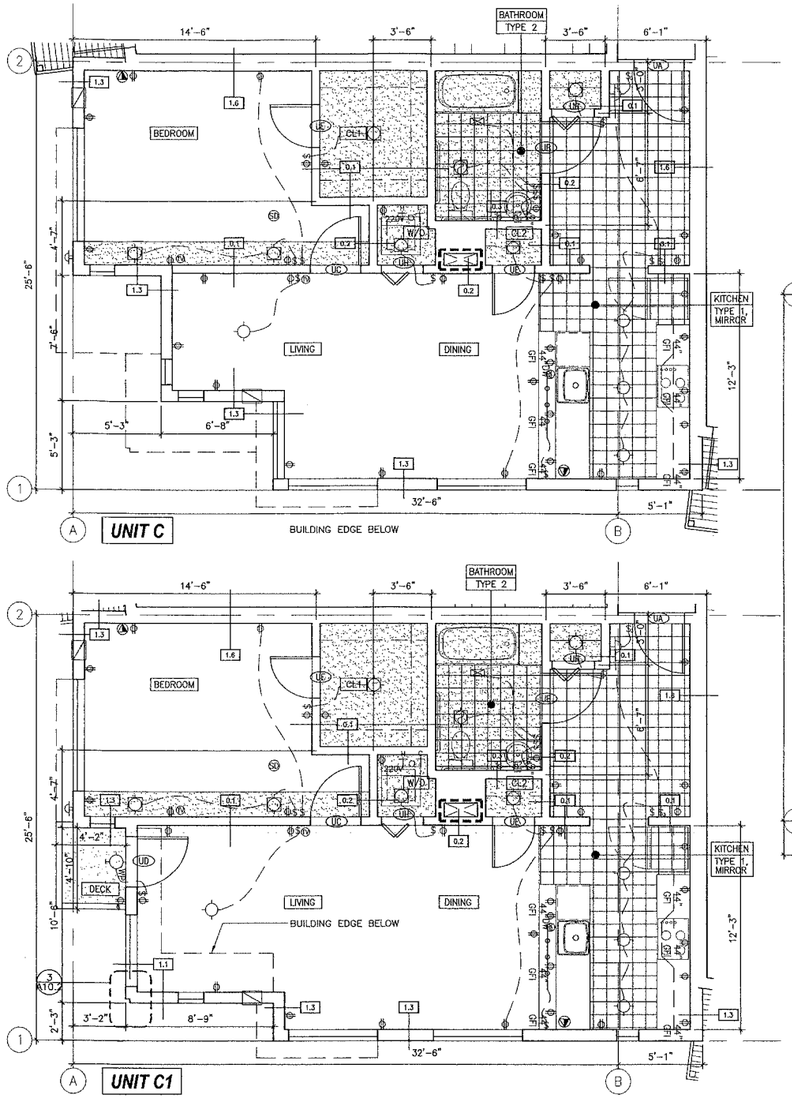
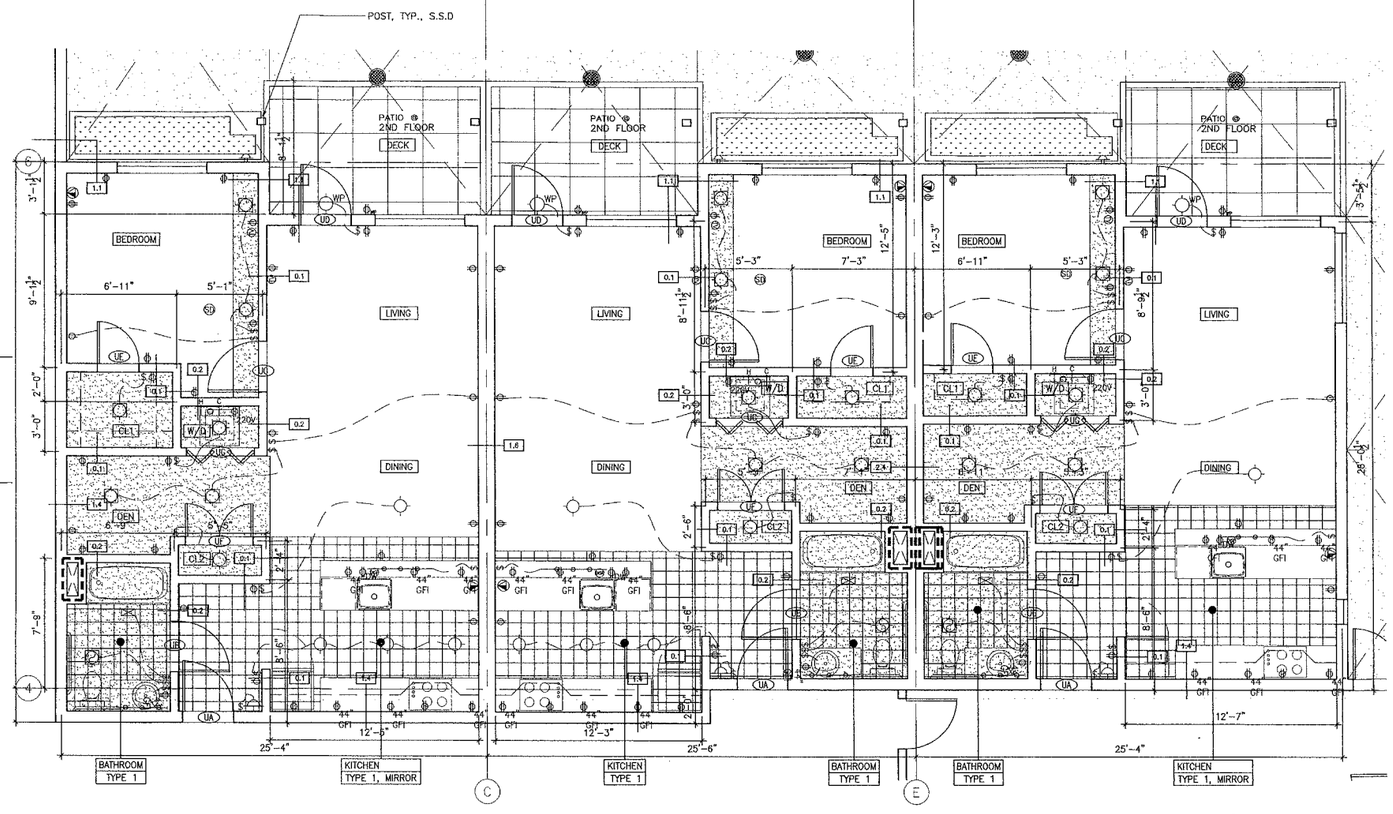
SCALE: 1/4" = 1'-0"

ENLARGED UNIT PLANS UNITS A & B

A6.1





2 *ENLARGED PLANS: UNITS C & C1*
1/4"=1'-0"

1 *ENLARGED CEILING PLANS: UNITS D, D1 & D2*
1/4"=1'-0"

GENERAL

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

1.6 WALL ASSEMBLY, SEE A9.1, A9.2

FOR DOOR SCHEDULE, SEE SHEET A8.1

SEE FLOOR PLANS FOR WINDOW TYPES AND DOOR TYPES NOT SHOWN HERE

FOR FINISH SCHEDULE, SEE SHEET A8.3

SEE FLOOR PLANS FOR DIMENSIONS NOT SHOWN HERE

ALL CORRIDOR WALLS TO BE 1-HR CONSTRUCTION, MINIMUM

PROVIDE 1-HR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER CBC SECTION 1208.2

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DEPTH AS FRAMING OR GREATER.

SEE A5.6 FOR ENLARGED KITCHEN PLANS AND INTERIORS

SEE A5.5 FOR ENLARGED BATHROOM PLANS AND INTERIORS

ALL HABITABLE ROOMS SHALL BE HEATED PER CBC SECTION 310.11 S.M.D. FOR HEATER LOCATIONS

ALL CEILINGS TO BE PAINTED GYPSUM WALL BOARD, U.N.O.

LIGHT FIXTURE SIZES AND LOCATIONS ARE SCHEMATIC.

SEE ELEVATIONS FOR ALIGNMENT OF Z-DUCTS ALONG MARKET STREET AND WEST MACARTHUR BLVD.

SEE COVER SHEET FOR ADDITIONAL SYMBOLS

LIGHTING @ KITCHEN TO BE FLUORESENT PER TITLE 24 ENERGY REQUIREMENTS

ALL DIMENSIONS TO CL STUD, EXCEPT @ EXTERIOR AND CORRIDOR WALLS, WHERE DIMENSION IS TO OUTSIDE FACE OF STUD

DROPPED CEILING GYPSUM BD.

TILE FLOORING, CARPET ELSEWHERE

Z-DUCT, SEE ELEVATION FOR ALIGNMENT

RECESSED LIGHTING FIXTURE

SURFACE MOUNTED LIGHT FIXTURE

DRYER VENT; MIN 3' FROM OPENING SEE ELEVATION FOR ALIGNMENT

PLUMBING, 1-HR SHAFT

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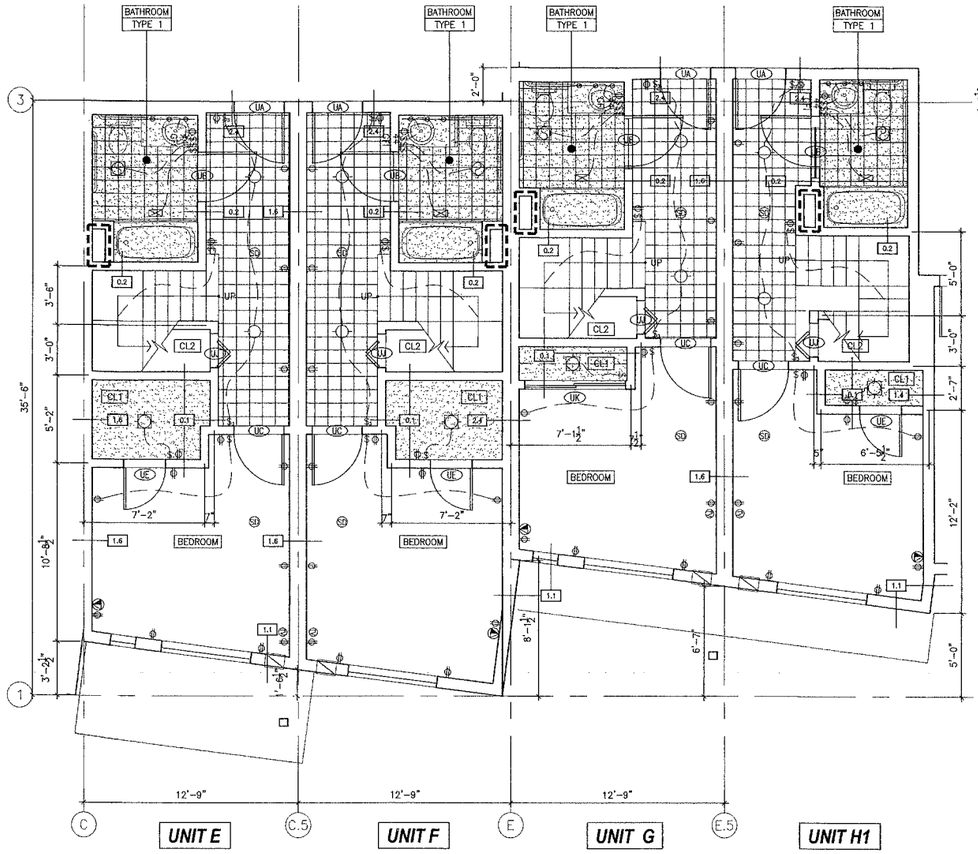
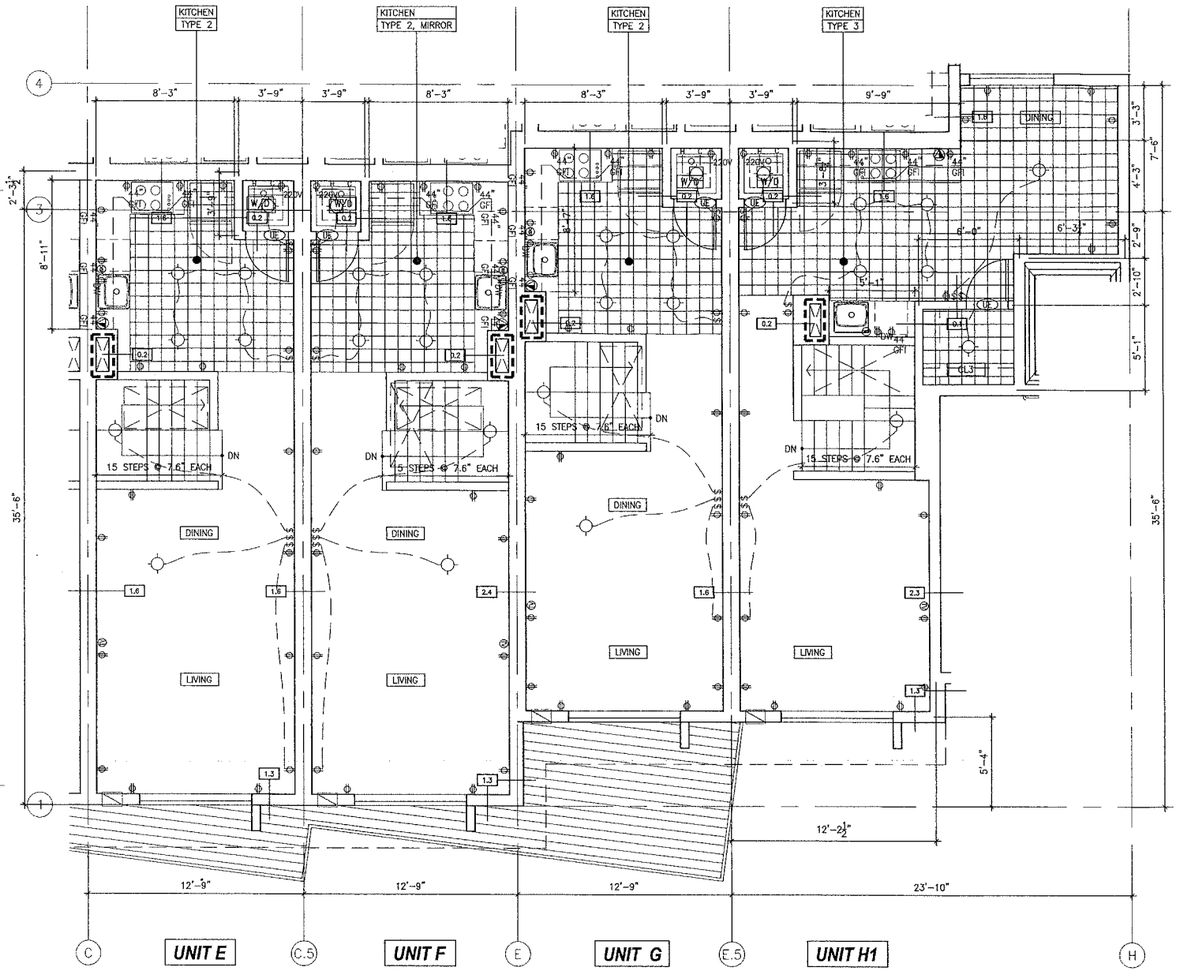
SCALE: 1/4" = 1'-0"

ENLARGED
UNIT PLANS
UNITS C & D

A6.2





2 ENLARGED PLANS: UNITS E / F & G / H1 - LOWER LEVEL
1/4"=1'-0"

1 ENLARGED PLANS: UNITS E / F & G / H1 - UPPER LEVEL
1/4"=1'-0"

GENERAL

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

1.6 WALL ASSEMBLY, SEE A9.1, A9.2

FOR DOOR SCHEDULE, SEE SHEET A8.1

SEE FLOOR PLANS FOR WINDOW TYPES AND DOOR TYPES NOT SHOWN HERE

FOR FINISH SCHEDULE, SEE SHEET A8.3

SEE FLOOR PLANS FOR DIMENSIONS NOT SHOWN HERE

ALL CORRIDOR WALLS TO BE 1-HR CONSTRUCTION, MINIMUM

PROVIDE 1-HR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER CBC SECTION 1208.2

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DEPTH AS FRAMING OR GREATER.

SEE A5.6 FOR ENLARGED KITCHEN PLANS AND INTERIORS

SEE A5.5 FOR ENLARGED BATHROOM PLANS AND INTERIORS

ALL HABITABLE ROOMS SHALL BE HEATED PER CBC SECTION 310.11 S.M.D. FOR HEATER LOCATIONS

ALL CEILINGS TO BE PAINTED GYPSUM WALL BOARD, U.N.O.

LIGHT FIXTURE SIZES AND LOCATIONS ARE SCHEMATIC.

SEE ELEVATIONS FOR ALIGNMENT OF Z-DUCTS ALONG MARKET STREET AND WEST MACARTHUR BLVD.

SEE COVER SHEET FOR ADDITIONAL SYMBOLS

LIGHTING @ KITCHEN TO BE FLUORESENT PER TITLE 24 ENERGY REQUIREMENTS

ALL DIMENSIONS TO CL STUD, EXCEPT @ EXTERIOR AND CORRIDOR WALLS, WHERE DIMENSION IS TO OUTSIDE FACE OF STUD

DROPPED CEILING GYPSUM BD.

TILE FLOORING, CARPET ELSEWHERE

Z-DUCT, SEE ELEVATION FOR ALIGNMENT

RECESSED LIGHTING FIXTURE

SURFACE MOUNTED LIGHT FIXTURE

DRYER VENT; MIN 3' FROM OPENING SEE ELEVATION FOR ALIGNMENT

PLUMBING, 1-HR SHAFT

880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS, OAKLAND, CA

LEVY DESIGN PARTNERS
90 South Park
San Francisco
CA 94107

PROGRESS SET
11/20/2006

NOT FOR CONST.

880 West MacArthur Blvd.

A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

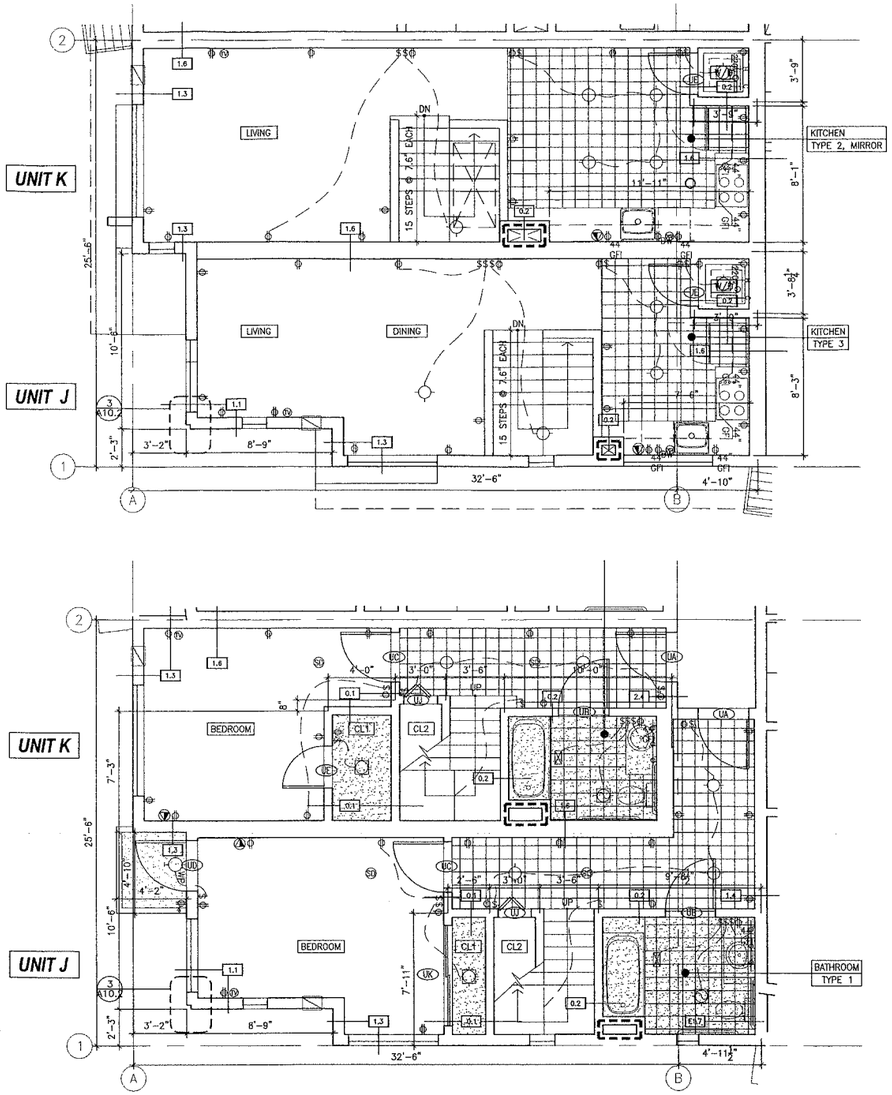
DATE	ISSUE
04-05-06	PLANNING SUBMITTAL
06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

CONTACTS:
DEVI DUTTA-CHOUDHURY
(415) 777-0561 P
(415) 777-5117 F
devi@levydesignpartners.com

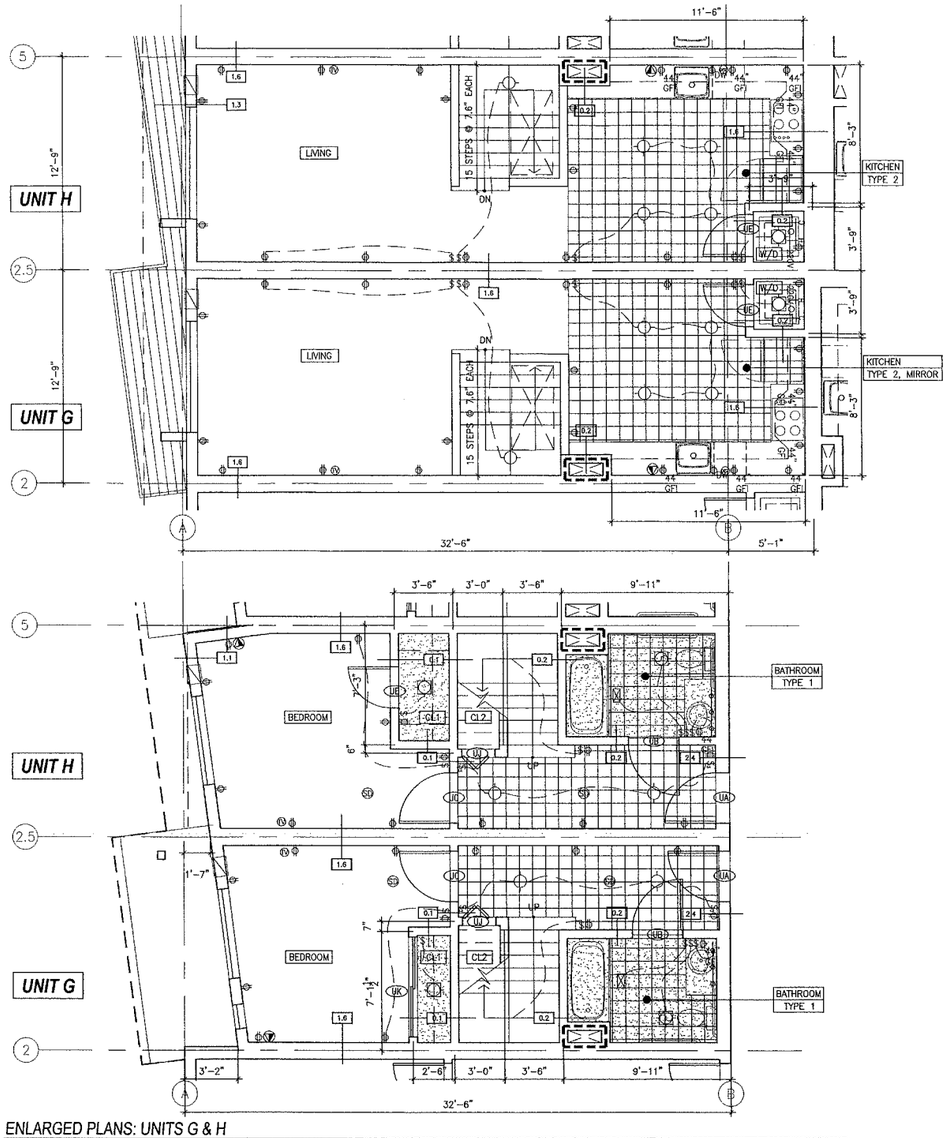
SCALE: 1/4" = 1'-0"

ENLARGED UNIT PLANS UNITS E/F & G/H LOWER LEVEL

A6.3



2 ENLARGED PLANS: UNITS J & K
1/4"=1'-0"



1 ENLARGED PLANS: UNITS G & H
1/4"=1'-0"

GENERAL

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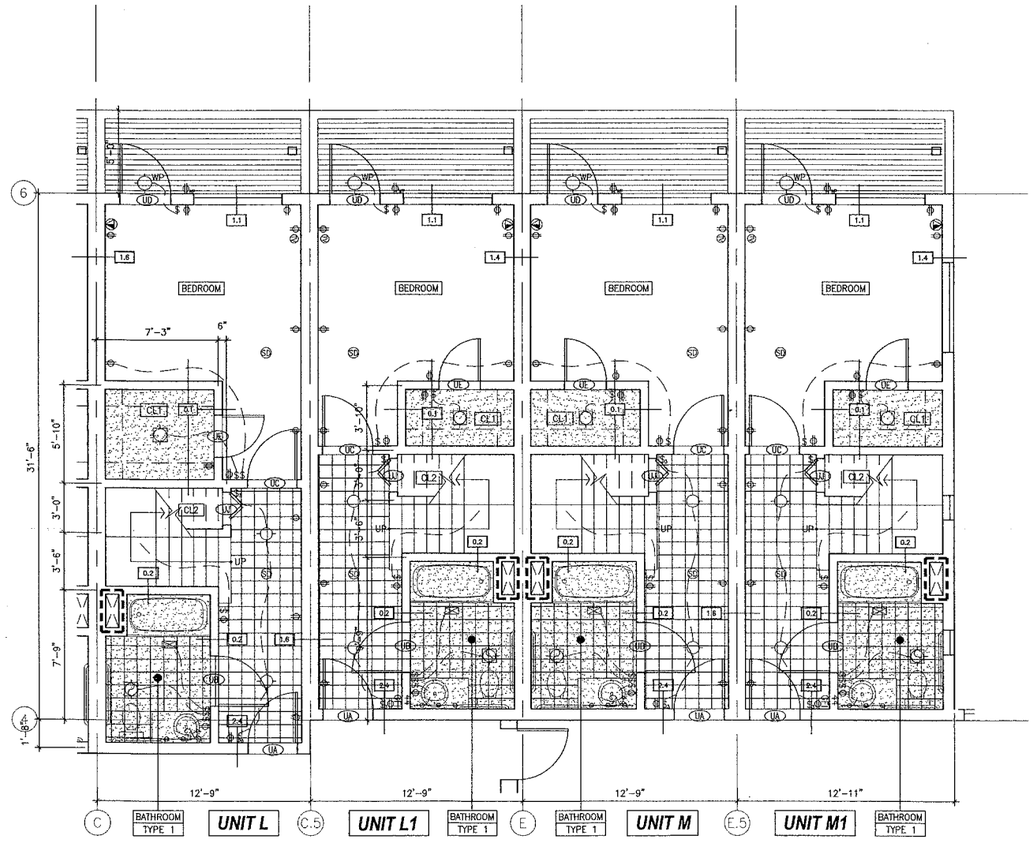
SCALE: 1/4" = 1'-0"

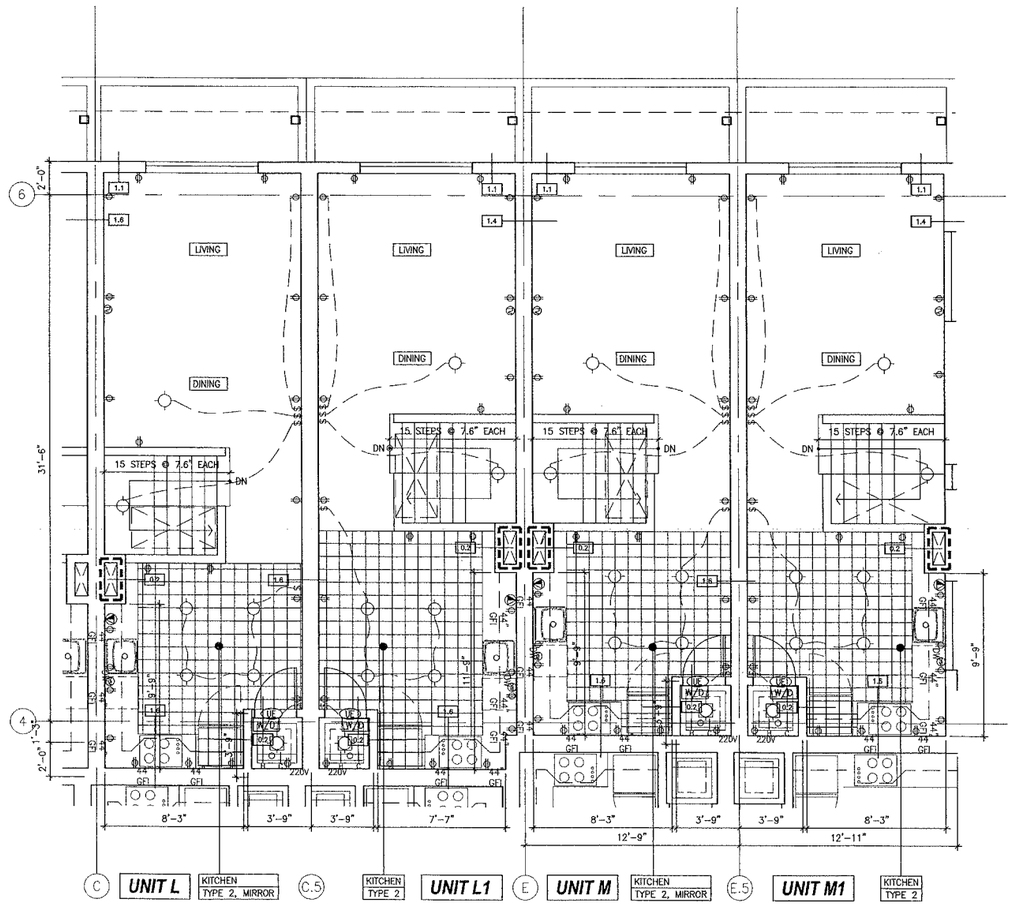
ENLARGED UNIT PLANS UNITS J/K & G/H UPPER LEVEL

A6.4



2 ENLARGED CEILING PLANS: UNITS L, L1, M & M1 - LOWER LEVEL

1/4"=1'-0"



1 ENLARGED CEILING PLANS: UNITS L, L1, M & M1 - UPPER LEVEL

1/4"=1'-0"

GENERAL

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

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ENLARGED
UNIT PLANS
UNITS L & M
LOWER LEVEL

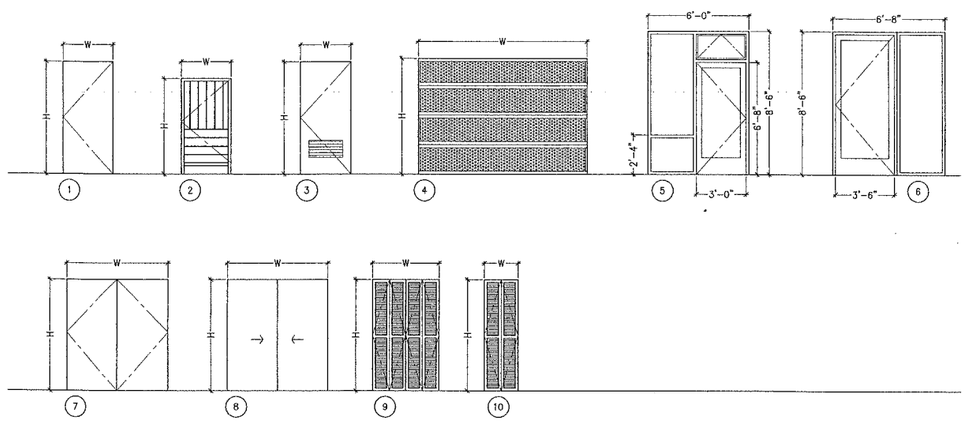
A6.5

DOOR SCHEDULE

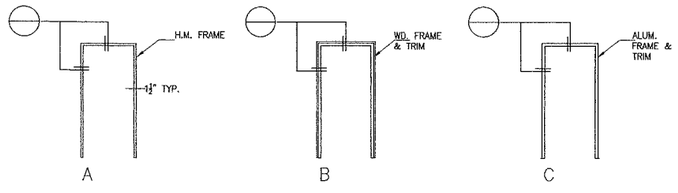
BUILDING DOORS

DOOR I.D.	SIZE	DOOR TYPE	FRAME TYPE	THICKNESS	DOOR MATERIAL	FRAME MATERIAL	FINISH	FIRE RATING(MIN)	HARDWARE	GLAZING	REMARKS
A	3'-6" X 8'-6" DOOR 7'-0" TOTAL WIDTH	6	–	1-3/4"	HM	HM	PAINT			T	STOREFRONT SYSTEM
B	3'-0" X 7'-0"	1	A	1-3/4"	HM	HM	PAINT	90	PANIC FIRE/SMOKE		
C	10'-0" X 8'-6"	4	C	MFR.	ALUM	ALUM	MFR.				SECTIONAL GARAGE DOOR WITH PERFORATED ALUM. PANELS
D	3'-0" X 7'-0"	1	A	1-3/4"	HM	HM	PAINT	90	PANIC		
E	3'-0" X 7'-0"	1	A	1-3/4"	HM	HM	PAINT	45			
F	2'-6" X 6'-0"	2	A	1-3/4"	HM	HM	PAINT				EXTERIOR METAL GATE
G	3'-6" X 7'-0"	1	A	1-3/4"	HM	HM	PAINT	20			MAGNETIC HOLD-OPEN
H	3'-0" X 7'-0"	1	A	1-3/4"	HM	HM	PAINT	90			
J	3'-0" X 7'-0"	1	A	1-3/4"	HM	HM	PAINT	90			MAGNETIC HOLD-OPEN
K	3'-0" X 7'-0" DOOR 6'-0" X 8'-6" TOTAL	5	–	1-3/4"	HM	HM	PAINT			T	STOREFRONT SYSTEM
L	NOT USED										
M	3'-0" X 7'-0"	1	A	1-3/4"	HM	HM	PAINT	90			DOOR AT ROOF LEVEL
N	3'-0" X 7'-0"	1	A	1-3/4"	HM	HM	PAINT				

DOOR TYPES



FRAME TYPES



DOOR SCHEDULE

UNIT DOORS

DOOR I.D.	SIZE	DOOR TYPE	FRAME TYPE	THICKNESS	DOOR MATERIAL	FRAME MATERIAL	FINISH	FIRE RATING(MIN)	HARDWARE GROUP	GLAZING	REMARKS
U-A	3'-0" X 7'-0"	1	A	1-3/4"	SCW	ALUM	PAINT	20	FIRE/ SMOKE		UNIT DOOR; 1" PEEPSCOPE
U-B	3'-0" X 6'-8"	1	C	1-3/4"	HCW	WOOD	PAINT				
U-C	3'-0" X 6'-8"	1	C	1-3/4"	HCW	WOOD	PAINT				
U-D	2'-6" X 7'-0"	1	A	1-3/4"	FG	ALUM	PAINT				DECK DOOR
U-E	2'-6" X 6'-8"	1	C	1-3/4"	HCW	WOOD	PAINT				
U-F	4'-0" X 6'-8"	7	C	1-3/4"	HCW	WOOD	PAINT				
U-G	4'-0" X 6'-8"	9	C	1-3/4"	HCW	WOOD	PAINT				
U-H	2'-6" X 6'-8"	10	C	1-3/4"	HCW	WOOD	PAINT				
U-J	2'-0" X 6'-8"	10	C	1-3/4"	HCW	WOOD	PAINT				
U-K	6'-0" X 6'-8"	8	C	1-3/4"	HCW	WOOD	PAINT				

NOTES

FIRE RATED OPENINGS: PROVIDE DOOR HARDWARE THAT COMPLIES WITH NFPA STANDARD NO. 80 AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

WHERE EMERGENCY EXIT DEVICES ARE REQUIRED ON FIRE-RATED DOORS, PROVIDE UL LABEL ON EXIT DEVICES INDICATING "FIRE EXIT HARDWARE."

EMERGENCY EXITS: SHALL BE OPERABLE FROM INSIDE WITH SINGLE MOTION WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

DOOR THRESHOLDS: AT PUBLIC AREAS THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT, WITH A BEVELED SURFACE OF 1:2 MAXIMUM SLOPE.

DOOR THRESHOLDS: AT PRIVATE AREAS THRESHOLDS SHALL NOT EXCEED 3/4" IN HEIGHT PER CBC 1120A.2.4 EXCEPTION 3.

DOOR THRESHOLDS SHALL COMPLY WITH CBC 1133B.2.4.1.

ABBREVIATIONS

ALUM: ALUMINUM
HM: HOLLOW METAL
HCW: HOLLOW CORE WOOD
SCW: SOLID CORE WOOD
MFR: PER MANUFACTURER
T: TEMPERED

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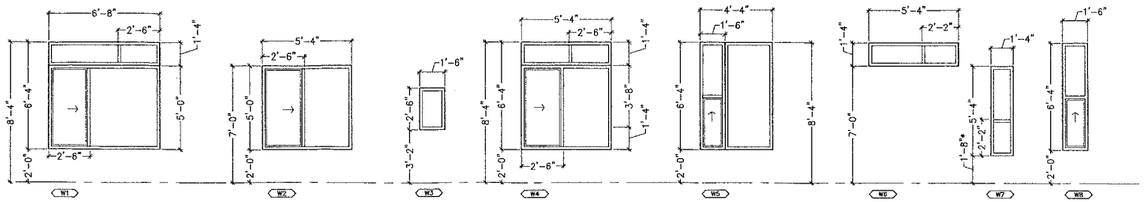
SCALE: AS NOTED

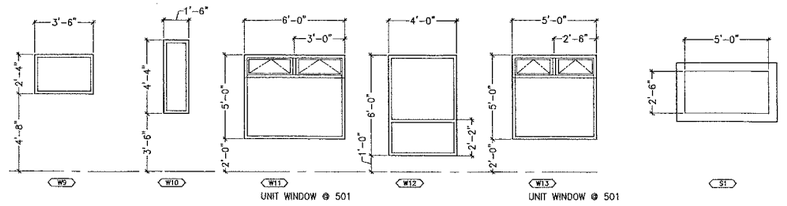
DOOR SCHEDULE

A8.1

UNIT WINDOW TYPES *



COMMON AREA WINDOW TYPES



SKYLIGHTS

* NOTE: ALL WINDOWS FACING WEST MACARTHUR BLVD OR MARKET ST. TO BE RECESSED 3" PER DETAILS @ A10.3 & C.U.P.

LIGHT AND VENTILATION SCHEDULE

UNIT			VENTILATION		LIGHT	
	ROOM NAME	ROOM AREA	VENTILATION REQUIRED	VENTILATION PROVIDED	LIGHT REQUIRED	LIGHT PROVIDED
A	LIVING/DINING	280	14	12.3 + 23 = 35.3	28	33.7
	BEDROOM 1	160	8	10.1	16	26.6
B	LIVING/DINING	238	11.9	12.3 + 23 = 35.3	23.8	33.7
	BEDROOM 1	128	6.4	10.1	12.8	26.6
B1	LIVING/DINING	238	11.9	12.3 + 23 = 35.3	23.8	33.7
	BEDROOM 1	122	6.1	12.3	12.2	33.7
B2	LIVING/DINING	238	11.9	12.3 + 23 = 35.3	23.8	33.7
	BEDROOM 1	128	6.4	10.1	12.8	33.7
C	LIVING/DINING	233	11.65	22.4	23.3	87.3
	BEDROOM 1	178	8.9	12.3	17.8	42.2
D	LIVING/DINING	250	12.5	12.3 + 23 = 35.3	25	33.7
	BEDROOM 1	140	7	10.1	14	26.6
D1	LIVING/DINING	250	12.5	12.3 + 23 = 35.3	25	33.7
	BEDROOM 1	135	6.75	10.1	13.5	26.6
D2	LIVING/DINING	221	11.05	12.3 + 23 = 35.3	22.1	40.8
	BEDROOM 1	135	6.75	10.1	13.5	26.6
C1	LIVING/DINING	274	13.7	19.2 + 23 = 42.2	27.4	77.9
	BEDROOM 1	177	8.85	15.7	17.7	51.7
E	LIVING/DINING	274	10.85	12.3	27.4	42.2
	BEDROOM 1	217	6.75	10.1	21.7	30.4
F	LIVING/DINING	274	10.85	12.3	27.4	42.2
	BEDROOM 1	152	7.6	10.1	15.2	26.6
E	LIVING/DINING	274	10.85	12.3	27.4	42.2
	BEDROOM 1	217	6.85	10.1	21.7	30.4
G	LIVING/DINING	182	9.1	12.3	18.2	42.2
	BEDROOM 1	137	6.85	10.1	13.7	30.4
H1	LIVING/DINING	182	9.1	12.3	18.2	42.2
	BEDROOM 1	143	7.1	10.1	14.2	26.6
H	LIVING/DINING	182	9.1	12.3	18.2	42.2
	BEDROOM 1	147	7.35	10.1	14.7	26.6
J	LIVING/DINING	179	8.95	19.1	17.9	70.8
	BEDROOM 1	150	7.5	19.1 + 23 = 42.2	15	70.8
K	LIVING/DINING	168	8.4	15.7	16.8	52.7
	BEDROOM 1	139	6.95	12.3	13.9	42.2
L	LIVING/DINING	193	9.65	12.3	19.3	42.2
	BEDROOM 1	152	7.6	10.1 + 23 = 33.1	15.2	26.6
L1	LIVING/DINING	170	8.5	12.3	17	42.2
	BEDROOM 1	142	7.1	10.1 + 23 = 33.1	14.2	26.6
M	LIVING/DINING	170	8.5	12.3	17	42.2
	BEDROOM 1	142	7.1	10.1 + 23 = 33.1	14.2	26.6

FINISHES, COMMON SPACES

ROOM	FLOOR	CEILING	WALLS N	E	S	W	BASE
GARAGE	CONC	CONC	CONC	CONC	CONC	CONC	–
LOBBY	SL	PT	PT	PT	PT	SL	SL
ELEVATOR LOBBY	SL	PT	PT	PT	PT	PT	SL
CORRIDOR	CPT	PT	PT	PT	PT	PT	WD
STAIRS – 1ST	SL	PT	PT	PT	PT	PT	SL
STAIRS – 2ND	VCT	PT	PT	PT	PT	PT	WD
COURTYARD	CTS	–	–	–	–	–	–
STORAGE	CPT	PT	PT	PT	PT	PT	WD

FINISHES, UNITS

ROOM	FLOOR	CEILING	WALLS N	E	S	W	BASE
LIVING	CPT	PT	PT	PT	PT	PT	WD
DINING	CPT	PT	PT	PT	PT	PT	WD
KITCHEN	T	PT	PT	PT	PT	PT	WD
BATH	T	PT	T	T	T	T	T
CLOSETS	CPT	PT	PT	PT	PT	PT	WD
STAIRS	WD	PT	PT	PT	PT	PT	WD
DEN	CPT	PT	PT	PT	PT	PT	WD
DECK	CW	CW	–	–	–	–	–

ABBREVIATIONS

CONC: UNFINISHED CONCRETE
CPT: CARPET
CTS: CONCRETE TOPPING SLAB
CW: COMPOSITE WOOD
PT: PAINT O/ GYP BD
SL: SLATE TILE
T: TILE
VCT: COMPOSITE TILE
WD: WOOD

WINDOW SCHEDULE

WINDOW I.D.	OVERALL SIZE	WINDOW TYPE	FRAME	GLAZING	EMERGENCY ESCAPE
W-1	6'-8" X 6'-4"	SLIDER	ALUM.		EGRESS WINDOW @ BEDROOM LOC'S
W-2	5'-4" X 5'-0"	SLIDER	ALUM.		EGRESS WINDOW
W-3	1'-6" X 2'-6"	FIXED	ALUM.		
W-4	5'-4" X 6'-4"	SLIDER	ALUM.		EGRESS WINDOW @ UNIT 201 ONLY
W-5	4'-4" X 6'-4"	SINGLE HUNG	ALUM.		
W-6	5'-4" X 1'-4"	FIXED	ALUM.		
W-7	1'-4" X 5'-4"	FIXED	ALUM.		
W-8	1'-6" X 6'-4	SINGLE HUNG	ALUM.		
W-9	3'-6" X 2'-4"	FIXED	ALUM.	3/4 HR	
W-10	1'-6" X 4'-4"	FIXED	ALUM.	3/4 HR	
W-11	6'-0" X 5'-0"	AWNING/FIXED	ALUM.	TEMPERED	
W-12	4'-0" X 6'-0"	FIXED	ALUM.	TEMPERED	
W-13	5'-0" X 5'-0"	AWNING/FIXED	ALUM.	TEMPERED	
S-1	5'-0" X 2'-6".	FIXED SKYLIGHT	ALUM.	TEMPERED	

NOTES

TOP OF WINDOW IS MEASURED FROM T.O. CONCRETE (AT FLOOR 2) OR TOP OF GYPSUM UNDERLAYMENT (FLOORS 3-5.)

EMERGENCY ESCAPE: PER CBC310.4:
EVERY SLEEPING ROOM BELOW THE 4TH FLOOR SHALL HAVE AN EMERGENCY ESCAPE DOOR OR WINDOW. PROVIDE MIN. NET CLEAR OPENING OF 5.7 S.F. MINIMUM DIMENSION TO BE 20" WIDE X 24" HIGH. SILL HEIGHT SHALL NOT BE MORE THAN 44."

ALL GLAZING TO BE TRANPARENT U.N.O.

PROVIDE INSECT SCREENS AT ALL OPERABLE WINDOWS, U.N.O.

ALL OPERABLE WINDOWS / DOORS SHALL BE LOCATED A MINIMUM OF 3'-0" AWAY FROM ANY MECHANICAL EXHAUST OUTLETS. CONTRACTOR SHALL COORDINATE WITH MECHANICAL DRAWINGS. SEE CBC 1203.3.

STC RATING:
ALL WINDOWS FACING WEST MACARTHUR BLVD & MARKET STREET MUST HAVE STC 32 RATING; MINIMUM.
ALL WINDOWS FACING REAR COURTYARD MUST HAVE STC 25 RATING, MINIMUM

ABBREVIATIONS

ALUM: ALUMINUM
HM: HOLLOW METAL
HCW: HOLLOW CORE WOOD
SCW: SOLID CORE WOOD
MFR: PER MANUFACTURER
T: TEMPERED

880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS, OAKLAND, CA

LEVY DESIGN PARTNERS
90 South Park
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CONTACTS:
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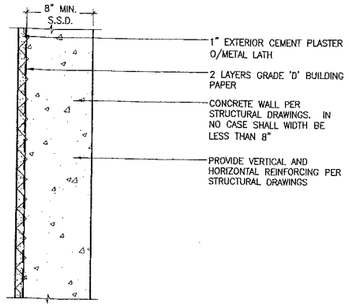
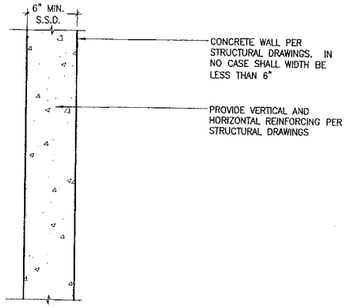
SCALE: AS NOTED

WINDOW & FINISH SCHEDULE

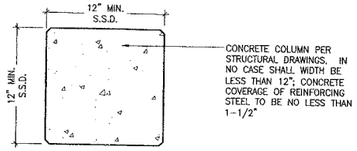
A8.2



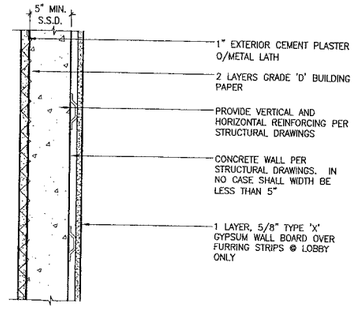
4.1 4 HR. EXTERIOR WALL (CEMENT PLASTER)
1-1/2"=1'-0"
TABLE 7-B
CBC 7-1.1



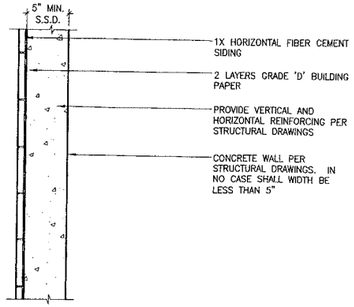
3.1 3 HR. CONCRETE WALL
1-1/2"=1'-0"
TABLE 7-B
CBC 7-1.1



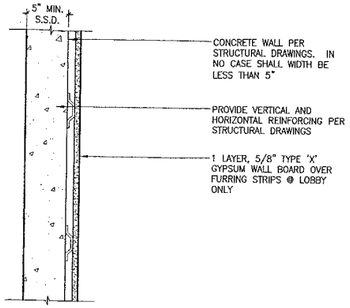
3.2 3HR CONCRETE COLUMN
1-1/2"=1'-0"
TABLE 7-B
CBC 7-1.1



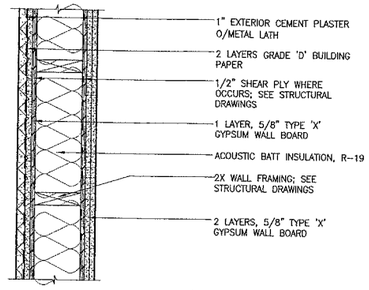
2.0 2 HR. CONCRETE WALL (CEMENT PLASTER)
1-1/2"=1'-0"
TABLE 7-B
CBC 7-1.1



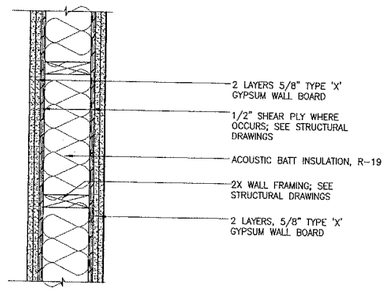
2.0A 2 HR. CONCRETE WALL (FIBER CEMENT SIDING)
1-1/2"=1'-0"
TABLE 7-B
CBC 7-1.1



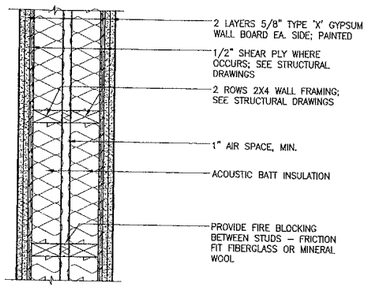
2.0B 2 HR. CONCRETE WALL
1-1/2"=1'-0"
TABLE 7-B
CBC 7-1.1



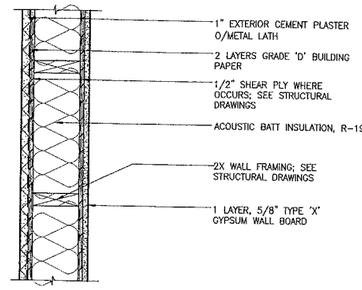
2.1 2 HR. EXTERIOR WALL (CEMENT PLASTER)
1-1/2"=1'-0"
GA WP 8420



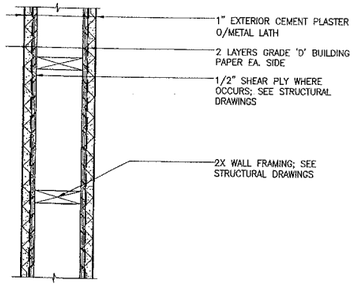
2.3 2 HR. INTERIOR SHAFT & AREA SEPARATION WALL
1-1/2"=1'-0"
GA WP 8415



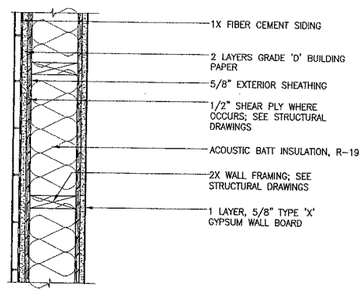
2.4 2 HR. AREA SEPARATION/DEMISING WALL
1-1/2"=1'-0"
GA WP 3370
STC 55-59



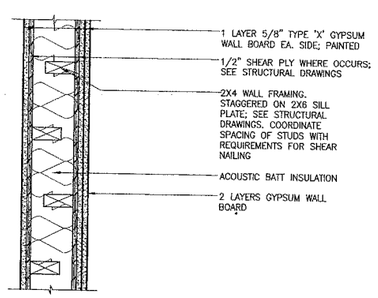
1.1 1 HR. EXTERIOR WALL (CEMENT PLASTER)
1-1/2"=1'-0"
TABLE 7-B
CBC 18-1.3



1.2 1 HR. EXTERIOR WALL (CEMENT PLASTER - 2 SIDES)
1-1/2"=1'-0"

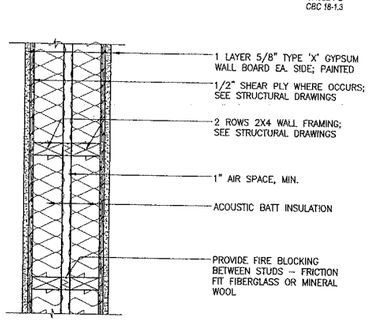


1.3 1 HR. EXTERIOR WALL (FIBER CEMENT SIDING)
1-1/2"=1'-0"
GA WP 8105

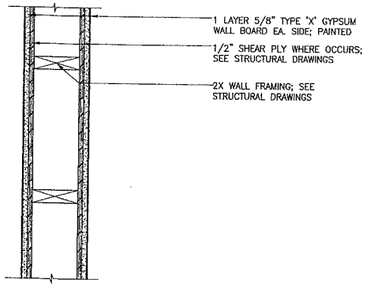


1.4 1 HR. CORRIDOR WALL
1-1/2"=1'-0"
GA WP 3380
STC 50-54

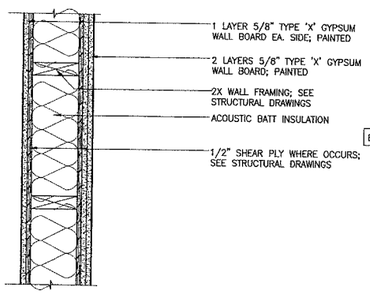
1.5 NOT USED
1-1/2"=1'-0"
GA WP 3380
STC 50-54



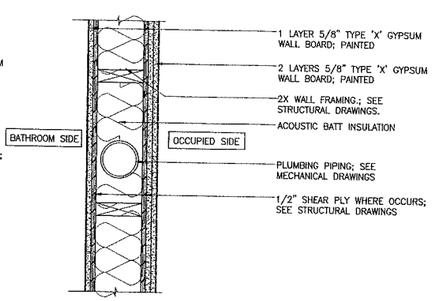
1.6 1 HR. DEMISING WALL
1-1/2"=1'-0"
GA WP 3370
STC 55-59



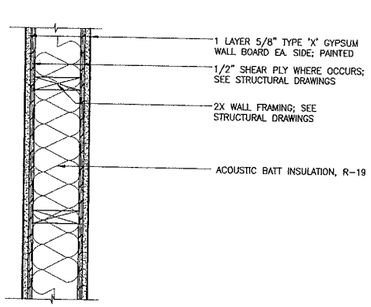
0.1 1 HR INTERIOR WALL
1-1/2"=1'-0"
GA WP 3510 - 24" O.C.
3514 - 16" O.C.



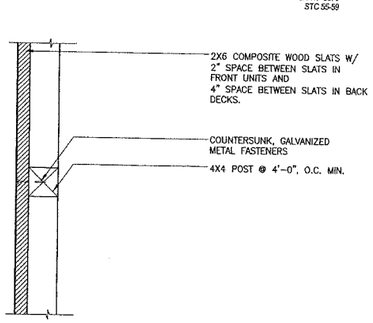
0.2 1 HR INTERIOR WALL
1-1/2"=1'-0"



0.3 1 HR PLUMBING WALL
1-1/2"=1'-0"
GA RC 2601



0.4 1 HR INTERIOR WALL
1-1/2"=1'-0"
GA WP 3510 - 24" O.C.
3514 - 16" O.C.



0.5 EXTERIOR SCREEN-GUARDRAIL
1-1/2"=1'-0"
GA RC 2601

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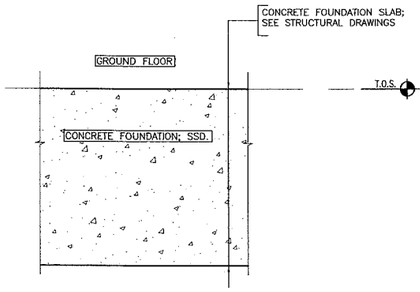
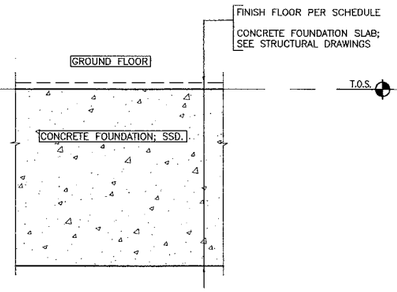
SCALE: 1-1/2" =1'-0"

WALL TYPES

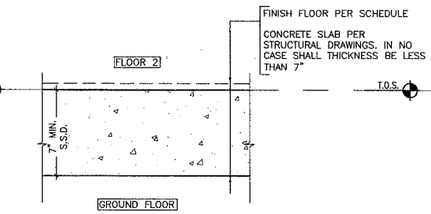
A9.1



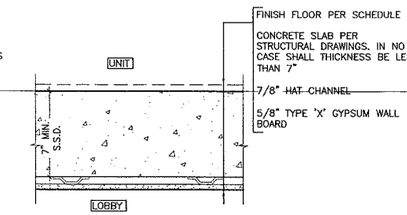
F3.1 3 HR. CONCRETE FLOOR ASSEMBLY
1-1/2"=1'-0"
CBC TABLE 7-C ITEMS 1-4



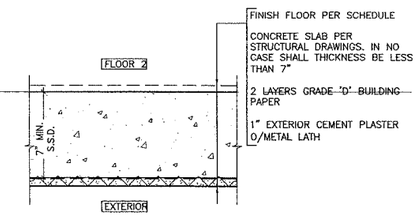
F3.2 3 HR. CONCRETE FLOOR ASSEMBLY
1-1/2"=1'-0"
CBC TABLE 7-C ITEMS 1-4



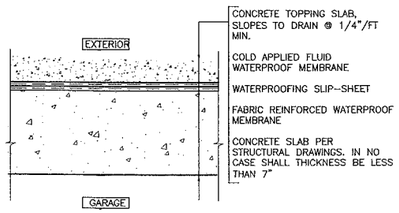
F3.3 3 HR. CONCRETE FLOOR ASSEMBLY
1-1/2"=1'-0"
CBC TABLE 7-C ITEMS 1-4



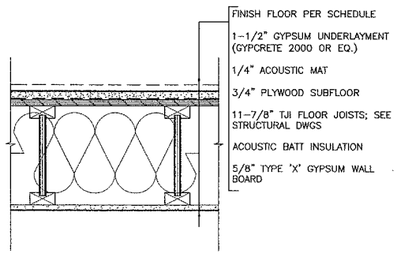
F3.4 3 HR. CONCRETE FLOOR ASSEMBLY
1-1/2"=1'-0"
CBC TABLE 7-C ITEMS 1-4



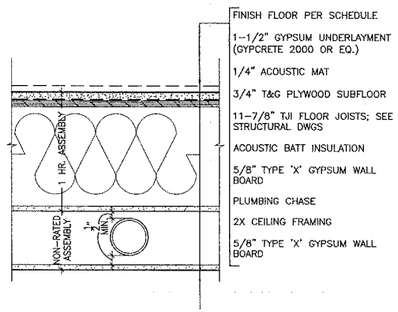
F3.5 EXTERIOR CONCRETE DECK ASSEMBLY
1-1/2"=1'-0"



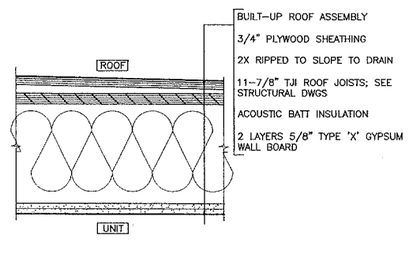
F3.6 CONCRETE FLOOR ASSEMBLY
1-1/2"=1'-0"
CBC TABLE 7-C ITEMS 1-4



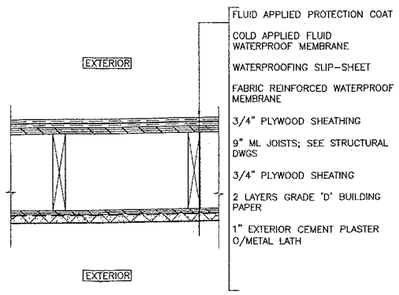
F1.1 1 HR. WOOD FLOOR ASSEMBLY
1-1/2"=1'-0"
GA FC 5107



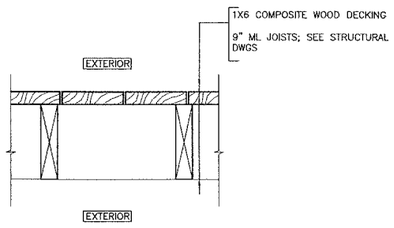
F1.2 1 HR. WOOD FLOOR ASSEMBLY @ SOFFIT
1-1/2"=1'-0"
GA FC 5107



F1.3 1 HR. ROOF ASSEMBLY
1-1/2"=1'-0"
GA RC 2601



F0.1 EXTERIOR DECK ASSEMBLY
1-1/2"=1'-0"



F0.2 EXTERIOR DECK ASSEMBLY
1-1/2"=1'-0"

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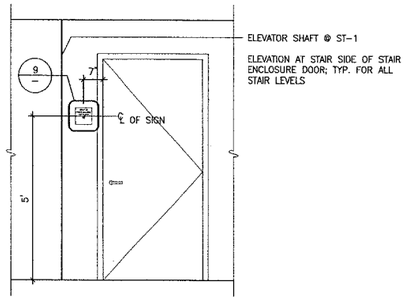
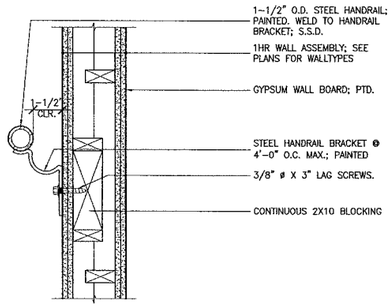
SCALE: 1-1/2" =1'-0"

FLOOR/
ROOF
TYPES

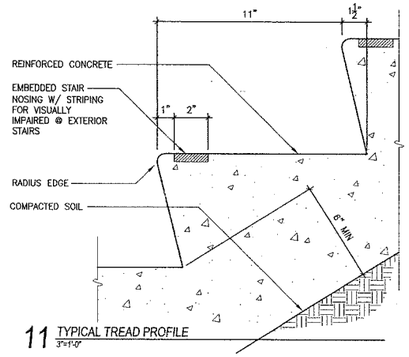
A9.2



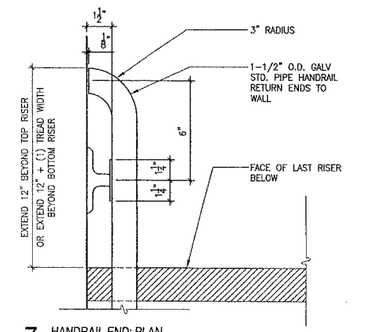
8 STAIR I.D. SIGNS
NTS



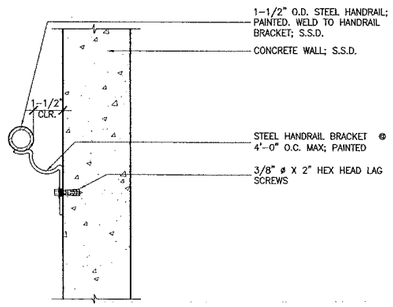
4 HANDRAIL ANCHORAGE AT WOOD STUD WALL
1-1/2"=1'-0"



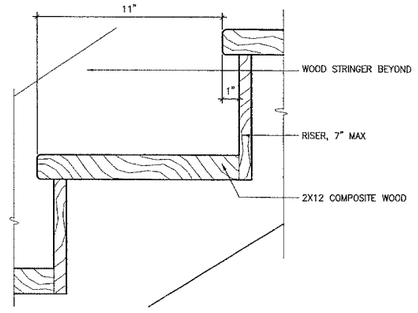
11 TYPICAL TREAD PROFILE
3"=1'-0"



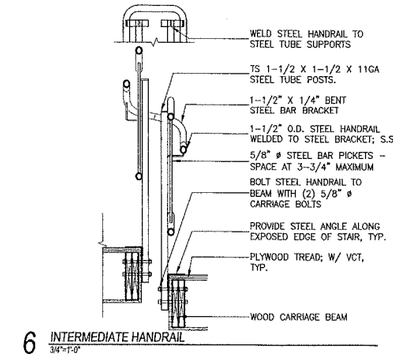
7 HANDRAIL END; PLAN
3"=1'-0"



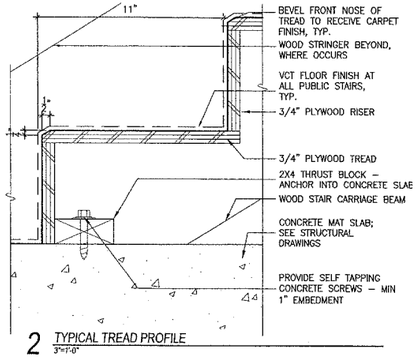
3 HANDRAIL ANCHORAGE AT CONCRETE WALL
1-1/2"=1'-0"



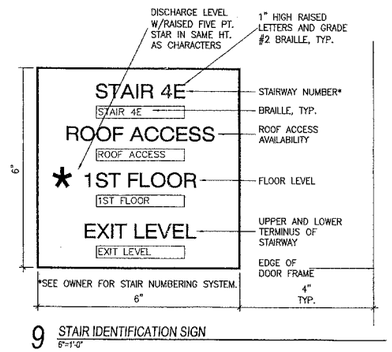
10 TREAD PROFILE @ UNIT ENTRANCE
3"=1'-0"



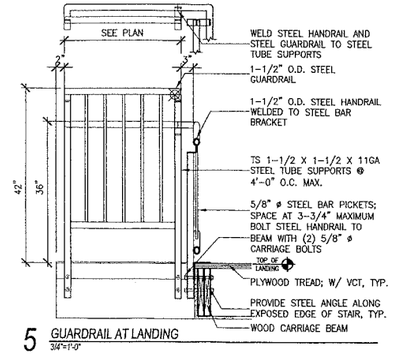
6 INTERMEDIATE HANDRAIL
3/4"=1'-0"



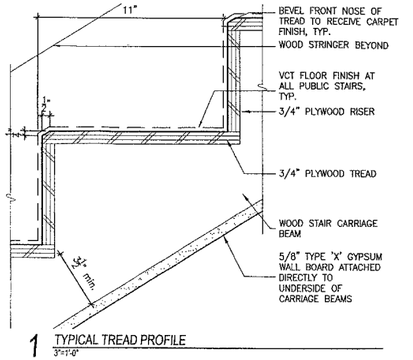
2 TYPICAL TREAD PROFILE
3"=1'-0"



9 STAIR IDENTIFICATION SIGN
6"=1'-0"



5 GUARDRAIL AT LANDING
3/4"=1'-0"



1 TYPICAL TREAD PROFILE
3"=1'-0"

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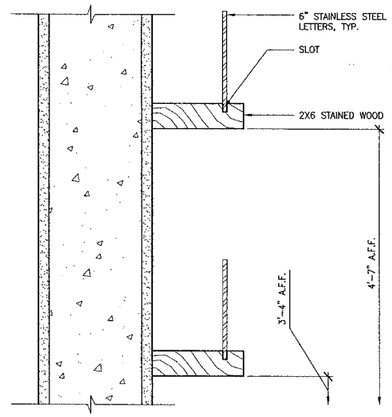
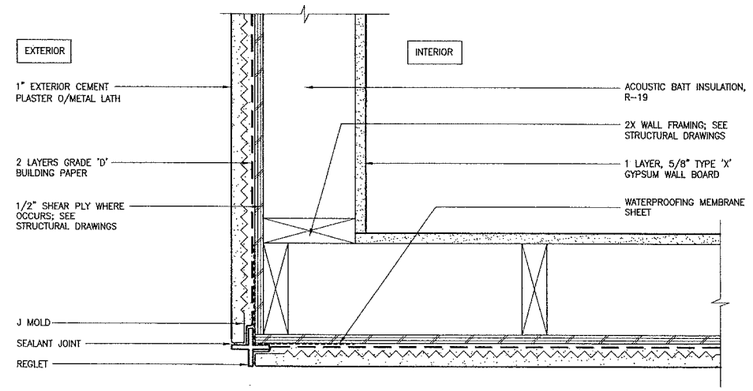
SCALE: AS NOTED

STAIR DETAILS

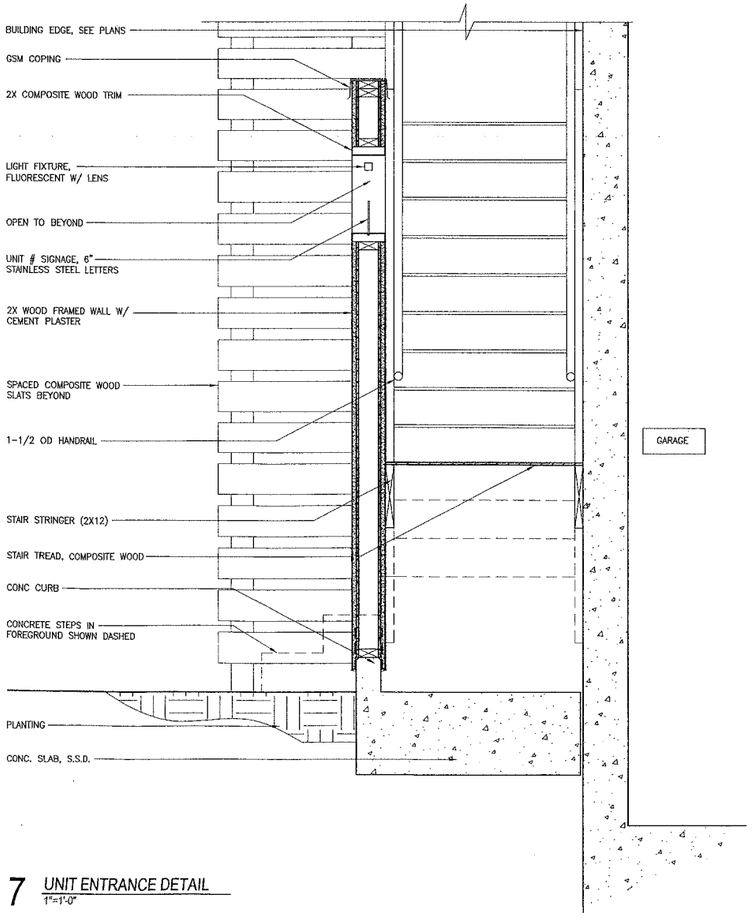
A10.1



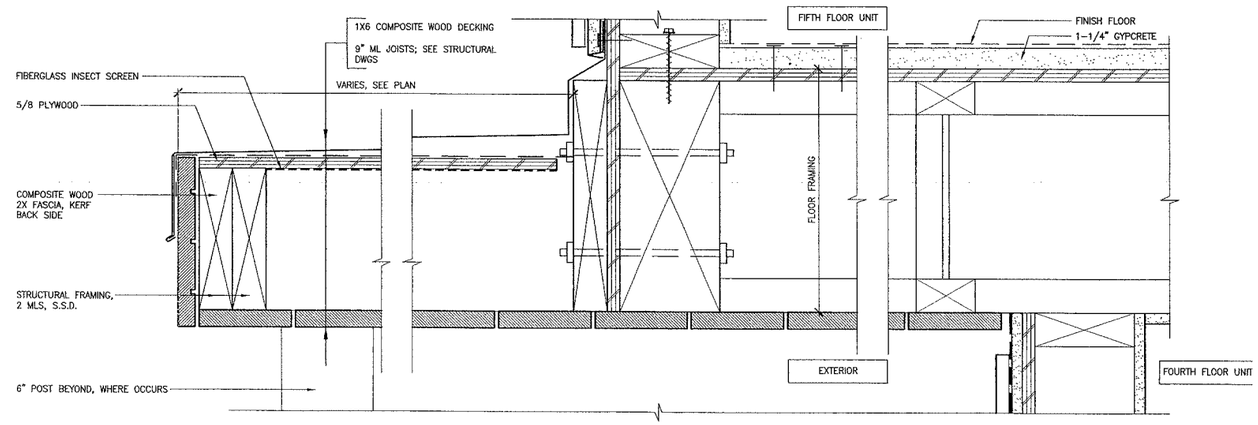
6 SIGNAGE DETAIL
3"=1'-0"



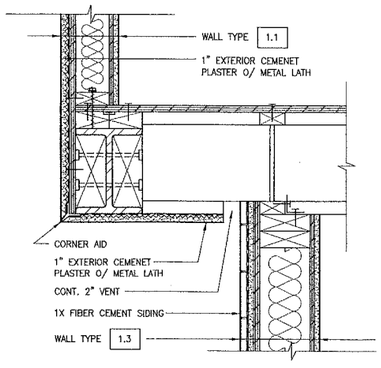
3 CORNER DETAIL, PLAN
3"=1'-0"



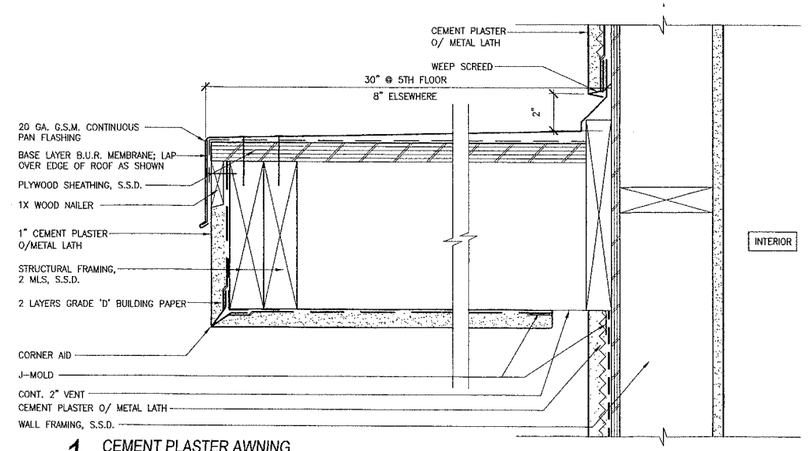
7 UNIT ENTRANCE DETAIL
1"=1'-0"



2 COMPOSITE WOOD AWNING
3"=1'-0"



4 CANTILEVER
1-1/2"=1'-0"



1 CEMENT PLASTER AWNING
3"=1'-0"

LEVY DESIGN PARTNERS
90 South Park
San Francisco
CA 94107

880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS, OAKLAND, CA

PROGRESS SET
11/20/2006

NOT FOR CONST.

880 West MacArthur Blvd.

A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

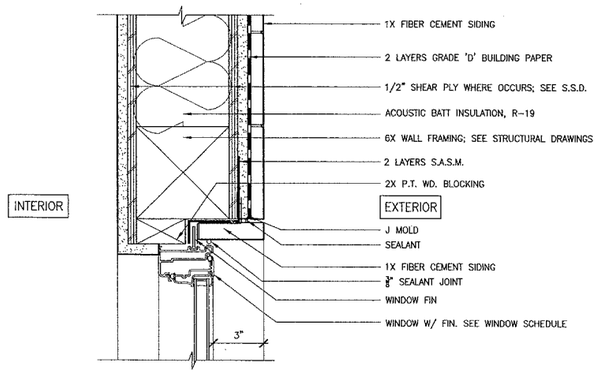
DATE	ISSUE
04-05-06	PLANNING SUBMITTAL
06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

CONTACTS:
DEVI DUTTA-CHOUDHURY
(415) 777-0561 P
(415) 777-5117 F
devi@levydesignpartners.com

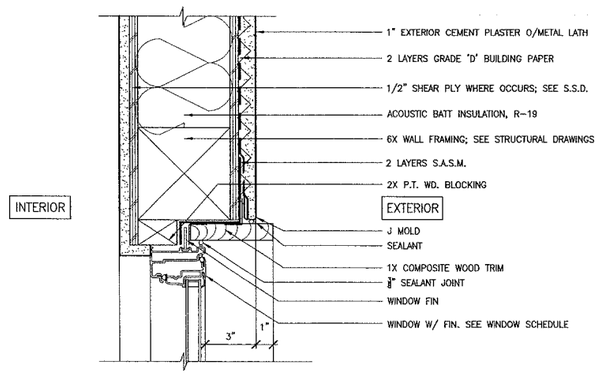
SCALE: AS NOTED

DETAILS

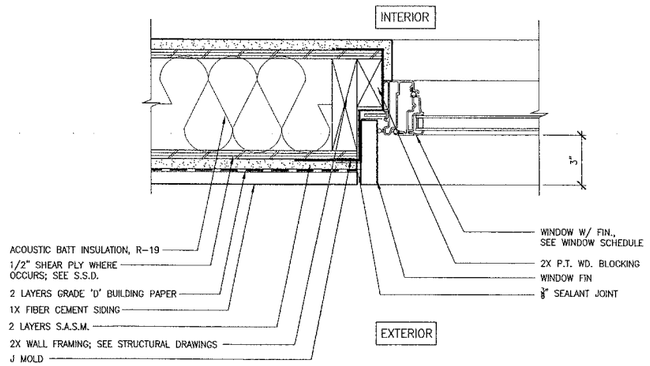
A10.2



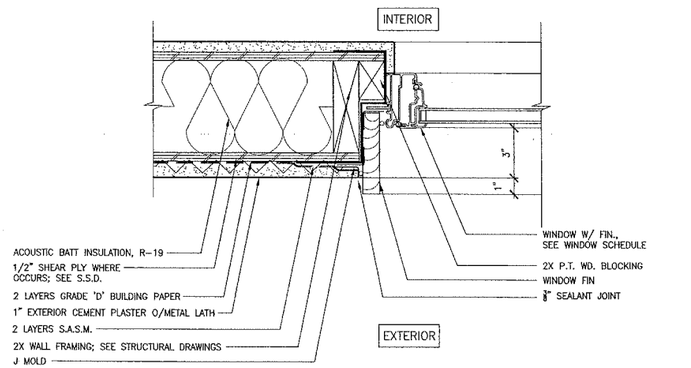
6 WINDOW HEAD AT FRAME WALL W/ FIBER CEMENT
3"=1'-0"



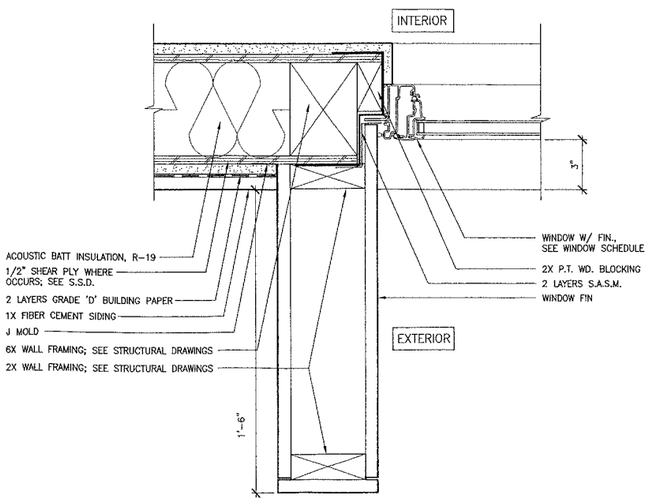
3 WINDOW HEAD AT FRAME WALL W/ CEMENT PLASTER
3"=1'-0"



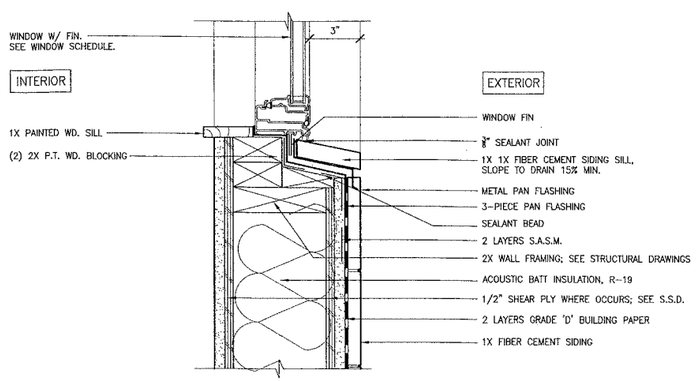
5 WINDOW JAMB AT FRAME WALL W/ FIBER CEMENT
3"=1'-0"



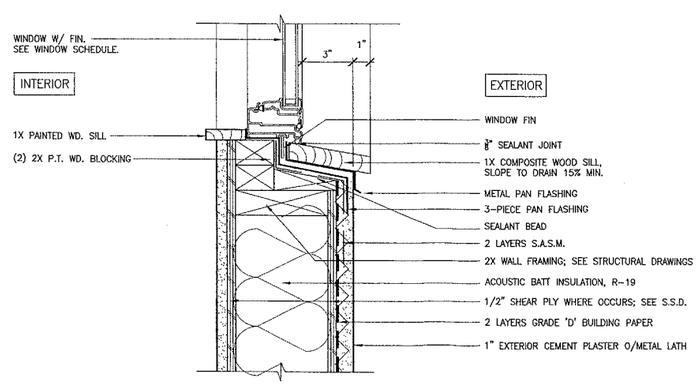
2 WINDOW JAMB AT FRAME WALL W/ CEMENT PLASTER
3"=1'-0"



7 WINDOW JAMB AT VERTICAL FIN - 5TH FLOOR
3"=1'-0"



4 WINDOW SILL AT FRAME WALL W/ FIBER CEMENT
3"=1'-0"



1 WINDOW SILL AT FRAME WALL W/ CEMENT PLASTER
3"=1'-0"

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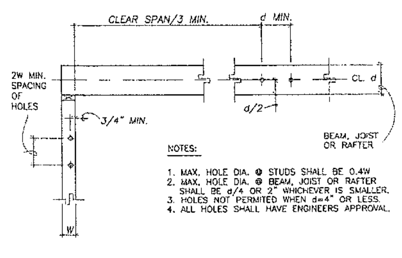
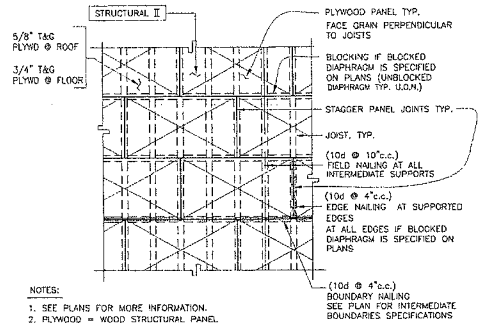
SCALE: AS NOTED

WINDOW DETAILS

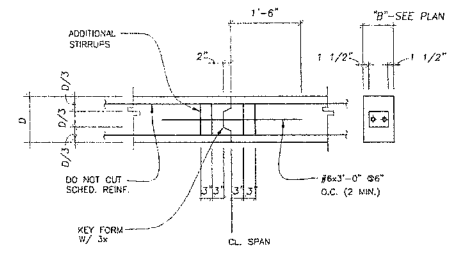
A10.3



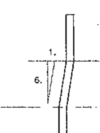
1 TYPICAL HOLES IN BEAMS, JOISTS, RAFTERS OR STUDS



2 TYPICAL PLYWOOD SHEATHING



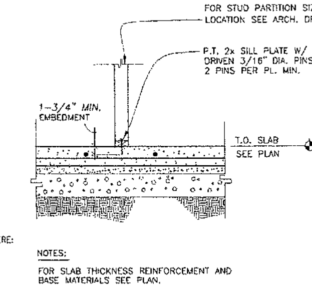
3 TYPICAL GRADE BEAM CONSTRUCTION JOINT



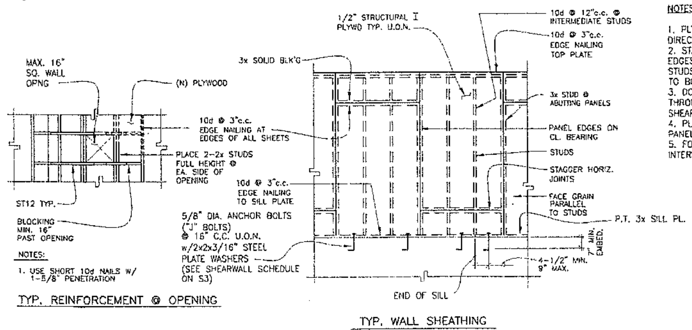
CLASS "B" LAP SPLICES						
Fy	BAR SIZE	SPECIFIED CONCRETE STRENGTH, f'c				
		2500	3000	4000	5000	
40	#3	1'-4"	1'-3"	1'-1"	11"	
40	#4	1'-9"	1'-7"	1'-5"	1'-3"	
60	#5	3'-3"	3'-0"	2'-7"	2'-4"	
60	#6	3'-11"	3'-7"	3'-1"	2'-9"	
60	#7	5'-9"	5'-3"	4'-6"	4'-1"	
60	#8	6'-6"	6'-0"	5'-2"	4'-8"	
60	#9	7'-4"	6'-9"	5'-10"	5'-3"	
60	#10	8'-3"	7'-7"	6'-7"	5'-10"	
60	#11	9'-2"	8'-5"	7'-3"	6'-6"	

THE ABOVE REQUIREMENTS APPLY TO CONFIGURATIONS WHERE:
1) BARS ARE UNCOATED
2) CONCRETE IS NORMAL WEIGHT
3) CLEAR SPACING ≥ 2db AND CLEAR COVER ≥ db OR CLEAR SPACING ≥ db AND CLEAR COVER ≥ db
AND MIN. STIRRUPS OR TIES ARE PROVIDED
FOR OTHER CONFIGURATIONS CONTACT ENGINEER.

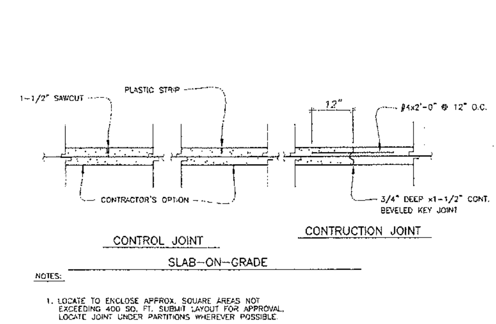
4 TYPICAL OFFSET & TYP. LAP SPLICE



5 TYPICAL NON-BEARING/NON-SHEARWALL CONNECTION AT CONCRETE SLAB

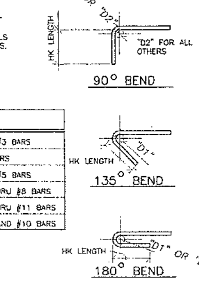


6 TYPICAL PLYWOOD SHEARWALL DETAILS



7 TYPICAL CONSTRUCTION JOINT DETAILS @ SLAB-ON-GRADE

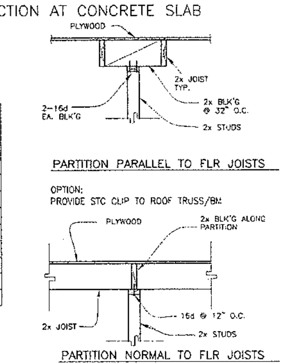
NOTES:
"D1" TO BE USED FOR STIRRUPS, TIES & WALLS REINFORCING AT OPNG'S.



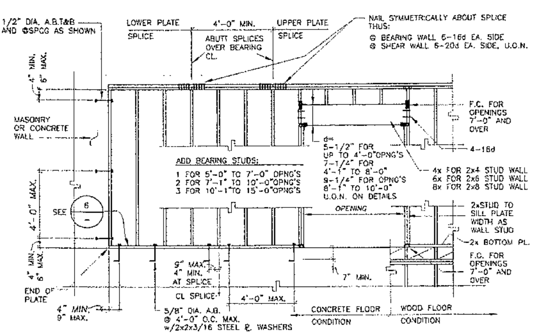
DIAMETER OF BENDS	
D1	1-1/2" FOR #3 BARS
	2" FOR #4 BARS
	2-1/2" FOR #5 BARS
D2	6d FOR #3 THRU #8 BARS
	8d FOR #9 THRU #11 BARS
	10d FOR #4 AND #10 BARS

BAR	STANDARD HOOK LENGTH			
	MAIN REINFORCEMENT		STIRRUP AND TIE HOOKS	
SIZE	90°	180°	90°	180°
#3	6"	4"	3"	4-1/2"
#4	8"	4"	4"	6"
#5	9-1/2"	4-1/2"	5"	7-1/2"
#6	11-1/2"	5-1/2"	11-1/2"	10"
#7	13-1/2"	6-1/2"	13-1/2"	11-1/2"
#8	15"	7"	15"	13"
#9	18"	9"	–	–
#10	20"	10"	–	–
#11	22"	11"	–	–

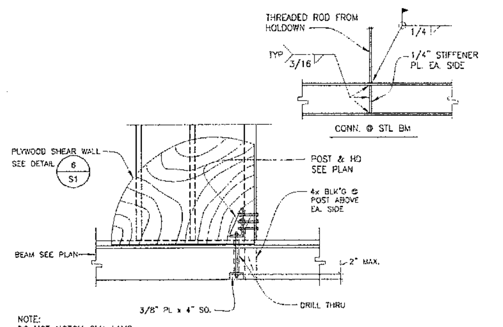
8 STANDARD HOOKS



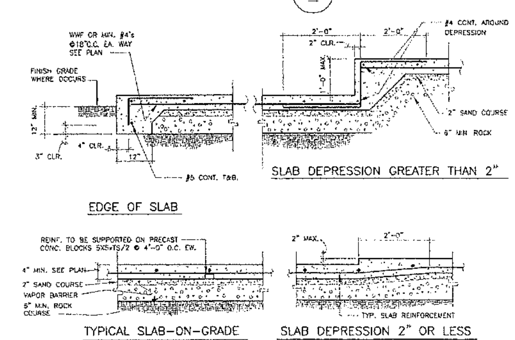
9 TYPICAL NON-BEARING/NON-SHEARWALL SUPPORT @ ROOF



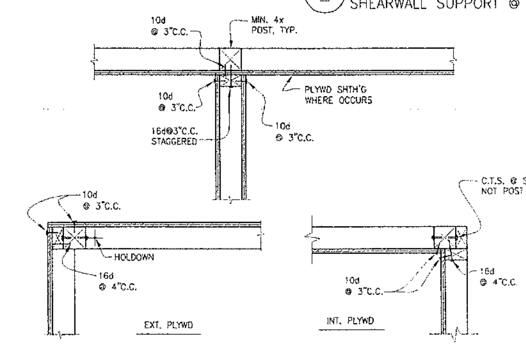
10 TYPICAL FRAMING @ OPENINGS, TOP PLATE SPLICES, ETC.



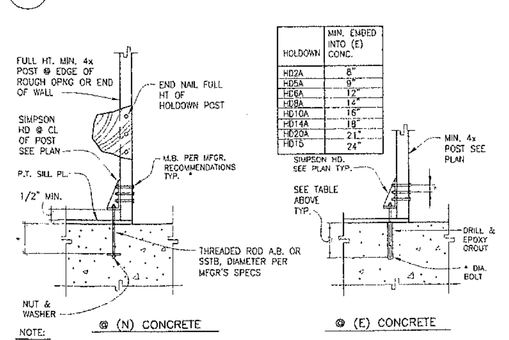
11 TYPICAL HOLDOWN @ BEAM



12 TYPICAL SLAB ON GRADE DETAILS

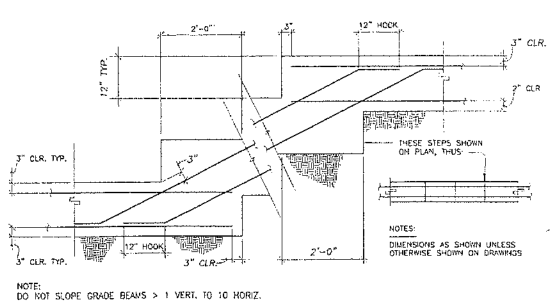


13 TYPICAL PLYWOOD SHEARWALL INTERSECTION DETAIL

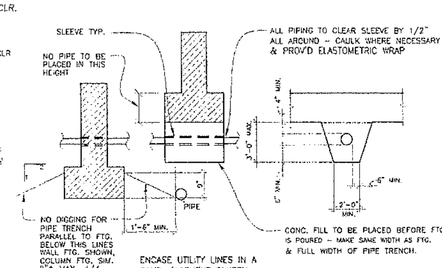


HOLDOWN	MIN. EMDED INTO (E) CONC.
HD2A	8"
HD5A	9"
HD6A	12"
HD8A	14"
HD10A	16"
HD14A	18"
HD20A	21"
HD15	24"

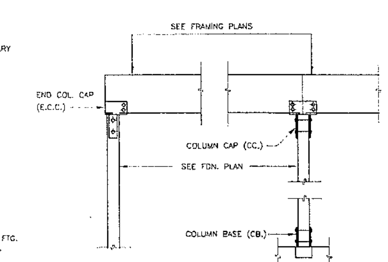
14 TYPICAL HOLDOWN DETAIL @ CONCRETE FOUNDATION



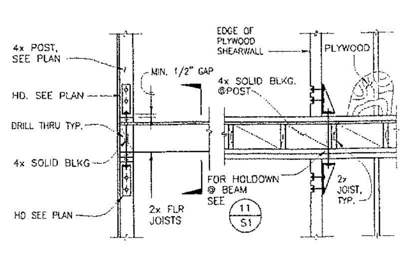
15 TYPICAL STEPS IN GRADE BEAMS AND WALL FOOTING



16 PIPE CLEARANCE & DETAILS @ FOOTING



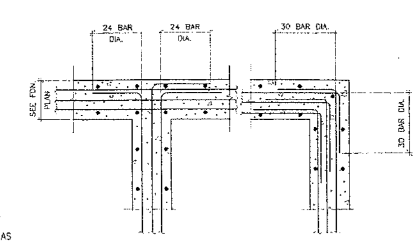
17 TYPICAL BEAM TO POST CONNECTION



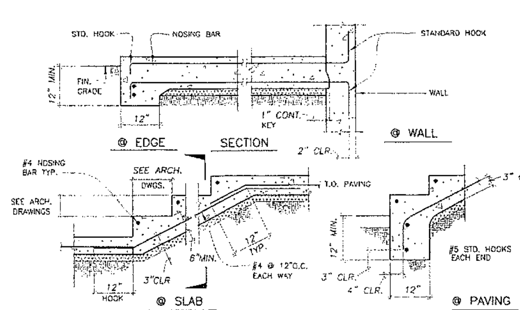
STRAP OPTION		
HOLDOWN	EQUIV. STRAP	
HD2A	MST48	–
HD5A	MST60	OR 2-MST37's
HD6A	CMST14*	OR 2-MST48's
HD8A	–	2-CMST12**
HD10A	–	2-CMST14's*

MAX. ALLOW CLEARSPAN = 18"
FOR 2 STRAPS USE 6x POST
* NOTE: PROVIDE 30" MIN. END LENGTH
** NOTE: PROVIDE 39" MIN. END LENGTH

18 TYPICAL HOLDOWN DETAIL BETWEEN FLOORS



19 TYPICAL GRADE BEAM INTERSECTIONS



20 TYPICAL CONCRETE STAIRS ON GRADE

SPECIAL INSPECTION REQUIRED PER SFBC SECTION 1701

FOR BUILDING DEPARTMENT USE ONLY

GENERAL STRUCTURAL NOTES

I. GENERAL

A. ALL CONSTRUCTION SHALL CONFORM TO THE UNIFORM BUILDING CODE 2001 EDITION & CA. BUILDING CODE w/ AMENDMENTS BY LOCAL JURISDICTIONS.
B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT OR ENGINEER.
C. OMISSIONS OR CONFLICT BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
D. DO NOT USE SCALED DIMENSIONS; USE WRITTEN DIMENSIONS OR WHERE NO DIMENSION IS PROVIDED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
E. DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
F. FOR WATERPROOFING, FIREPROOFING, ETC. REFER TO DRAWINGS OTHER THAN STRUCTURAL.
G. SEE DRAWINGS OTHER THAN STRUCTURAL FOR: KINDS OF FLOOR FINISH AND THEIR LOCATION, FOR DEPRESSIONS IN FLOOR SLABS, FOR OPENING IN WALLS AND FLOORS REQUIRED BY ARCHITECTURAL AND MECHANICAL FEATURES, FOR ROADWAY PAVING, WALKS, RAMPS, STAIRS, CURBS, ETC.
H. HOLES AND OPENINGS THROUGH WALLS AND FLOORS FOR DUCTS, PIPING AND VENTILATION SHALL BE CHECKED BY THE CONTRACTOR, WHO SHALL VERIFY SIZES AND LOCATION OF SUCH HOLES OR OPENINGS WITH THE PLUMBING HEATING, VENTILATING AND ELECTRICAL DRAWINGS AND THESE SUB-CONTRACTORS.
I. NO PIPES AND DUCTS SHALL BE PLACED IN SLABS OR WALLS UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE ARCHITECT.
J. DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING.
THE SUBCONTRACTOR SHALL UNDERTAKE ALL NECESSARY MEASURES TO INSURE SAFETY OF ALL PERSONS AND STRUCTURES AT THE SITE AND ADJACENT TO THE SITE. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT, ENGINEER SHALL NOT RELIEVE THE SUBCONTRACTOR OF SUCH RESPONSIBILITY.
K. NOTE THAT SHEET S1 IS A STANDARD COVER SHEET AND AS SUCH, NOT ALL TYP. DETAILS AND OR NOTES APPLY TO EVERY PROJECT.

II. DESIGN CRITERIA

A. APPLICABLE CODE: UNIFORM BUILDING CODE, 1997 EDITION
B. VERTICAL LIVE LOADS: (REDUCIBLE).
ROOF: 20 PSF.
FLOOR: 40 PSF. HALLWAYS & CORRIDORS: 100 PSF.
C. LATERAL LOADS:
1. WIND: 70 MPH. BASIC WIND SPEED
2. SEISMIC: SEISMIC ZONE 4
SOIL PROFILE TYPE S_D
SEISMIC SOURCE TYPE 'A'

III. MATERIALS

A. CONCRETE
1. REINFORCING STEEL: ASTM A615, GRADE 60, #4 AND SMALLER, GRADE 40.
2. CONCRETE: NORMAL WEIGHT WITH COMPRESSIVE STRENGTH OF **3000** PSI. AT 28 DAYS.
3. MINIMUM CONCRETE COVER FOR REINFORCING STEEL:
A. SURFACE POURED AGAINST GROUND 3"
B. FORMED SURFACES BELOW GRADE 2"
C. SURFACES EXPOSED TO WEATHER 2"
D. BEAM BARS (INCLUDING STIRRUPS) 1-1/2"
E. ALL OTHER 1"

B. CMU: UNITS 1500 PSI, MORTAR (TYPE 'S'), GROUT 2000 PSI

C. STEEL
1. SHAPES AND PLATES: ASTM A 36; TUBES: ASTM A500, GRADE B.
2. MOMENT FRAMES (BEAMS, COLUMNS & PLATES): ASTM A992 OR A913 (50 ksi)
3. BOLTS: ASTM A307
4. WELDING ELECTRODES: E-70
FOR FULL PEN WELDS USE CHARPY V-NOTCH WIRE, MIN. 20 ft # @ O'F

D. WOOD
1. FRAMING LUMBER - DOUGLAS FIR LARCH
A. HEADERS, PLATES, JOISTS: NO.1
B. STUDS, BLOCKING: NO.2
C. ALL LUMBER IN CONTACT WITH CONCRETE: PRESERVATIVE TREATED DOUGLAS FIR. (NOT CCA-C)
D. POSTS AND BEAMS: NO.1
2. PLYWOOD SHEATHING (STRUCTURAL II)
A. ROOF SHEATHING: 5/8 INCH C-D EXTERIOR APA RATED 32/16
B. FLOOR SHEATHING: 3/4 INCH C-D EXTERIOR APA RATED 48/24
3. FRAMING HARDWARE AND JOIST HANGERS: AS MANUFACTURED BY SIMPSON STRONGTIE CO. OR APPROVED EQUAL. SIMPSON DESIGNATIONS USED. USE NAILS PER I.C.B.O. APPROVAL FOR EACH DEVICE.
4. COMMON NAILS, UNLESS OTHERWISE NOTED. SHORT NAILS MAY BE USED PROVIDED THEY HAVE COMMON CODE SPECIFIED MINIMUM EMBEDMENT. ALL NAILING TO BE PER UBC TABLE NO. 23-II-B-1 UNLESS NOTED OTHERWISE.
5. GLULAM BEAMS: 24F-V4 (FB=2400 PSI)
6. PARALLAM BEAMS TO BE FABRICATED BY TRUSS JOIST MacMILLAN.
7. MICROLAM BEAMS AND TJI's TO BE FABRICATED BY TRUSS JOIST MacMILLAN.
8. FOR ML's SEE CODE EVALUATIONS: ICBO ES ER-4979, ICBO ES PFC-5756P AND FHA/RHUD-925H
9. FOR TJI's SEE CODE EVALUATIONS: ICC-ES ER-4979 & ICC ESR-1153

IV. EXPOSURE TO WEATHER

A. STEEL
1. ALL EXPOSED MEMBERS SHALL BE COATED WITH A ZINC RICH PRIMER.
2. BOLTS, NUTS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED.

B. WOOD
1. ALL EXTERIOR TIMBER AND GLULAM BEAMS SHALL BE PRESSURE TREATED (BUT NOT CHROMATED COPPER ARSENATE) OR WOOD OF NATURAL RESISTANCE TO DECAY.
2. ALL EXTERIOR HANGERS AND OTHER SIMPSON TYPE PRODUCTS SHALL BE GALVANIZED.
3. ALL PLYWOOD SHALL BE OF AN EXTERIOR GRADE.
4. METAL CONNECTORS IN CONTACT w/ PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED w/ MIN. ZINC COATING OF G185.
5. ALL NAILS & ANCHOR BOLTS IN CONTACT w/ PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED.

V. ABBREVIATIONS:

B.N. =BOUNDARY NAILING
DIA. =DIAMETER
E.N. =EDGE NAILING
H.P. =HIGH POINT
L.P. =LOW POINT
L.W. =LIGHT WEIGHT
M.L. =MICRO LAM
PLWD. =PLYWOOD SHEATHING
P.T. =PRESSURE TREATED
S.A.D. =SEE ARCHITECTURAL DRAWINGS
S.O.G. =SLAB-ON-GRADE
S.S. =STAINLESS STEEL
T.O. =TOP OF
TYP. =TYPICAL
U.O.N. =UNLESS OTHERWISE NOTED
W.W.F. =WELDED WIRE FABRIC

SYMBOLS:

WALL BELOW
(E) WALL ABOVE
(N) WALL ABOVE
SHEARWALL (BELOW)
JOIST HANGER (HUS TYPE U.O.N.)
POST BELOW
POST ABOVE (OR ABOVE AND BELOW)
HOLDOWN @ POST

VI. SPECIAL INSPECTIONS

SPECIAL INSPECTIONS AND/OR TESTING IS REQUIRED FOR THIS CONSTRUCTION. CONTACT THE STRUCTURAL ENGINEER FOR THE METHODS AND INSPECTION REQUIREMENTS.

[X] 01. CONCRETE
[X] 02. BOLTS INSTALLED IN NEW CONCRETE (VISUAL INSPECTION OK)
[ ] 03. SPECIAL MOMENT-RESISTING CONCRETE FRAME
[X] 04. REINFORCING STEEL & PRESTRESSING TENDONS (CONTRACTOR TO CONTACT ENGR MIN. 48 HRS PRIOR TO POURING CONC.)
[X] 05. WELDING (BY INDEPENDENT TESTING AGENCY, VISUAL INSPECTION OK FOR FILLET WELDS.)
[ ] 06. HIGH-STRENGTH BOLTING
[ ] 07. STRUCTURAL MASONRY
[ ] 08. REINFORCED GYPSUM CONCRETE
[ ] 09. INSULATED CONCRETE FILL
[ ] 10. SPRAY-ON FIREPROOFING
[ ] 11. PILING, DRILLED PIERS AND CASSIONS (BY SOILS ENGR)
[ ] 12. SHOTCRETE
[ ] 13. SPECIAL GRADING, EXCAVATION AND FILLING BY SOILS ENGR.
14. EXTERIOR FACING
[ ] 15. DEMOLITION
[ ] 16. BOLTS INSTALLED IN EXISTING MASONRY OR CONCRETE (TORQUE & OR TENSION TEST REPT BY INDEPENDENT TESTING AGENCY REQ'D PER SFBC 1701.5.20, 1607C.4 & 1615C)
[X] 17. SHEARWALLS AND FLOOR SYSTEMS USED AS SHEAR DIAPHRAGMS
[X] 18. SPECIAL CASES: HOLDOWNS
19. CERTIFICATION IS REQUIRED FOR:
[ ] GLULAM COMPONENTS
[X] TRUSS JOISTS
[ ] 20. TIEBACKS: INSTALLATION AND PULL TESTS (BY OTHERS)
[ ] OTHER:

THE SPECIAL INSPECTOR SHALL BE SELECTED BY THE OWNER OR HIS REPRESENTATIVE AND APPROVED BY THE BUREAU OF BUILDING INSPECTION PRIOR TO START OF WORK.

REVISIONS	BY

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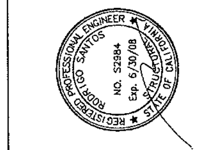
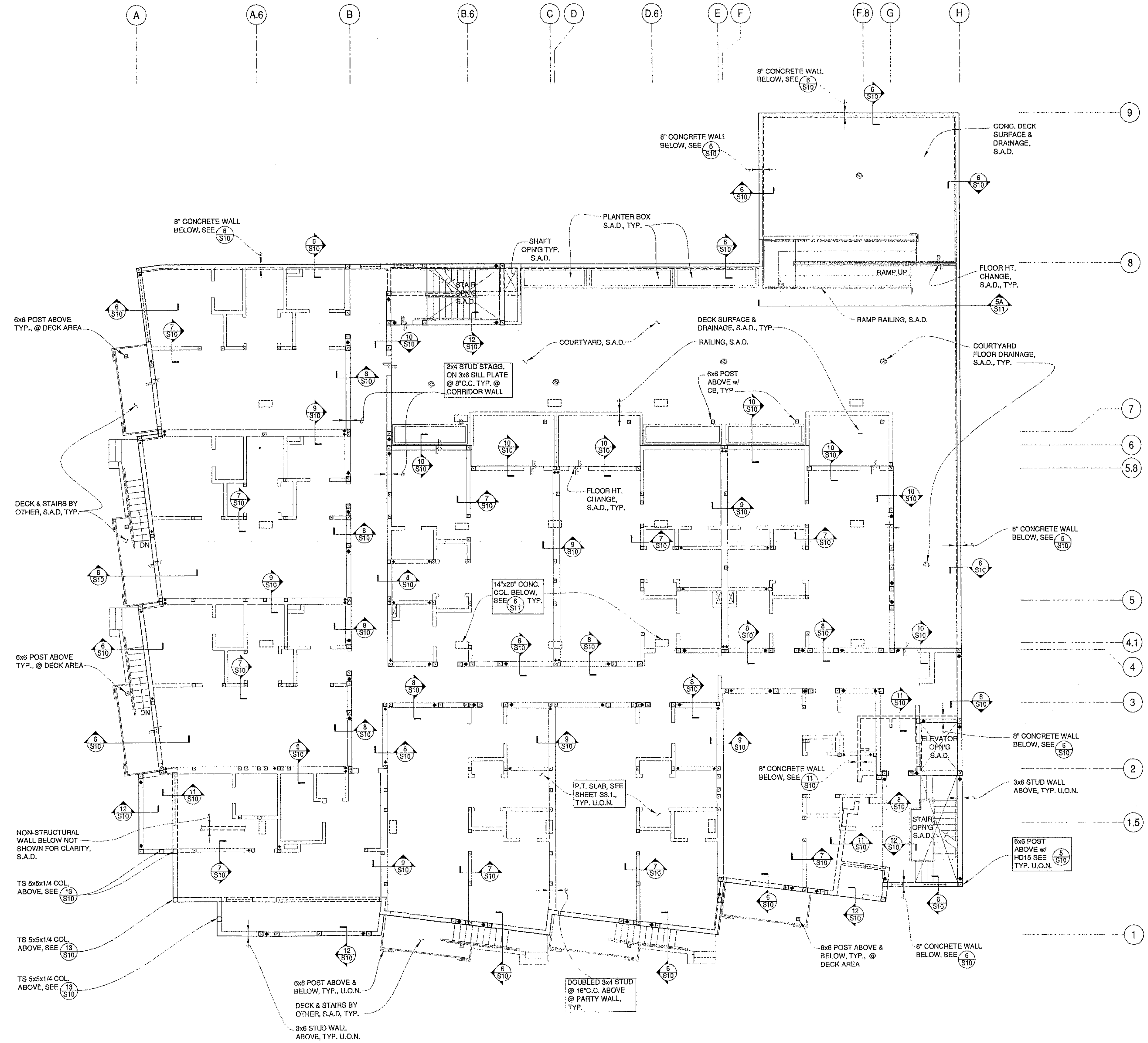


GENERAL NOTES AND TYPICAL DETAILS

NEW CONDOMINIUM BUILDING

880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

Date: 02/21/07
Scale: NONE
Drawn By: M.C.
Job No: 6559
Sheet S1
Of 13 Sheets



SECOND FLOOR FRAMING PLAN

SCALE: 1/8"=1'-0"

SHEARWALL SCHEDULE					
TYPE	PLY NAILING	CLIP SPACING	PLATE NAILING	A.B. SPACING	CAPACITY(PLF)
A	10d @ 6"C.C.	A35's @ 16"C.C or LTP4 @ 24"C.C.	16d @ 6"C.C.	5/8" @ 32"C.C.	339
B	10d @ 3"C.C.	A35's @ 8"C.C. or LTP4 @ 12"C.C.	16d @4"C.C.	5/8" @ 16"C.C.	665
C	10d @ 2"C.C.	A35's @ 6"C.C. or LTP4 @ 9"C.C.	16d @3"C.C.	5/8" @ 12"C.C.	870
D	10d @ 3"C.C. EACH SIDE	A35's @ 8"C.C. EACH SIDE or LTP4 @ 12"C.C. EACH SIDE	5/8"x7.5" LAG BOLT @ 12"C.C.	5/8" @ 8"C.C. or 3/4" @ 12"C.C.	1320
E	10d @ 2"C.C. EACH SIDE	A35's @ 6"C.. EACH SIDE or LTP4 @ 8"C.C. EACH SIDE	5/8"x7.5" LAG BOLT @ 10"C.C.	3/4" @ 8"C.C.	1740

NAILING SCHEDULE

CONNECTION NAILING	
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
3. 1"x6" SUBFLOOR OR LESS TO EA. JOIST, FACE NAIL	2-8d
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
5. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST/BLKG, TYP. FACE NAIL	16d@16"o.c.
SOLE PLATE TO JOIST/BLKG, @ BRACED WALL PANELS	3-16d PER 16"
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-8d, TOENAIL OR 2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL	10d@24"o.c.
10. DOUBLED TOP PLATES, TYP. FACE NAIL	16d@16"o.c.
DOUBLED TOP PLATES, LAP SPLICE	8-16d
11. BLKG BETWEEN JOISTS/RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d@6"o.c.
13. TOP PLATES, LAPS/INTERSECTIONS, FACE NAIL	2-16d
14. CONT. HEADER, TWO PIECES	16d@16"o.c. ALONG EA. EDGE
15. CEILING JOISTS TO PLATE, TOENAIL	3-8d
16. CONT. HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
19. RAFTER TO PLATE, TOENAIL	3-8d
20. 1" BRACE TO EA. STUD AND PLATE, FACE NAIL	2-8d
21. 1"x8" SHEATHING OR LESS TO EA. BEARING, FACE NAIL	2-8d
22. WIDER THAN 1"x8" SHEATHING TO EA. BEARING, FACE NAIL	3-8d
23. BUILT-UP CORNER STUDS	10d@24"o.c.
24. BUILT-UP GIRDER AND BEAMS	20d@32"o.c. @ T&B; STAGG. 2-20d @ ENDS/SPLICES
25. 2" PLANKS	2-16d @ EA. BEARING
26. WOOD STRUCTURAL PANELS AND PARTICLEBOARD:	
SUBFLOOR AND WALL SHEATHING (TO FRAMING):	
1/2" AND LESS	6d
19/32"-3/4"	8d OR 6d
7/8"-1"	8d
1-1/8"-1-1/4"	10d OR 8d
COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING):	
3/4" AND LESS	6d
7/8"-1"	8d
1-1/8"-1-1/4"	10d OR 8d
27. PANEL SIDING (TO FRAMING):	
1/2"	6d
5/8"	8d
28. FIBERBOARD SHEATHING:	
1/2"	No. 11 ga., 6d, No. 16 ga.
25/32"	No. 11 ga., 8d, No. 16 ga.
29. INTERIOR PANELING	
1/4"	4d
3/8"	6d

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REGISTERED PROFESSIONAL ENGINEER RODRIGO SANTOS No. S2984 Exp. 6/30/08 STATE OF CALIFORNIA

SECOND FLOOR FRAMING PLAN

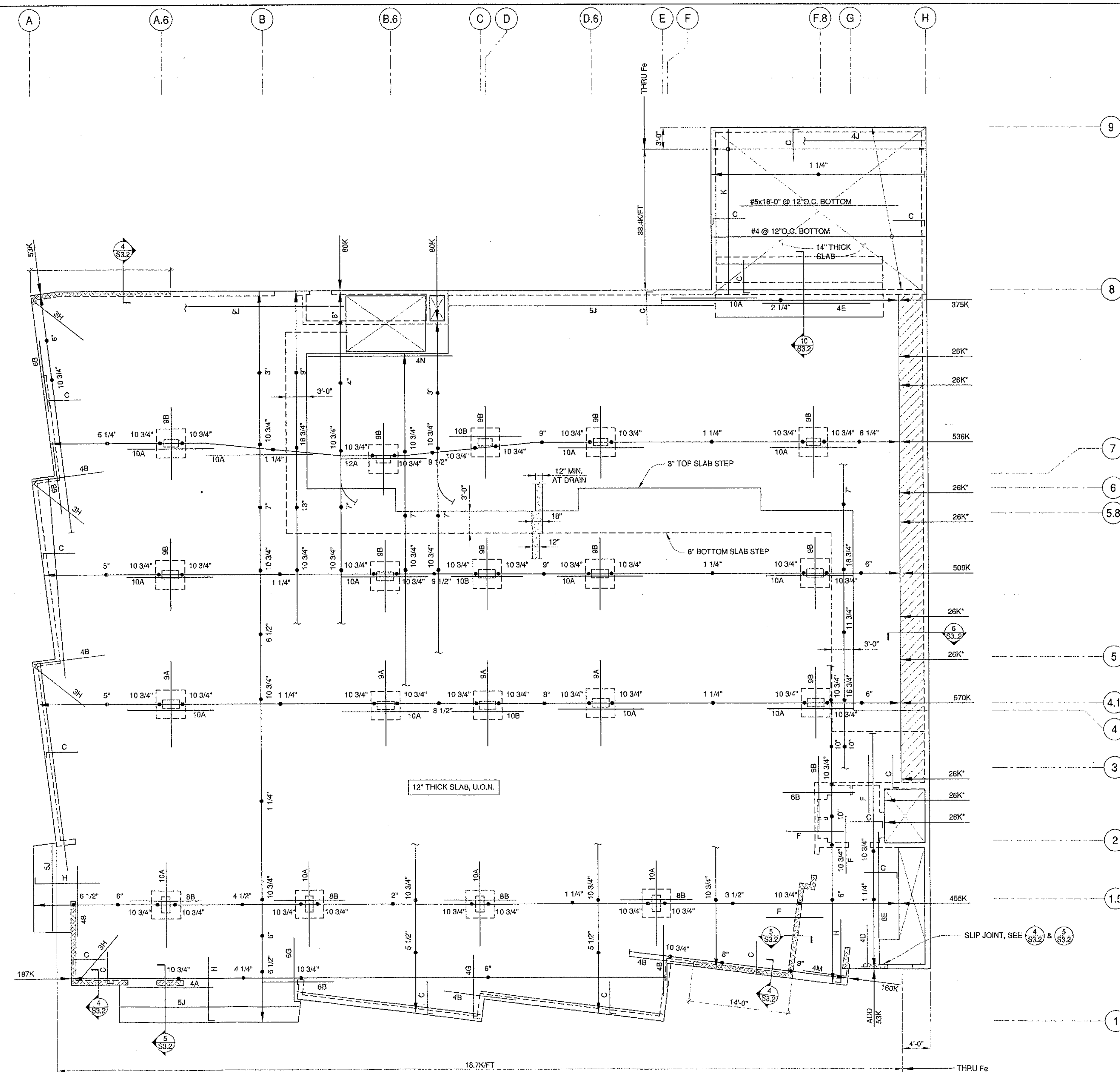
NEW CONDOMINIUM BUILDING

880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

Date: 02/21/07
Scale: 1/8"=1'-0"
Drawn By: M.C.
Job No: 6559

Sheet S3
Of 13 Sheets

RODRIGO SANTOS
XREF: PATH: X:\Drawings\6400-6599\6559\Struct\x6559all.dwg
XREF:
36x24 12/06/06 S.T.B. -- FRAMING



MILD REINFORCEMENT SCHEDULE			
MARK	BAR SIZE	LENGTH	LOCATION
A	#5	12'-0"	TOP @ 4" O.C.
B	#5	10'-0"	TOP @ 4" O.C.
C	#5	4'-6" WITH 10" HK	TOP @ 12" O.C.
D	#5	6'-0" WITH 10" HK	TOP @ 12" O.C.
E	#5	15'-0"	BOTTOM @ 12" O.C.
F	#5	8'-0"	TOP @ 12" O.C.
G	#5	9'-0" WITH 10" HK	TOP @ 4" O.C.
H	#5	9'-0" WITH 10" HK	TOP @ 12" O.C.
J	#5	CONTINUOUS	MID-DEPTH @ 12" O.C.
K	#4	CONTINUOUS	TOP & BOTTOM @ 12" O.C.
L	#5	20'-0"	TOP @ 4" O.C.
M	#5	12'-0" WITH 10" HK	TOP @ 4" O.C.
N	#5	20'-0"	TOP & BOTTOM @ 6" O.C.

SECOND FLOOR POST-TENSIONING PLAN

SCALE: 1/8"=1'-0"

REVISIONS | BY

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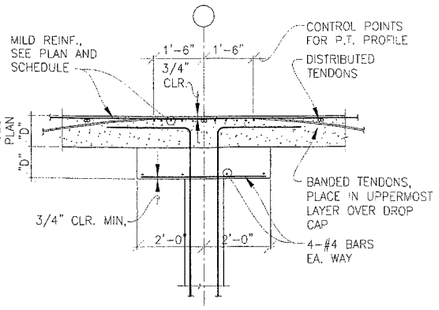
SECOND FLOOR POST-TENSIONING PLAN

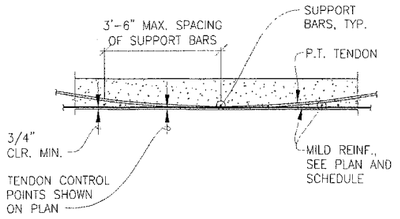
NEW CONDOMINIUM BUILDING

880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

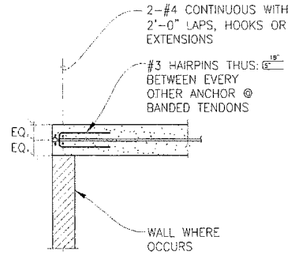
Date:	02/21/07
Scale:	1/8"=1'-0"
Drawn By:	M.C.
Job No:	6559
Sheet	S3.1
Of 13 Sheets	



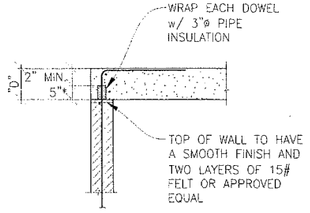
1 TYPICAL COLUMN DROP CAP
SCALE: 1/2" = 1'-0"



2 TYPICAL SLAB MIDSPAN
SCALE: 1/2" = 1'-0"

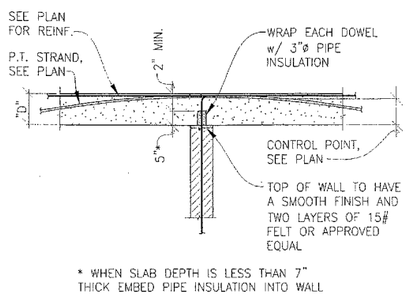


3 TYPICAL SLAB EDGE
SCALE: 1/2" = 1'-0"

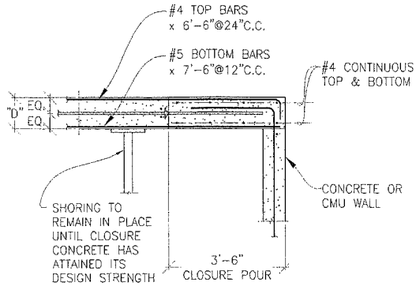


* WHEN SLAB DEPTH IS LESS THAN 7" THICK EMBED PIPE INSULATION INTO WALL

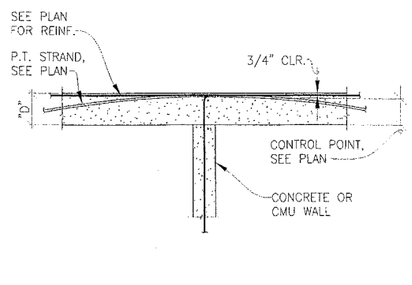
4 SLIP JOINT DETAIL
SCALE: 1/2" = 1'-0"



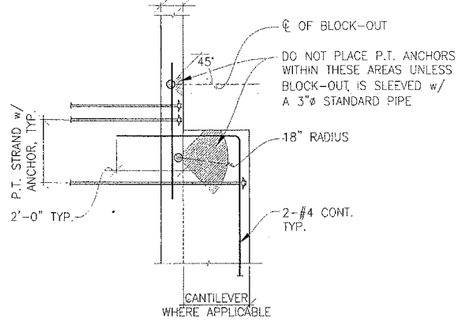
* WHEN SLAB DEPTH IS LESS THAN 7" THICK EMBED PIPE INSULATION INTO WALL



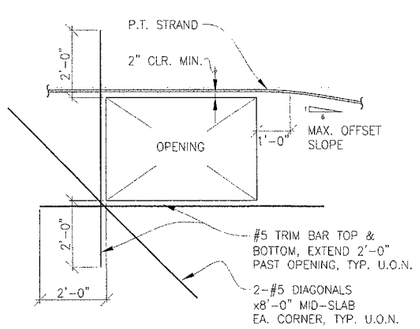
6 CLOSURE STRIP DETAIL
SCALE: 1/2" = 1'-0"



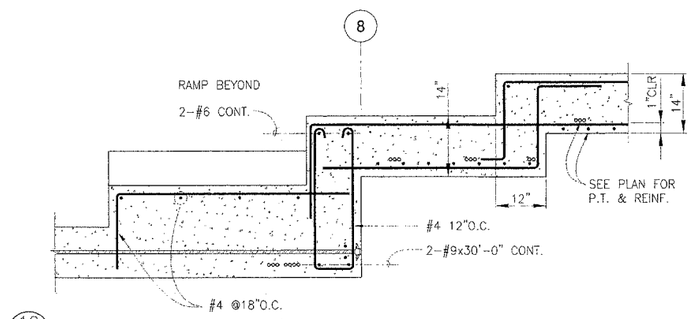
7 BEARING WALL DETAIL
SCALE: 1/2" = 1'-0"



8 ANCHOR LOCATION (PLAN)
SCALE: 1/2" = 1'-0"



9 TYPICAL OPENING PLAN
SCALE: 1/2" = 1'-0"



10
SCALE: 3/4" = 1'-0"

POST-TENSIONED SLAB NOTES

I. CONCRETE

A. AGGREGATE: ALL AGGREGATE SHALL BE GRANITE, CLAYTON OR LIMESTONE. MAXIMUM SIZE SHALL BE 1". AGGREGATE SHALL CONFORM TO ASTM C-33.

B. STRENGTH: MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 4000 PSI. MAXIMUM SLUMP SHALL BE 4 INCHES.

C. WEIGHT: CONCRETE SHALL WEIGH 150 PCF.

D. SPECIAL INSPECTION PROVISIONS OF UBC ARE REQUIRED.

E. PIPES OTHER THAN E.M.T. SHALL NOT BE EMBEDDED IN POST-TENSIONED CONCRETE SLAB, EXCEPT WHERE SPECIFICALLY APPROVED.

F. CONCRETE SHALL NOT CONTAIN CALCIUM CHLORIDES OR ANY OTHER CORROSIVE ADDITIVES.

G. THE CONCRETE SHALL HAVE PROVEN SHRINKAGE CHARACTERISTICS OF LESS THAN 0.040%.

II. MILD REINFORCING STEEL

A. MILD REINFORCING STEEL IN POST-TENSIONED SLABSSHALL BE GRADE 60 FOR #4 BARS AND LARGER AND GRADE 40 FOR #3 BARS.

B. ALL CONTINUOUS REINFORCING STEEL IN POST-TENSIONED SLABS SHALL BE LAPPED A MINIMUM OF 48 BAR DIAMETERS. LAPS SHALL BE STAGGERED A MINIMUM OF 4'-0".

C. MINIMUM TRIM BARS FOR MISCELLANEOUS OPENINGS (MORE THAN 8" BUT SMALLER THAN 12" IN ANY DIRECTION) NOT SHOWN ON POST-TENSIONED SLAB DRAWINGS, SHALL BE 1-#4 TOP AND BOTTOM, EXTENDING 2'-0" BEYOND OPENING.

D. SUBMIT REINFORCING STEEL SHOP DRAWINGS FOR REVIEW.

III. POST-TENSIONING

A. THE POST-TENSIONING SHALL UTILIZE AN ICC APPROVED MONOSTRAND SYSTEM. THE STRAND SHALL BE 1/2" NOMINAL DIAMETER, 7-WIRE, 270 KSI LOW RELAXATION, AND CONFORM TO ASTM A-416.

B. THE EFFECTIVE DESIGN STRESS OF THE PRESTESSING STEEL SHALL NOT EXCEED 175 KSI (26.8 KIPS). IN NO CASE SHALL THE STEEL BE TENSIONED ABOVE 80% (33.0 KIPS) OF THE ULTIMATE STRENGTH OF THE STRAND.

C. FORCES SHOWN ON THE DRAWINGS ARE MINIMUM EFFECTIVE FORCES AFTER ALL LOSSES.

D. SLIGHT DEVIATIONS IN SPACING OF SLAB TENDONS ARE PERMITTED WHERE REQUIRED TO AVOID OPENINGS WHICH ARE SPECIFICALLY LOCATED.

E. TENDONS SHALL CLEAR OPENINGS BY A MINIMUM OF 2-1/2". NEAR BEARING PLATES, CLEARANCES SHALL INCREASE TO PROVIDE 3" MINIMUM CONCRETE COVER TO EDGE OF PLATE. SLAB PENETRATIONS WHICH ARE LARGER THAN 3" IN DIAMETER AND WITHIN 24" OF BEARING PLATES SHALL BE FORMED WITH 3/16" THICK STEEL PIPES.

F. TENDONS ARE TO HAVE A PARABOLIC PROFILE AND ARE TO CONFORM TO THE CONTROL POINTS SHOWN ON THE PLANS AND SECTIONS. LOCATING THESE PROFILES APPLY TO THE CENTER OF THE DIMENSIONS 1/2 INCH DIAMETER STRANDS AND ARE MEASURED FROM THE SLAB OR BEAM SOFFIT. CONTROL POINTS OCCUR AT THE CENTER LINE OF SUPPORTS AND MIDWAY BETWEEN SUPPORTS U.O.N. WHERE PROFILE POINTS OF BANDED AND DISTRIBUTED TENDON CONFLICT, THE BANDED TENDONS TAKE PRECEDENCE.

G. ALL TENDONS SHALL BE HELD IN PLACE BY MILD REINFORCING SUPPORT BARS AT 3'-6" O.C. MAXIMUM. THE SUPPORT BAR SHALL BE #3 OR LARGER FOR DISTRIBUTED TENDONS AND #4 OR LARGER FOR BANDED TENDONS. SUPPORT OVER DROP PANELS SHALL BE #6 OR LARGER. PLASTIC TIPPED CHAIRS ARE TO BE PLACED AT EACH GROUP OF TENDONS AT THE SUPPORT BAR AND TIED SECURELY. CONTINUOUS SLAB BOLSTERS MAY BE USED AT CONTROL POINTS OF 1-1/4" OR LESS TO MAINTAIN MINIMUM COVER, OR TENDONS MAY BE CHAIRED DIRECTLY WITH SUPPORT BARS PLACED ON TOP.

H. IF HOSES ARE USED FOR CONCRETE PLACEMENT, IN NO CASE SHALL THE HOSES BE ALLOWED TO REST ON THE TENDONS. EXTRA CARE SHALL BE TAKEN TO PREVENT WORKMEN FROM WALKING ON, OR OTHERWISE DISPLACING TENDONS AND REINFORCING STEEL DURING CONCRETE PLACING.

I. STRESSING SHALL NOT BE STARTED UNTIL CONCRETE HAS ATTAINED A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.

J. RECORDS OF ALL JACKING FORCES AND ELONGATIONS SHALL BE SUBMITTED TO THE ENGINEER. TENDONS SHALL NOT BE CUT OFF UNTIL THESE RECORDS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT AND THE ENGINEER OR THEIR AUTHORIZED REPRESENTATIVE AND DETERMINED TO BE IN COMPLIANCE WITH THE LATEST UBC EDITION OR OTHER PREVAILING CODE.

K. SPACING OF DISTRIBUTED TENDONS SHALL NOT EXCEED 4'-0".

L. OPENINGS, BLOCKOUTS, CONSTRUCTION JOINTS, RECESSES AND SLAB PENETRATIONS NOT SHOWN ON STRUCTURAL DRAWINGS MAY BE MADE ONLY WITH APPROVAL OF THE ARCHITECT AND THE ENGINEER.

M. ALL SLAB EDGES, OPENING SIZES AND LOCATIONS SHALL BE VERIFIED. WHERE CONFLICTS ARISE, NOTIFY ARCHITECT AND RESOLVE BEFORE PROCEEDING WITH APPLICABLE WORK.

N. POWER DRIVEN FASTENERS MAY NOT BE USED IN FINISHED SLAB UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT AND THE ENGINEER.

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REGISTERED PROFESSIONAL ENGINEER ROBERT RODRIGO SANTOS No. 32984 Exp. 6/30/08 STRUCTURAL CIVIL STATE OF CALIFORNIA

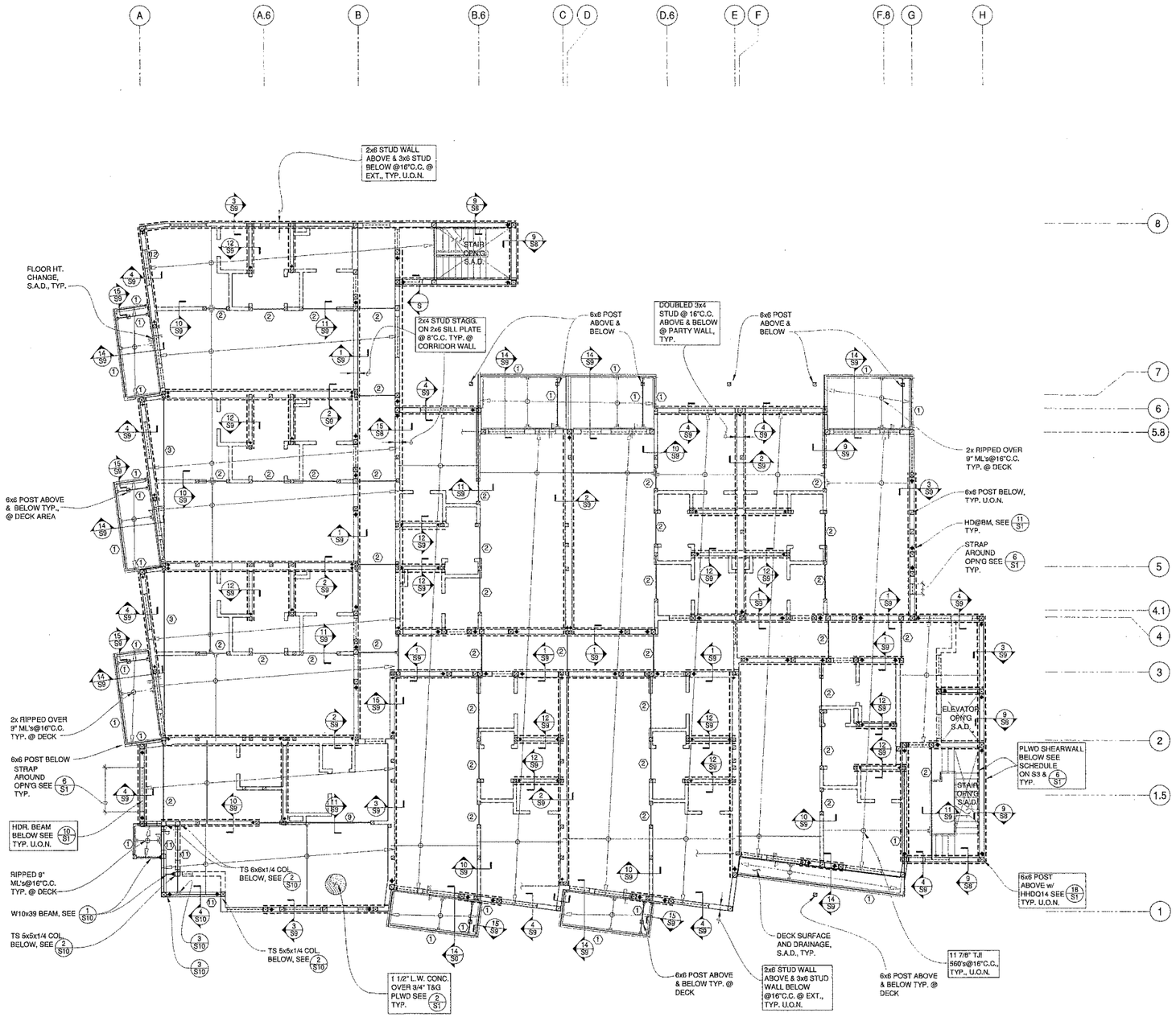
POST-TENSIONED SLAB DETAILS AND NOTES

NEW CONDOMINIUM BUILDING

880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

Date:	02/21/07
Scale:	AS NOTED
Drawn By:	M.C.
Job No:	6559
Sheet	S3.2
Of 13 Sheets	

RODRIGO SANTOS
XREF:
36x24 02/05/07 k.d.



THIRD FLOOR FRAMING PLAN

SCALE: 1/8"=1'-0"

NORTH

BEAM SCHEDULE

MARK	DESCRIPTION
1	3 1/2x12 PSL
2	5 1/4x12 PSL
3	5 1/4x12 PSL CONT.
4	7x12 PSL ALIGN w/ WALL
5	3 1/2x9 PSL
6	2-1/2" ML
8	2-9" ML
9	7x12 PSL
10	5 1/4x12 PSL UNDER WALL
11	W10x39
12	5 1/4x12 PSL HDR
13	3 1/2x9 PSL BELOW

REVISIONS	BY

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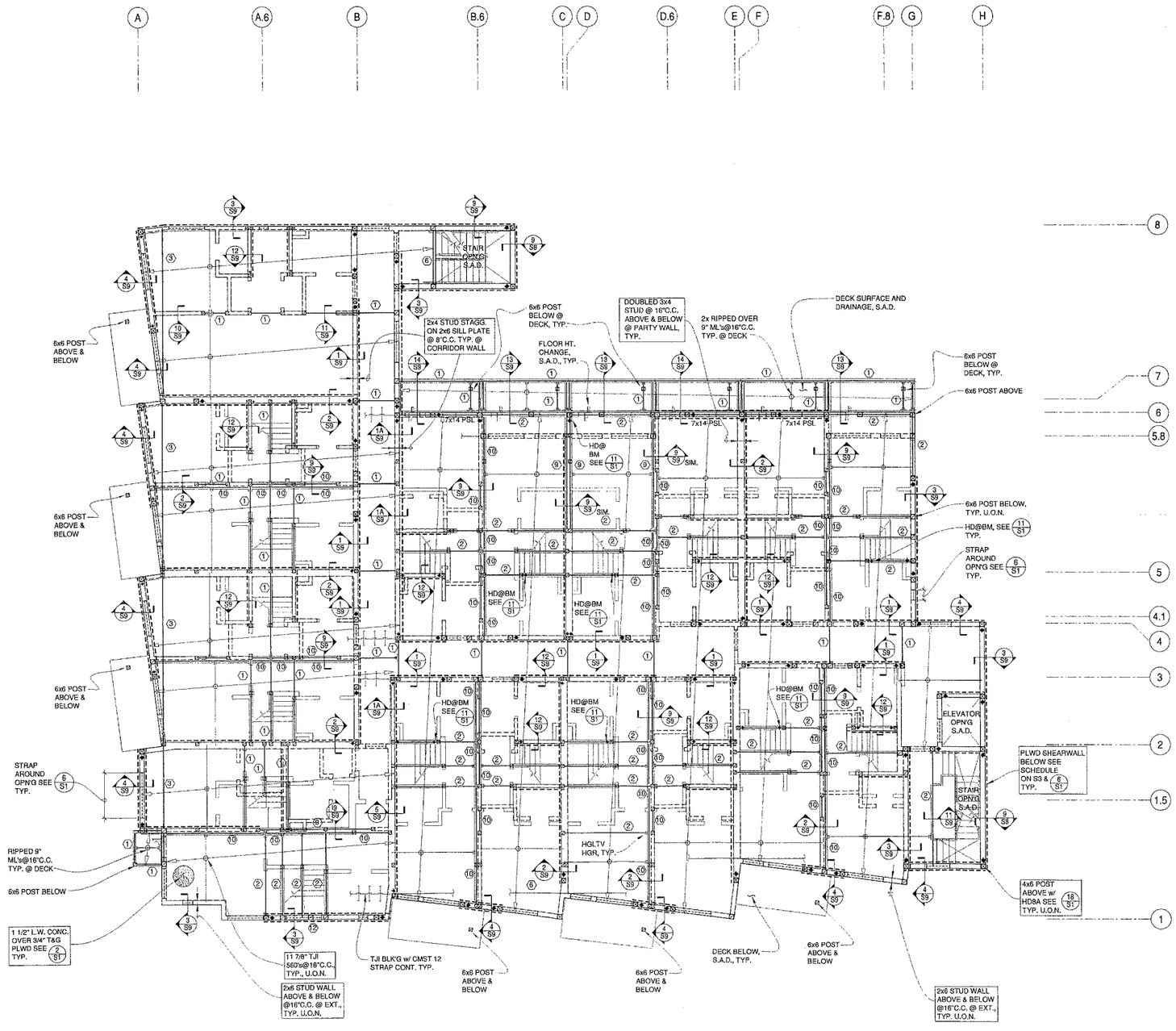
REGISTERED PROFESSIONAL ENGINEER RODRIGO SANTOS NO. S3084 Exp. 6/30/08 STATE OF CALIFORNIA CIVIL

NEW CONDOMINIUM BUILDING

880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

THIRD FLOOR FRAMING PLAN

Date:	02/21/07
Scale:	1/8"=1'-0"
Drawn By:	M.C.
Job No:	6559
Sheet	S4
Of	13 Sheets



FOURTH FLOOR FRAMING PLAN

SCALE: 1/8"=1'-0"

NORTH

BEAM SCHEDULE	
MARK	DESCRIPTION
1	3 1/2x12 PSL
2	5 1/4x12 PSL
3	5 1/4x12 PSL CONT.
4	7x12 PSL ALIGN w/ WALL
5	3 1/2x9 PSL
6	2-12" ML
8	2-9" ML
9	7x12 PSL
10	5 1/4x12 PSL UNDER WALL
11	W10x39
12	5 1/4x12 PSL HDR
13	3 1/2x9 PSL BELOW

REVISIONS	BY

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REGISTERED PROFESSIONAL ENGINEER RODRIGO SANTOS No. S3284 Exp. 6/30/08 STRUCTURAL STATE OF CALIFORNIA

FOURTH FLOOR FRAMING PLAN

NEW CONDOMINIUM BUILDING
880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

Date:	02/21/07
Scale:	1/8"=1'-0"
Drawn By:	M.C.
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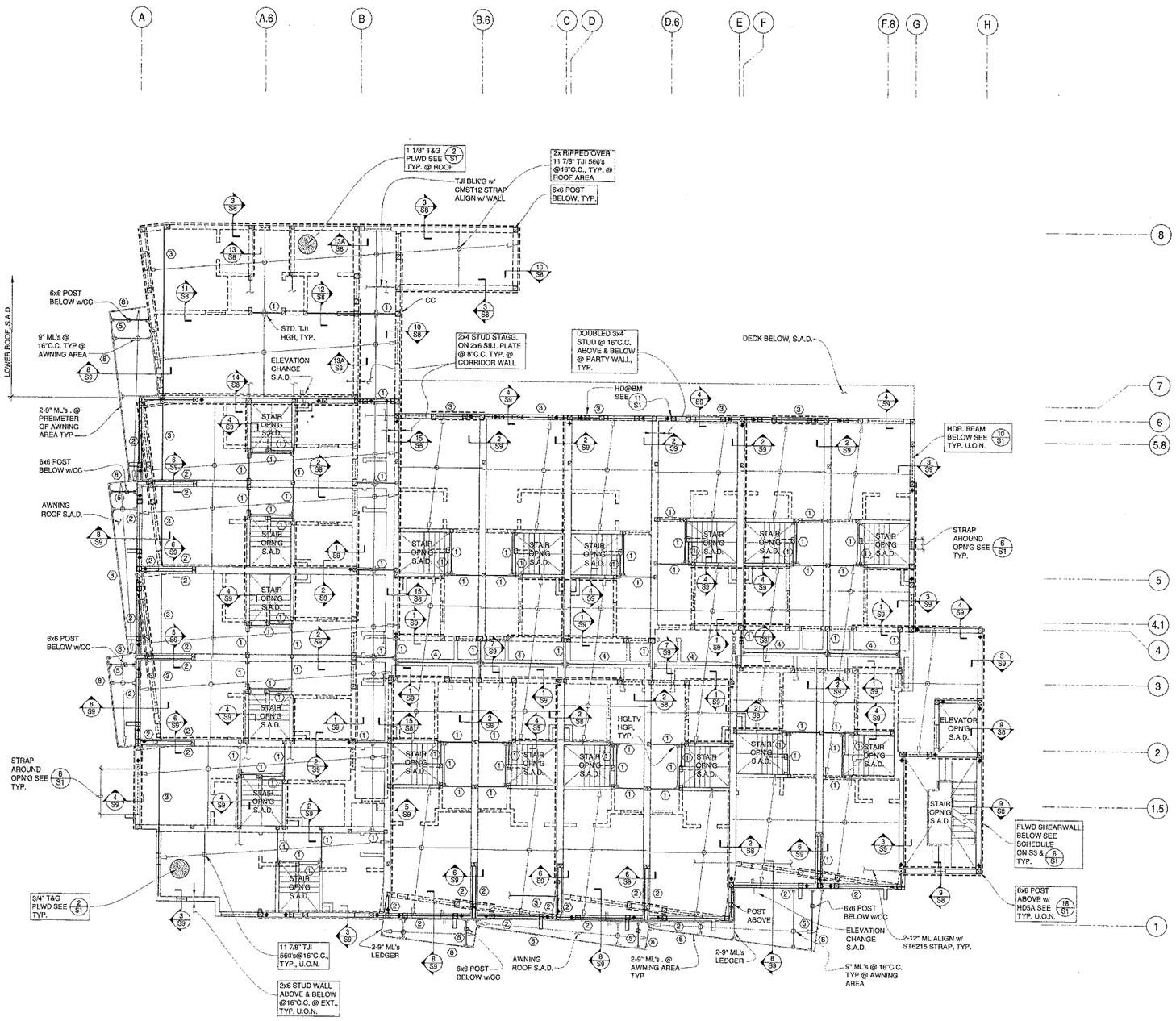

FIFTH FLOOR AND LOWER ROOF FRAMING PLAN

SCALE: 1/8"=1'-0"

NORTH

BEAM SCHEDULE

MARK	DESCRIPTION
1	3 1/2x12 PSL
2	5 1/4x12 PSL
3	5 1/4x12 PSL CONT.
4	7x12 PSL ALIGN w/ WALL
5	3 1/2x9 PSL
6	2-1/2" ML
8	2-9" ML
9	7x12 PSL
10	5 1/4x12 PSL UNDER WALL
11	W10x39
12	5 1/4x12 PSL HDR
13	3 1/2x9 PSL BELOW

REVISIONS	BY

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REGISTERED PROFESSIONAL ENGINEER RODRIGO SANTOS NO. S2584 Exp. 6/30/08 STRUCTURAL STATE OF CALIFORNIA

FIFTH FLOOR FRAMING PLAN

NEW CONDOMINIUM BUILDING
880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

Date:	02/21/07
Scale:	1/8"=1'-0"
Drawn By:	M.C.
Job No:	6559
Sheet	S6
Of	13 Sheets

RODRIGO SANTOS

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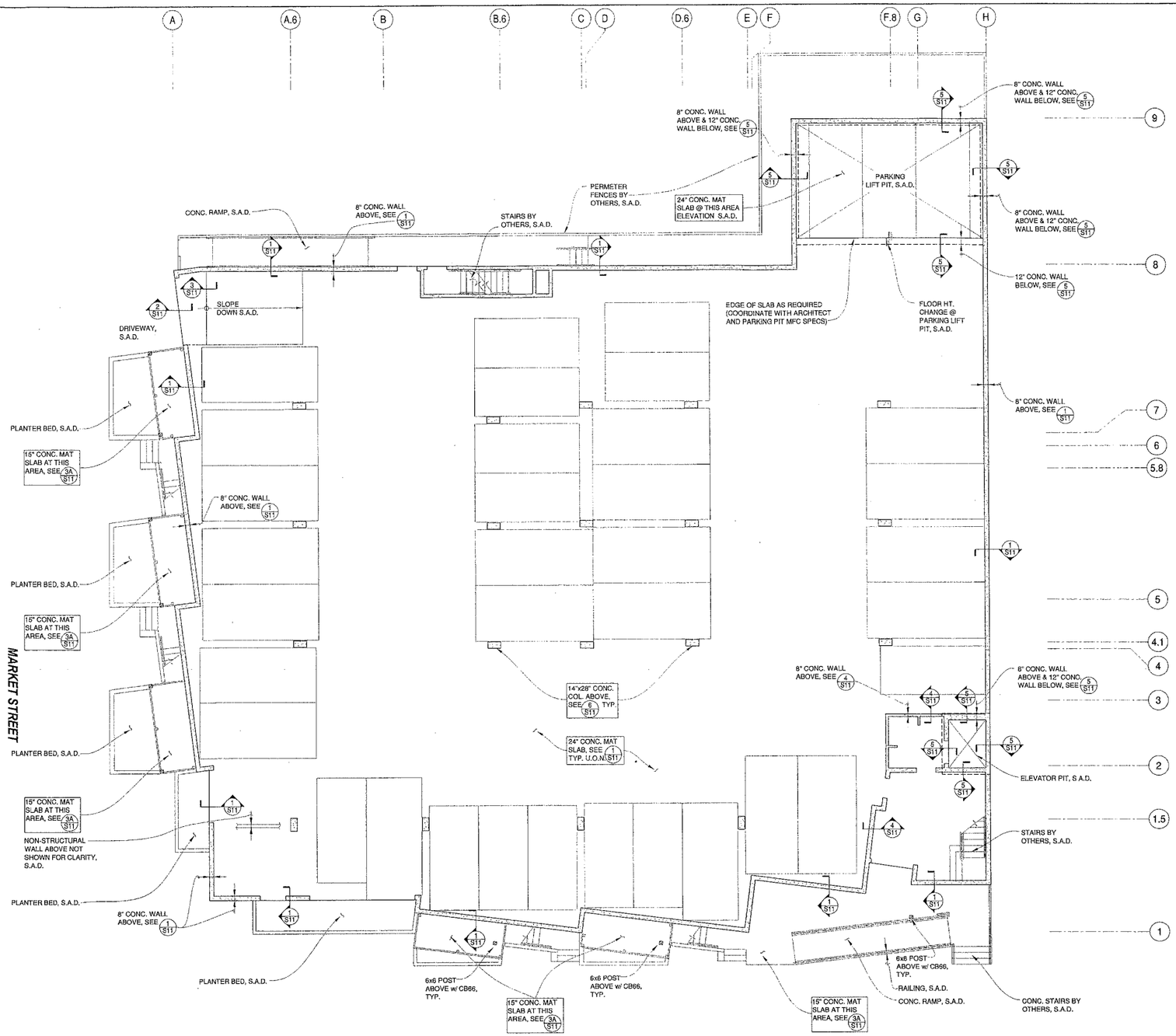
XREF:

35x24 12/01/06 S.T.B. - FRAMING



GROUND FLOOR AND FOUNDATION PLAN

SCALE: 1/8"=1'-0"

REVISIONS	BY

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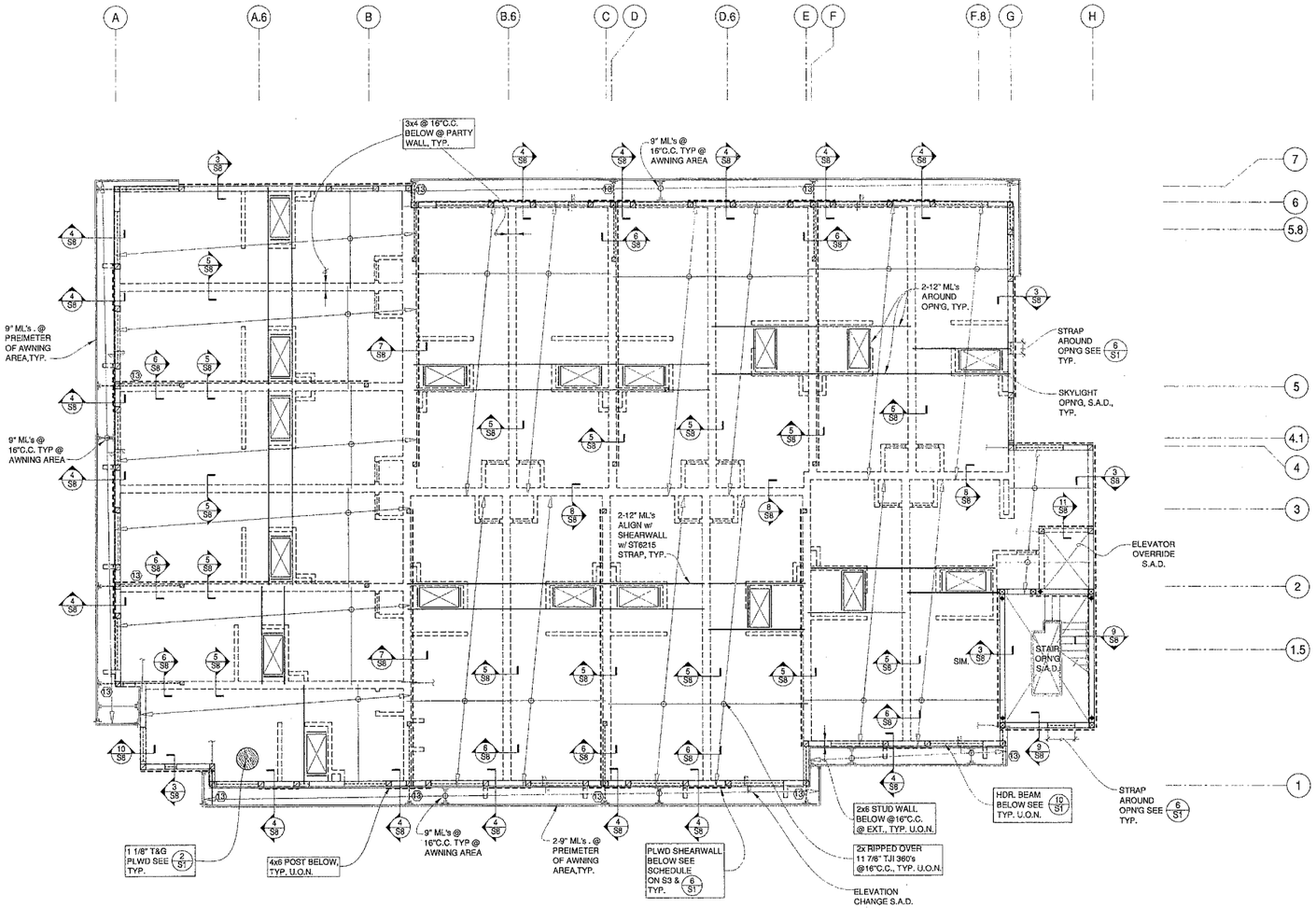
RODRIGO SANTOS
No. S3984
Exp. 6/30/08
STRUCTURAL
STATE OF CALIFORNIA

GROUND FLOOR AND FOUNDATION PLAN

NEW CONDOMINIUM BUILDING
880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

Date:	02/21/07
Scale:	1/8"=1'-0"
Drawn By:	M.C.
Job No:	6559
Sheet	S2
Of	13 Sheets

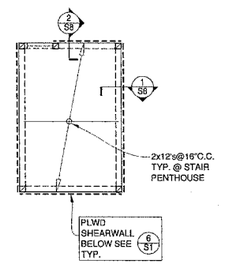
BEAM SCHEDULE	
MARK	DESCRIPTION
①	3 1/2x12 PSL
②	5 1/4x12 PSL
③	5 1/4x12 PSL CONT.
④	7x12 PSL ALIGN w/ WALL
⑤	3 1/2 x 9 PSL
⑥	2-12" ML
⑧	2-9" ML
⑨	7x12 PSL
⑩	5 1/4x12 PSL UNDER WALL
⑪	W10x39
⑫	5 1/4x12 PSL HDR
⑬	3 1/2x9 PSL BELOW



HIGH ROOF FRAMING PLAN

SCALE: 1/8"=1'-0"

NORTH



STAIR PENTHOUSE ROOF FRAMING PLAN

SCALE: 1/8"=1'-0"

NORTH

REVISIONS	BY

SANTOS & URRUTIA INC
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REGISTERED PROFESSIONAL ENGINEER RODRIGO SANTOS No. 02944 Exp. 6/30/08 STRUCTURAL STATE OF CALIFORNIA

HIGH ROOF FRAMING PLAN AND
STAIR PENTHOUSE ROOF FRAMING PLAN

NEW CONDOMINIUM BUILDING
880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

Date:	02/21/07
Scale:	1/8"=1'-0"
Drawn By:	M.C.
Job No:	6559
Sheet	S7
Of	13 Sheets

RODRIGO SANTOS

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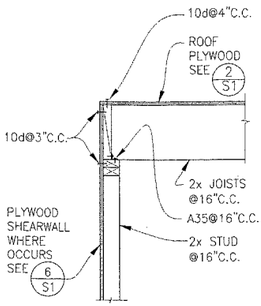
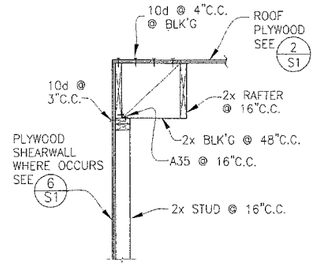
XREF:

36x24 12/01/05 S.T.B. - FRAMING



1 — SCALE: 3/4" = 1'-0"



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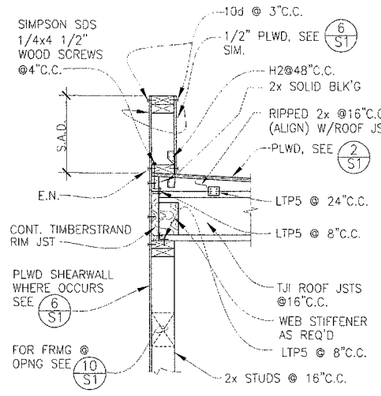

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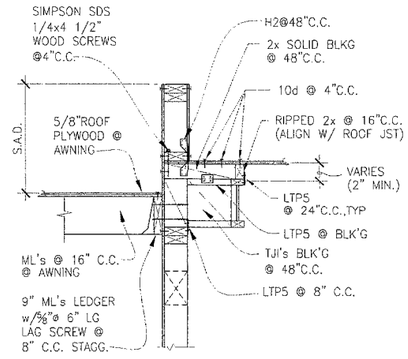

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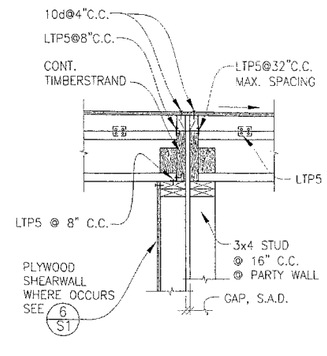
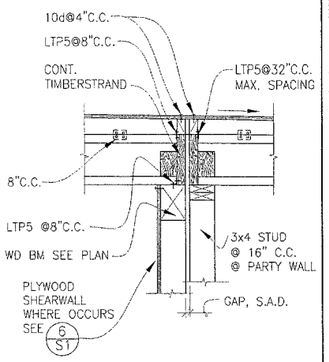


5 PARTY WALL — SCALE: 3/4" = 1'-0"



6 PARTY WALL — SCALE: 3/4" = 1'-0"

7 PARTY WALL — SCALE: 3/4" = 1'-0"

8 PARTY WALL — SCALE: 3/4" = 1'-0"

9 — SCALE: 3/4" = 1'-0"

10 — SCALE: 3/4" = 1'-0"

11 — SCALE: 3/4" = 1'-0"

12 — SCALE: 3/4" = 1'-0"

13 — SCALE: 3/4" = 1'-0"

13A STAGG. STUD @ CORRIDOR WALL — SCALE: 3/4" = 1'-0"

14 — SCALE: 3/4" = 1'-0"

15 STAGG. STUD @ CORRIDOR WALL — SCALE: 3/4" = 1'-0"

REVISIONS	BY

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REGISTERED PROFESSIONAL ENGINEER RODRIGO SANTOS NO. S2984 Exp. 6/30/08 STRUCTURAL STATE OF CALIFORNIA

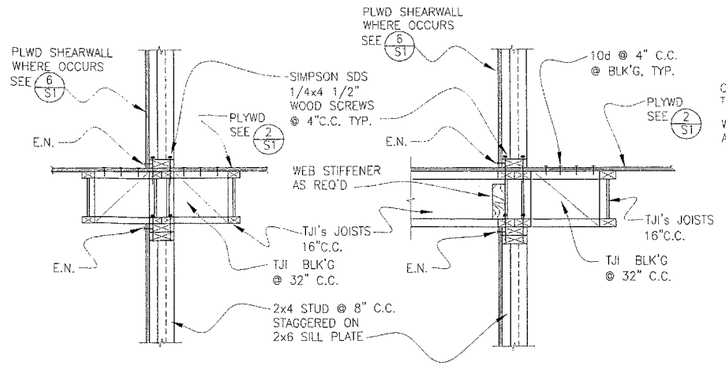
FOUNDATION DETAILS

NEW CONDOMINIUM BUILDING

880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

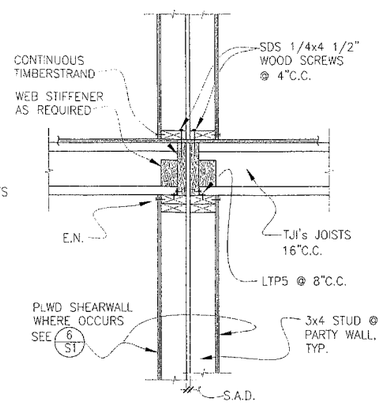
Date: 02/21/07
Scale: 3/4"=1'-0"
Drawn By: M.C.
Job No: 6559
Sheet S8
Of 13 Sheets

RODRIGO SANTOS
XREF:
36x24 01/03/07

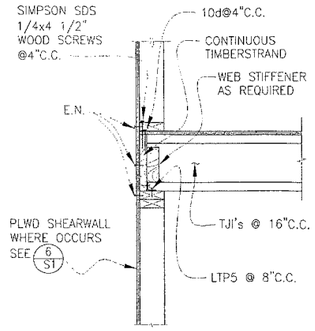


1 — STAGG. STUD @ CORRIDOR WALL
SCALE: 3/4" = 1'-0"

1A — STAGG. STUD @ CORRIDOR WALL
SCALE: 3/4" = 1'-0"



2 — PARTY WALL
SCALE: 3/4" = 1'-0"



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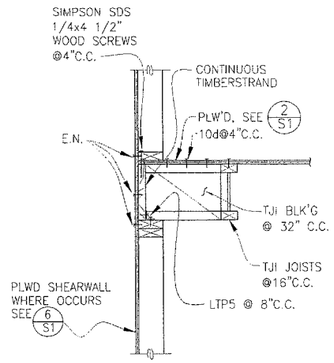
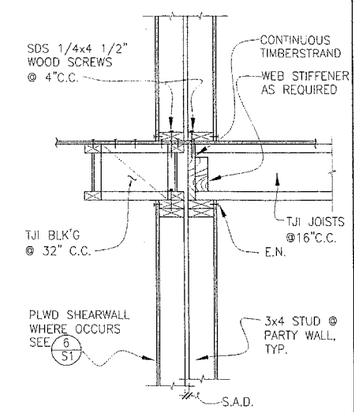


4 —
SCALE: 3/4" = 1'-0"



5 — PARTY WALL
SCALE: 3/4" = 1'-0"

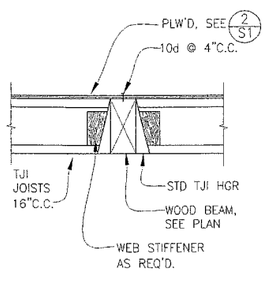
6 — WD BEAM INSIDE PARTY WALL
SCALE: 3/4" = 1'-0"

7 — WD BEAM INSIDE PARTY WALL
SCALE: 3/4" = 1'-0"

8 —
SCALE: 3/4" = 1'-0"

9 — WD BEAM INSIDE PARTY WALL
SCALE: 3/4" = 1'-0"

10 — NON-SHEAR WALL
SCALE: 3/4" = 1'-0"



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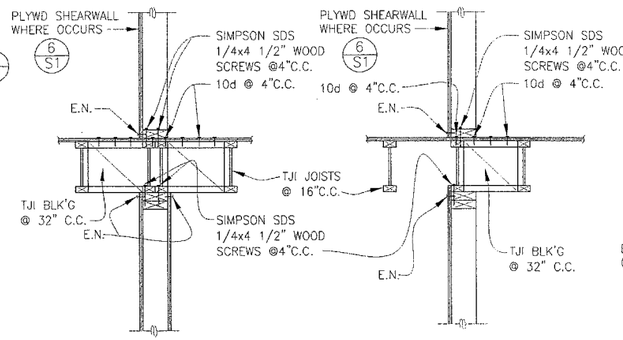

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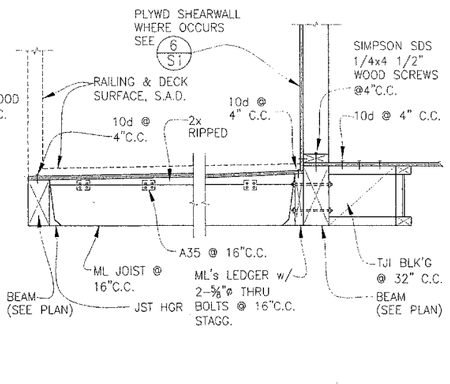

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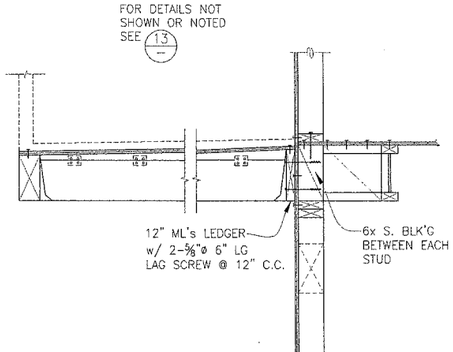

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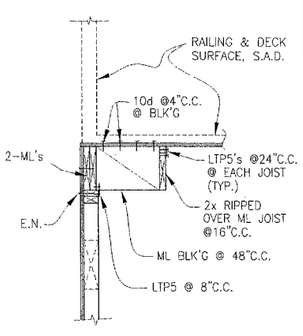

15 —
SCALE: 3/4" = 1'-0"

RODRIGO SANTOS

XREF:

36x24 01/03/07

REVISIONS	BY

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FAX (415) 642-7590

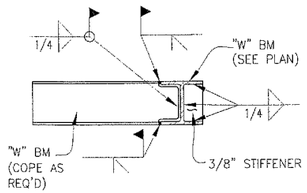
REGISTERED PROFESSIONAL ENGINEER RODRIGO SANTOS NO. 32984 Exp 9/30/08 STRUCTURAL CIVIL STATE OF CALIFORNIA

FOUNDATION DETAILS

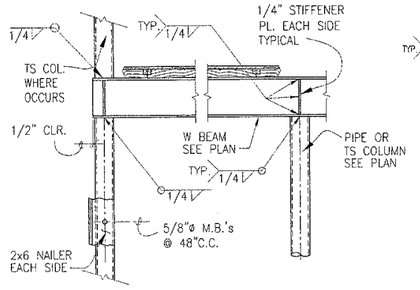
NEW CONDOMINIUM BUILDING

880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

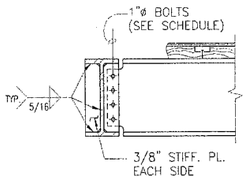
Date:	02/21/07
Scale:	3/4"=1'-0"
Drawn By:	M.C.
Job No:	6559
Sheet	S9
Of	13 Sheets



1 SCALE: 3/4" = 1'-0"

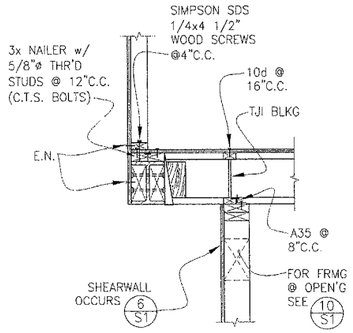


2 TYP. STL BM TO TS COL. CONN.
SCALE: 3/4" = 1'-0"

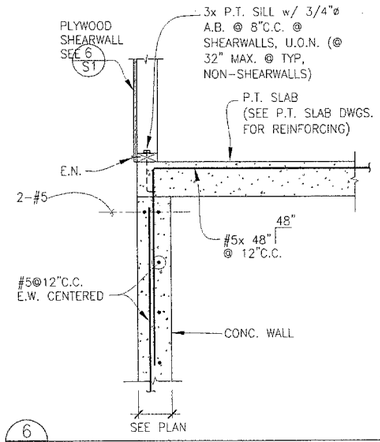


SCHEDULE	
STEEL BM SIZE	NUMBER OF 1"ø A490X H.S BOLTS
W8x & W10x	2
W12x & W14x	3

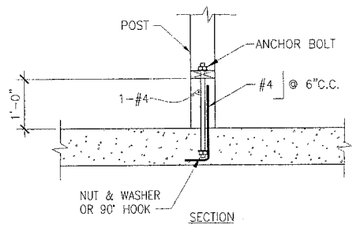
3 SCALE: 3/4" = 1'-0"



4 SCALE: 3/4" = 1'-0"

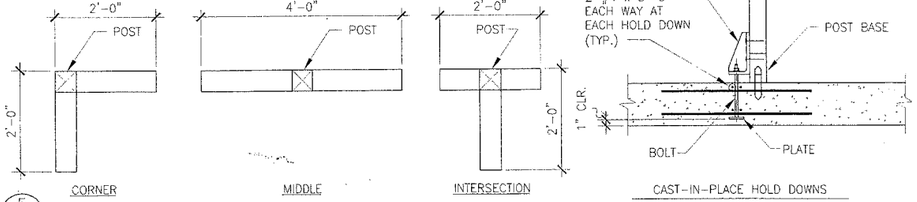


6 SCALE: 3/4" = 1'-0"

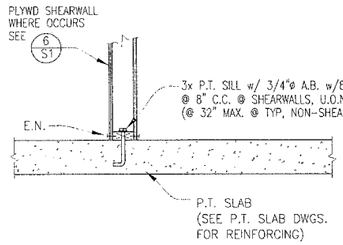


TYP. HOLD DOWN-P.T. SLAB CONNECTION

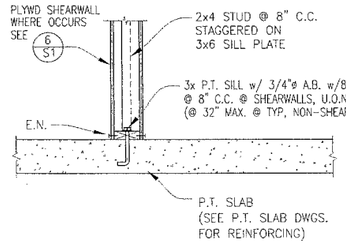
"HD"	"PLATE"	"BOLT"
HD2	1/4 x 3 x 8	5/8"ø
HD5	1/4 x 3 x 3	3/4"ø
HD6	3/8 x 3 x 3	1"ø
HD8	3/8 x 3 1/2 x 3 1/2	1"ø
HD10	1/2 x 4 x 4	1"ø
HD14	1/2 x 5 x 5	1 1/8"ø
HD15	1/2 x 6 x 6	1 1/8"ø



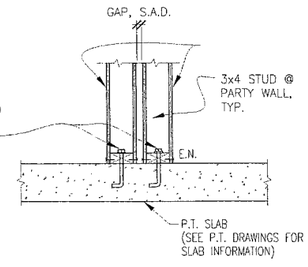
5 SCALE: 3/4" = 1'-0"



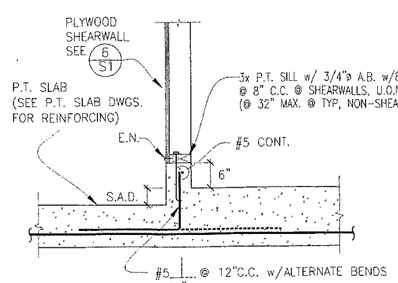
7 SCALE: 3/8" = 1'-0"



8 STAGG. STUD @ CORRIDOR WALL
SCALE: 3/4" = 1'-0"



9 PARTY WALL
SCALE: 3/4" = 1'-0"



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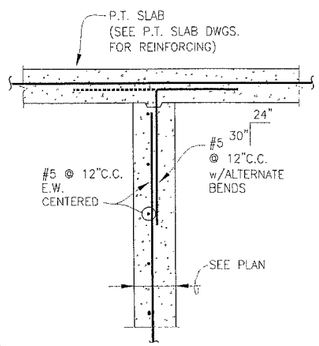
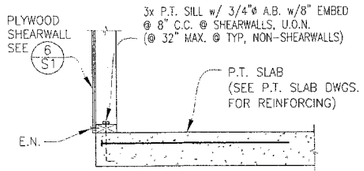
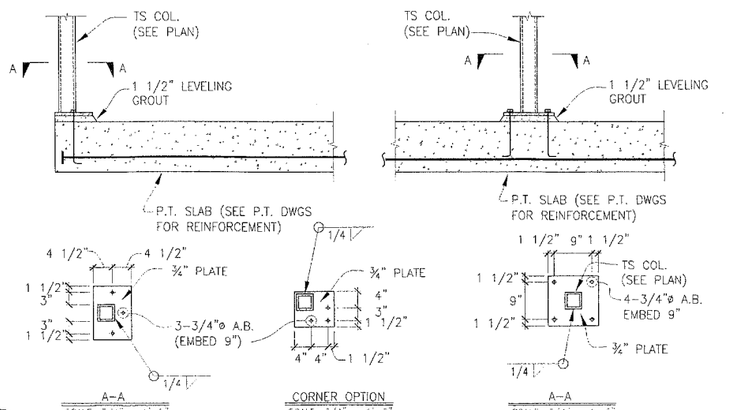


11 SCALE: 3/4" = 1'-0"



12 SCALE: 3/4" = 1'-0"



13 SCALE: 3/4" = 1'-0"

RODRIGO SANTOS

XREF:

36x24 01/03/07

REVISIONS	BY

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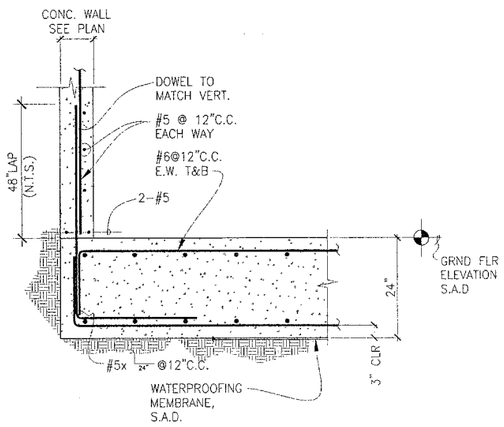
FAX (415) 642-7590

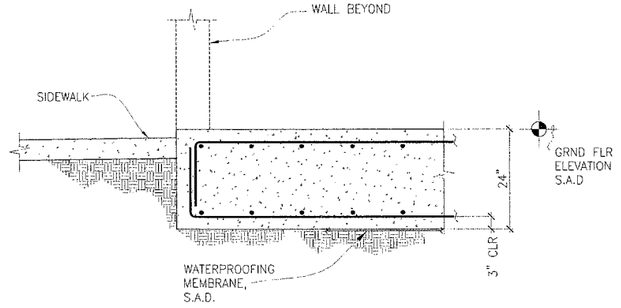
FOUNDATION DETAILS

NEW CONDOMINIUM BUILDING
880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

Date:	02/21/07
Scale:	3/4"=1'-0"
Drawn By:	M.C.
Job No:	6559
Sheet	S10
Of 13 Sheets	



1 — SCALE: 3/4" = 1'-0"



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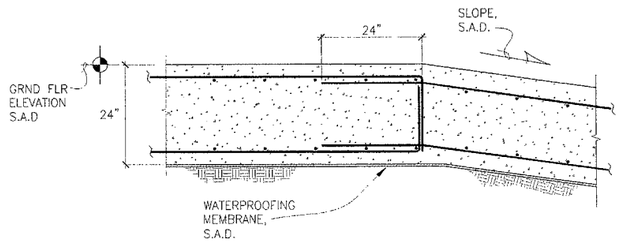
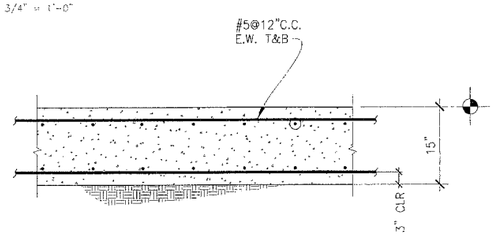
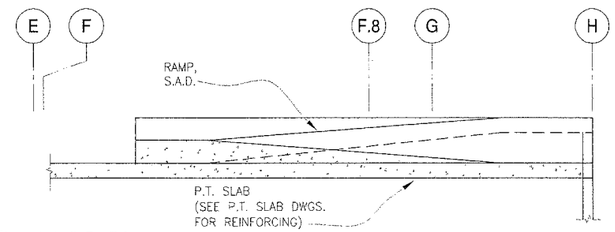


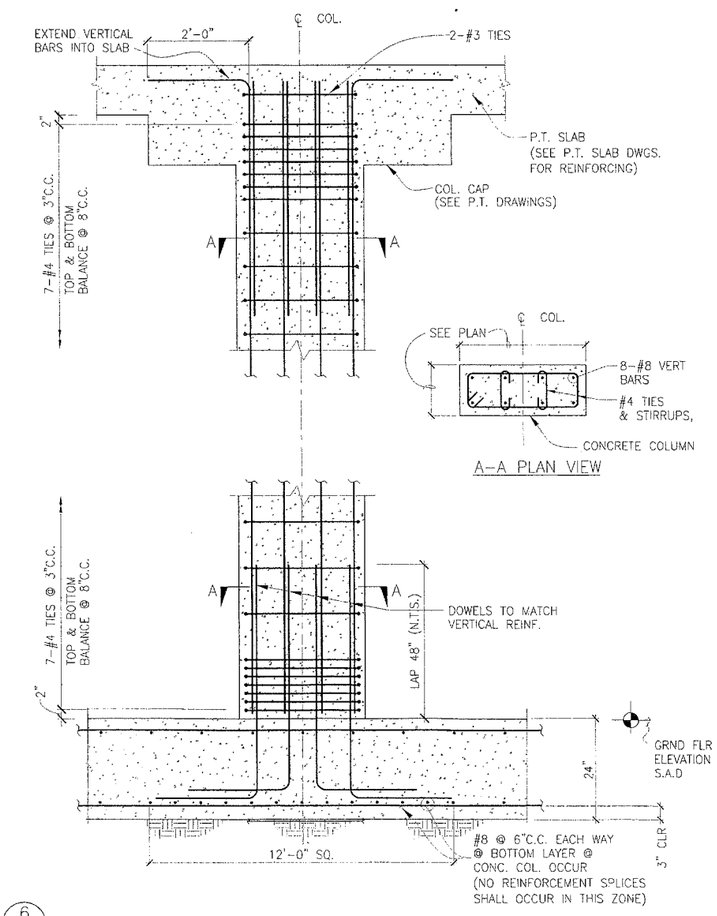
3 — SCALE: 3/4" = 1'-0"



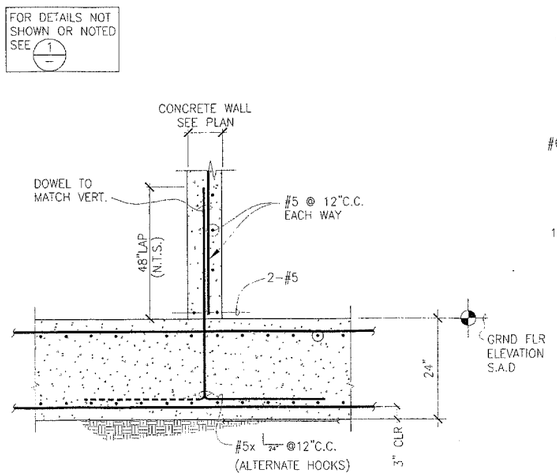
3A — SCALE: 3/4" = 1'-0"



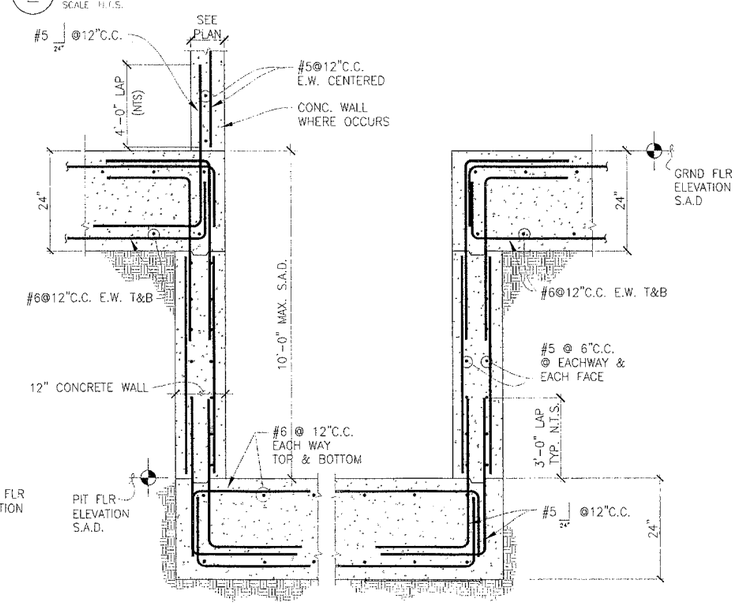
5A RAMP ELEVATION — SCALE: N.T.S.



6 — SCALE: 3/4" = 1'-0"



4 — SCALE: 3/4" = 1'-0"



5 ELEVATOR/PARKING PIT DETAIL — SCALE: 3/4" = 1'-0"

REVISIONS	BY

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RODRIGO SANTOS — REGISTERED PROFESSIONAL ENGINEER — STRUCTURAL — NO. S2984 — Exp. 6/30/08 — STATE OF CALIFORNIA

FOUNDATION DETAILS

NEW CONDOMINIUM BUILDING
880 WEST MacARTHUR BOULEVARD
OAKLAND, CALIFORNIA

Date:	02/21/07
Scale:	3/4"=1'-0"
Drawn By:	M.C.
Job No:	6559
Sheet	S11
	Of 13 Sheets

XREF:
XREF:
36x24 01/03/07/

EXHAUST FAN SCHEDULE

MARK	MFR.	MODEL NUMBER	DUTY: EXHAUST	DUTY: SUPPLY	DUTY: TRANSFER	QUANTITY	SERVICE	FAN: CFM	FAN: TSP	FAN: RPM	MOTOR: RPM	MOTOR: BHP	MOTOR: HP	MOTOR: FLA	ELECTRICAL: VOLTAGE	ELECTRICAL: PHASE	ELECTRICAL: HERTZ	WT. (LBS)	NOTES
EF 1	PANASONIC	FV-11VFL1	X	–	–	SEE PLANS	APARTMANT TOILETS	75	0.2–0.4	1,240	–	–	35 watts	–	120	1	60	19	1 2 3 4
EF 2	FANTECH	FR110	X	–	–	SEE PLANS	APARTMENT DRYERS	80	0.8	2,761	–	–	78 watts	0.72	120	1	60	–	5 7
EF 3	FANTECH	RVF4XL	X	–	–	SEE PLANS	APARTMENT DRYERS	80	0.8	2,690	–	–	92 watts	0.84	120	1	60	–	6 7
EF 4	GREENHECK	BSQ-300-50	X	–	–	1	PARKING GARAGE	11,550	0.75	757	–	3.73	5	–	208	3	60	537	8 9 10

NOTES:

1. CEILING MOUNTED COMBINATIONS FAN/GRILL EXHAUST.
2. INTERLOCK WITH LIGHT SWITCH
3. PROVIDE BACKDRAFT DAMPER.
4. PROVIDE WITH FLEXIBLE DUCT CONNECTIONS.
5. DRYER BOOSTER FAN (CEILING MOUNTED EXPOSED WITHIN APARTMENT'S CLOSET).
6. DRYER BOOSTER FAN (EXTERIOR WALL MOUNTED).
7. EQUIPPED WITH DRYER BOOSTING KIT AND SECONDARY LINT FILTER TRAP.
8. IN LINE EXHAUST FAN.
9. PROVIDE SPRING VIBRATION ISOLATORS.
10. CONTROLLED BY WALL MOUNTED CO MONITORING SYSTEM.

AIR DEVICE SCHEDULE

MARK	NECK SIZE	DIFFUSER FACE OR CEILING GRID SIZE (INCHES)	CFM RANGE	TYPE: DIFFUSER	TYPE: REGISTER	TYPE: GRILLE	TYPE: LOUVER	MOUNTING: LAY-IN	MOUNTING: SURFACE	DUTY: SUPPLY	DUTY: RETURN	DUTY: EXHAUST	DUTY: TRANSFER	MFR.	MODEL NO.	NOTES
EG-1	48"x30"	49-3/4"x31-3/4"	2,310	–	–	X	–	–	X	–	X	X	–	TITUS	350RL	1 2
DL-1	36"x96"	39"x99"	11,550	–	–	–	X	–	X	X	–	–	–	GREENHECK	EDK-602	1 2 3

NOTES:

1. NECK SIZE AND CFM SHALL BE AS INDICATED ON DRAWINGS M2.0 – M2.4 AT EACH GRILL.
2. SEE FLOOR PLANS FOR LOCATION.
3. DRAINABLE HEAD MEMBER.

WALL HEATER SCHEDULE

MARK	MFR. MODEL #	SERVICE	QUANTITY	ELECTRICAL: WATTS	ELECTRICAL: AMPS	ELECTRICAL: V/PH/HZ	DIMENSIONS W x H x D (IN)	NOTES
WH 1	CADET-THE REGISTER PLUS RMC162W	RESIDENTIAL UNITS	SEE PLANS	[525], 1200, 1500, 2000	[2.52], 5.77, 7.21, 9.62	208/2/60	12.625"x8.875"x4.0"	1 2 3 4
WH 2	CADET-THE REGISTER PLUS RMC162W	RESIDENTIAL UNITS	SEE PLANS	525, [1200], 1500, 2000	2.52, [5.77], 7.21, 9.62	208/2/60	12.625"x8.875"x4.0"	1 2 3 4
WH 3	CADET-THE REGISTER PLUS RMC202W	RESIDENTIAL UNITS	SEE PLANS	525, 1200, [1500], 2000	2.52, 5.77, [7.21], 9.62	208/2/60	12.625"x8.875"x4.0"	1 2 3 4
WH 4	CADET-THE REGISTER PLUS RMC208W	RESIDENTIAL UNITS	SEE PLANS	525, 1200, 1500, [2000]	2.52, 5.77, 7.21, [9.62]	208/2/60	12.625"x8.875"x4.0"	1 2 3 4

NOTES:

1. WALL MOUNTED WALL HEATER.
2. PROVIDE WALL MOUNTED THERMOSTAT.
3. SEE FLOOR PLAN FOR TOTAL QUANTITIES.
4. SEE ELECTRICAL PLANS FOR CONNECTIONS & REQUIREMENTS

CMC TABLE 6-5 PART II

TRAPEZE-TYPE SUPPORTS

MAXIMUM DIAMETER OF ROUND DUCT OR SIDE OF RECTANGULAR DUCT	HORIZONTAL SUPPORT ANGLE	HANGER	NOTES
36"	1-1/2" x 1-1/2" x 1/8"	1/4" ROUND ROD OR 1" x 1" x 1/8" ANGLE	1
48"	2" x 2" x 1/8"	1/4" ROUND ROD OR 1" x 1" x 1/8" ANGLE	1
60"	2" x 2" x 1/8"	5/16" ROUND ROD OR 1" x 1" x 1/8" ANGLE	1
84"	2" x 2" x 1/8"	3/8" ROUND ROD OR 1" x 1" x 1/8" ANGLE	1

NOTES:

1. SPACED NOT MORE THAN 8 FEET ON CENTER.

Z-SHAPE ACOUSTICAL DUCT SCHEDULE

SIZE NUMBER	MAXIMUM CFM	LOUVER FACE SIZE (INCHES): WIDTH	LOUVER FACE SIZE (INCHES): HEIGHT	TRANSFER GRILLE SIZE (INCHES): NECK SIZE	TRANSFER GRILLE SIZE (INCHES): MODULE SIZE	RECOMMENDED LENGTH OF Z-DUCT (INCHES)	LOUVER FREE AREA (SQ. FT.)	NOTES
4-14	253	15 1/2"	7 1/2"	14x6	15 3/4"x7 3/4"	48	0.25	1 2 3 4

NOTES:

1. Z-SHAPE DUCT SHALL BE "SONAVENTS" OR APPROVED EQUAL.
2. LOUVER SHALL BE "GREENHECK" MODEL ESU-130 OR APPROVED EQUAL.
3. INTERIOR TRANSFER GRILLE SHALL BE "TITUS" MODEL 23RL OR EQUAL.
4. SEE PLANS FOR LOCATION OF EACH AIR DEVICE.

GARAGE EXHAUST CALCULATIONS PER CBC 1202.2.7

TAG	LEVEL	NUMBER OF PARKING STALLS	VEHICLES IN MOTION (2.5%)	REQUIRED EXHAUST (14,000 CFM/VEHICLE)	EXHAUST CFM	SUPPLY CFM	NOTES
EF-3	1ST FLOOR	33	33X0.025=0.825	14,000 CFM/CAR x 0.825 CARS = 11,550 CFM	-11,550		1 2 3 4
VENTILATION OPENING						-11,550	

NOTES:

1. CALCULATION IN ACCORDANCE TO THE 2001CALIFORNIABULDING CODE (CBC).
2. CARBON MONOXIDE SENSORS TO COVER APPROX. 6,000 SQUARE FEET 12,683 Sq Ft./6,000 SQ Ft/Sensor = 3 Sensors
3. THE GARAGE VENTILATION EXHAUST FAN SHALL MAINTAIN A MAXIMUM AVERAGE CONCENTRATION OF CARBON MONOXIDE OF NOT GRATER THAN 200 PARTS PER MILLION FOR A PERIOD OF NOT EXCEDING ONE HOUR. CBC 1202.2.7
4. IN THE CASE THE CONCENTRATION REACHES AVOBE 200 PPM, THE AUDIBLE/VISUAL ALARM WILL BE ACTIVATED AND THE FAN WILL STAY ON UNTIL NONE OF THE CO SENSORS READS 50 PPM OR OVER.

MECHANICAL SYMBOLS

SYMBOL & ABBREVIATION	DESCRIPTION
SA/SUP	SUPPLY AIR (RISE/DROP)
RA/RET	RETURN AIR DUCT (RISE/DROP)
EA/EXH	EXHAUST AIR DUCT (RISE/DROP)
CD/SR	CEILING DIFFUSER/SUPPLY REGISTER (ARROWHEAD REPRESENTS NUMBER OF THROW)
RR/RG	RETURN REGISTER/GRILLE
ER/EG	EXHAUST REGISTER/GRILLE
	RECTANGULAR DUCT ELBOW WITH TURNING VANES
FC	FLEXIBLE CONNECTION
MVD	MANUAL VOLUME DAMPER
FD	FIRE DAMPER
(L)	DUCT LINING (1" THICK UNLESS OTHERWISE NOTED)
	SINGLE LINE DUCT BRANCH TAKE-OFF
	DUCT TRANSITION (RECTANGULAR TO ROUND)
FLEX	FLEXIBLE DUCT (5'-0 MAXIMUM)
(T) T-STAT	PROGRAMMABLE THERMOSTAT, HONEYWELL T-7300.
—CD— CD	CONDENSATE DRAIN
Ø DIA.	DIAMETER
—DL— DL	DOOR LOUVER
—UC— UC	DOOR UNDERCUT (3/4" MINIMUM)
(M)	FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR.
(E)	FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
(ME)	FURNISHED BY MECHANICAL CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR.
S-1 / 100	AIR OUTLET/INLET DEVICE DESIGNATION(S-SUPPLY, R-RETURN, E-EXHAUST) AIR QUANTITY IN CFM
AC / 1	MECHANICAL EQUIPMENT DESIGNATION DESIGNATED NUMBER
BTU	BRITISH THERMAL UNIT
BDD	BACK DRAFT DAMPER
CB	CIRCUIT BREAKER
CLG.	CEILING
CONN.	CONNECT/CONNECTION
CONT.	CONTINUATION
CONT'R	CONTRACTOR
CFM	CUBIC FEET PER MINUTE
DET.	DETAIL
DISC.	DISCONNECT
DTR	DOWN THRU ROOF
EF	EXHAUST FAN
(E)	EXISTING
GA.	GAGE/GAUGE
GC	GENERAL CONTRACTOR
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
MFR.	MANUFACTURER
MECH.	MECHANICAL
(N)	NEW
OA/OSA	OUTSIDE AIR
OBD	OPPOSED BLADE DAMPER
S/S	STAINLESS STEEL
TYP.	TYPICAL
UON	UNLESS OTHERWISE NOTED
UTR	UP THRU ROOF

DRAWING SCHEDULE

M0.1	LEGEND, NOTES & SCHEDULES
M0.2	MECHANICAL SPECIFICATIONS
M2.1	MECHANICAL 1ST FLOOR PLAN
M2.2	MECHANICAL 2ND FLOOR PLAN
M2.3	MECHANICAL 3RD FLOOR PLAN
M2.4	MECHANICAL 4TH FLOOR PLAN
M2.5	MECHANICAL 5TH FLOOR PLAN
M2.6	MECHANICAL ROOF PLAN
M6.1	MECHANICAL DETAILS
M9.1	MECHANICAL CONTROLS

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90 South Park San Francisco CA 94107

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39 RESIDENTIAL UNITS, OAKLAND, CA

REGISTERED PROFESSIONAL ENGINEER SRDJAN G. REBRACA No. M28498 MECHANICAL STATE OF CALIFORNIA

880 West MacArthur Blvd.
A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

DATE	ISSUE
04-05-06	PLANNING SUBMITTAL
06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

ACIES ENGINEERING
111 W. Evelyn Avenue, Suite 301, Sunnyvale, CA 94086
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fx: (408) 522-5260
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SCALE: NTS

LEGEND, NOTES & SCHEDULES

M0.1

SPECIFICATIONS

DIVISION 15 – MECHANICAL

SECTION 15000
BASIC MECHANICAL REQUIREMENTS

A. NOTE

1. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND ALL OTHER SPECIFICATION SECTIONS, APPLY TO THIS AND THE OTHER SECTIONS OF DIVISION 15.

2. THE CONTRACTOR FOR THIS DIVISION OF WORK IS REQUIRED TO READ THE SPECIFICATIONS AND REVIEW DRAWINGS FOR ALL DIVISIONS OF WORK AND IS RESPONSIBLE FOR THE COORDINATION OF THEIR WORK AND THE WORK OF THEIR SUBCONTRACTORS WITH ALL DIVISIONS OF WORK. IT IS THIS CONTRACTORS RESPONSIBILITY TO PROVIDE THEIR SUBCONTRACTORS WITH A COMPLETE SET OF BID DOCUMENTS.

3. THIS CONTRACTOR IS RESPONSIBLE FOR SCHEDULING THE COMPLETION AND INSPECTION OF THEIR WORK AND THE WORK OF THEIR SUBCONTRACTORS TO COMPLY WITH THE SCHEDULE AND THE PROJECT COMPLETION DATE.

4. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTAL OF BID TO DETERMINE CONDITIONS AFFECTING THE WORK. ANY ITEMS WHICH ARE NOT COVERED IN THE BID DOCUMENTS OR ANY PROPOSED SUBSTITUTIONS SHALL BE LISTED SEPARATELY AND QUALIFIED IN THE CONTRACTORS BID. SUBMITTAL OF BID SHALL SERVE AS EVIDENCE OF KNOWLEDGE OF EXISTING CONDITIONS AND ANY MODIFICATIONS WHICH ARE REQUIRED TO MEET THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. FAILURE TO VISIT THE SITE DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY IN PERFORMANCE OF WORK.

B. GENERAL REQUIREMENTS

1. THIS CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, TOOLS, TRANSPORTATION, INCIDENTALS AND DETAILS NECESSARY TO PROVIDE A COMPLETE MECHANICAL SYSTEM AS SHOWN ON THE DRAWINGS, CALLED FOR IN THE SPECIFICATIONS, AND AS REQUIRED BY JOB CONDITIONS.

2. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SUPPLEMENT EACH OTHER AND ANY MATERIAL OR LABOR CALLED FOR IN ONE SHALL BE FURNISHED AND INSTALLED EVEN THOUGH NOT SPECIFICALLY MENTIONED IN BOTH. ANY MATERIAL OR LABOR WHICH IS NEITHER SHOWN ON THE DRAWINGS NOR CALLED FOR IN THE SPECIFICATIONS, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK, AND WHICH IS USUALLY INCLUDED IN WORK OF SIMILAR CHARACTER, SHALL BE FURNISHED AND INSTALLED AS PART OF CONTRACT.

3. WHERE THE DRAWINGS OR SPECIFICATIONS CALL FOR ITEMS WHICH EXCEED CODE'S REQUIREMENT, THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING THE SYSTEM WITH THE MORE STRINGENT REQUIREMENTS AS DESIGNED AND DESCRIBED ON THESE DRAWINGS, UNLESS SPECIFICALLY NOTED OTHERWISE.

4. ALL MECHANICAL WORK SHALL BE INSTALLED SO AS TO BE READILY ACCESSIBLE FOR OPERATING, SERVICING, MAINTAINING, AND REPAIRING. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT SERVICE ACCESS TO ALL EQUIPMENT.

5. ALL WORK SHALL BE PERFORMED IN A NEAT PROFESSIONAL MANNER USING GOOD ENGINEERING AND CONSTRUCTION PRACTICES.

6. UNLESS SPECIFICALLY NOTED OTHERWISE, MATERIALS, PRODUCTS, AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE UNDERWRITERS LABORATORIES LISTED AND LABELED AND SIZED IN CONFORMITY WITH REQUIREMENTS OF STATE AND LOCAL CODES, WHICHEVER IS MORE STRINGENT.

C. CODES

1. ALL WORK SHALL CONFORM TO THE STATE'S, COUNTY'S, CITY'S AND LOCAL CODES AND ORDINANCES, SAFETY AND HEALTH CODES, NFPA CODES, ENERGY CODES AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS. THIS CONTRACTOR SHALL INQUIRE INTO AND COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. THIS CONTRACTOR SHALL INCLUDE ANY CHANGES REQUIRED BY CODES IN THE BID AND IF THESE CHANGES ARE NOT INCLUDED IN THE BID, THEY MUST BE QUALIFIED AS A SEPARATE LINE ITEM IN THE BID.

D. LICENSES, PERMITS, INSPECTIONS & FEES

1. THIS CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES, PERMITS, INSPECTIONS, AND FEES REQUIRED OR RELATED TO THEIR WORK.

2. FURNISH TO THE ARCHITECT ALL CERTIFICATES OF INSPECTION AND FINAL INSPECTION APPROVAL AT COMPLETION OF PROJECT.

E. TRADE NAMES, MANUFACTURERS AND SHOP DRAWINGS

1. WHERE TRADE NAMES AND MANUFACTURERS ARE USED ON THE DRAWINGS OR IN THE SPECIFICATIONS, THE EXACT EQUIPMENT SHALL BE USED AS A MINIMUM FOR THE BASE BID. MANUFACTURERS CONSIDERED AS AN EQUAL OR BETTER IN ALL ASPECTS TO THAT SPECIFIED WILL BE SUBJECT TO APPROVAL IN WRITING BY THE ARCHITECT PRIOR THROUGH SHOP DRAWING SUBMITTAL PROCESS, FOR ACCEPTANCE. THE USE OF ANY UNAUTHORIZED EQUIPMENT SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

2. MECHANICAL CONTRACTOR SHALL SUBMIT ONLY SUBSTITUTION REQUESTS TO ARCHITECT FOR APPROVAL. SUBMISSIONS SHALL BE MADE EARLY ENOUGH IN PROJECT TO ALLOW FOUR (4) WORKING DAYS FOR ARCHITECT'S REVIEW WITHOUT CAUSING DELAYS OR CONFLICTS TO THE JOB'S PROGRESS. SUBMITTALS SHALL BEAR THE STAMP OF THE SUB-CONTRACTOR SHOWING THAT THEY HAVE REVIEWED AND CONFIRMED THAT THE SUBMITTALS ARE IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS OR INDICATE WHERE EXCEPTIONS HAVE BEEN TAKEN.

F. GUARANTEE

1. THIS CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORK PROVIDED UNDER THEIR CONTRACT AND SHALL MAKE GOOD, REPAIR OR REPLACE AT THEIR OWN EXPENSE, ANY DEFECTIVE WORK, MATERIAL, OR EQUIPMENT WHICH MAY BE DISCOVERED WITHIN A PERIOD OF 12 MONTHS FROM THE DATE OF ACCEPTANCE (IN WRITING) OF THE INSTALLATION BY ARCHITECT. EXTENDED WARRANTIES ARE AS SPECIFIED WITH INDIVIDUAL EQUIPMENT.

2. CONTRACTOR SHALL PROVIDE A COMPLETE 12-MONTH WARRANTY FOR ALL PARTS ON EQUIPMENT INSTALLED. THIS CONTRACTOR SHALL NOT BEAR ADDITIONAL WARRANTIES BEYOND A COMPLETE WORKING SYSTEM, AND AS SUCH, NO ADDITIONAL MONIES SHOULD BE INCLUDED IN THE BID.

G. RECORD DRAWINGS

1. THIS CONTRACTOR SHALL MAINTAIN ONE COPY OF DRAWINGS ON THE JOB SITE TO RECORD DEVIATIONS FROM CONTRACT DRAWINGS, SUCH AS:
   A. LOCATION OF CONCEALED PIPING VALVES AND DUCTS.
   B. REVISIONS, ADDENDUM, AND CHANGE ORDERS.
   C. SIGNIFICANT DEVIATIONS MADE NECESSARY BY FIELD CONDITIONS, APPROVED EQUIPMENT SUBSTITUTIONS, AND CONTRACTOR'S COORDINATION WITH OTHER TRADES.

2. AT COMPLETION OF THE PROJECT AND BEFORE FINAL APPROVAL, THE CONTRACTOR SHALL MAKE ANY FINAL CORRECTIONS TO DRAWINGS AND CERTIFY THE ACCURACY OF EACH PRINT BY SIGNATURE THEREON.

H. DISCREPANCIES IN DOCUMENTS

1. DRAWINGS (PLANS, SPECIFICATIONS, AND DETAILS) ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION AND INTENT OF THE MECHANICAL SYSTEMS. WHERE DRAWINGS, EXISTING SITE CONDITIONS, SPECIFICATIONS OR OTHER TRADES CONFLICT OR ARE UNCLEAR, ADVISE ARCHITECT, IN WRITING, OF VARIATIONS TO CONTRACT DOCUMENTS PRIOR TO SUBMISSION OF BID. OTHERWISE, ARCHITECT'S INTERPRETATION OF CONTRACT DOCUMENTS OR CONDITIONS SHALL BE FINAL WITH NO ADDITIONAL COMPENSATION PERMITTED.

I. SLEEVES

1. THIS CONTRACTOR SHALL PROVIDE SLEEVES TO PROTECT EQUIPMENT OR FACILITIES IN THE INSTALLATION. EACH SLEEVE SHALL EXTEND THROUGH IT'S RESPECTIVE FLOOR, WALL OR PARTITION AND SHALL BE CUT FLUSH WITH EACH SURFACE EXCEPT SLEEVES THAT PENETRATE THE FLOOR, WHICH SHALL EXTEND 2" ABOVE THE FLOOR. CONTRACTOR MUST COORDINATE THROUGH THE ARCHITECT ANY CORE DRILLING OR CUTTING OF OPENINGS IN MASONRY FLOORS OR WALLS.

2. ALL SLEEVES AND OPENINGS THROUGH FIRE RATED WALLS AND/OR FLOORS SHALL BE FIRE SEALED WITH CALCIUM SILICATE, SILICONE "RTV" FOAM, "3M" FIRE RATED SEALANT OR EQUAL, SO AS TO RETAIN THEIR FIRE RATING.

3. SLEEVES IN BEARING AND MASONRY WALLS, FLOORS, AND PARTITIONS SHALL BE STANDARD WEIGHT STEEL PIPE FINISHED WITH SMOOTH EDGES. FOR OTHER THAN MASONRY PARTITIONS, THROUGH SUSPENDED CEILINGS, OR FOR CONCEALED VERTICAL PIPING, SLEEVES SHALL BE NO. 22 U.S.G. GALVANIZED STEEL MINIMUM.

J. HANGERS

1. HANGERS SHALL INCLUDE ALL MISCELLANEOUS STEEL SUCH AS ANGLE IRON, BANDS, C-CLAMPS WITH RETAINING CLIPS, CHANNELS, HANGER RODS, ETC., NECESSARY FOR THE INSTALLATION OF WORK.

2. HANGERS SHALL BE FASTENED TO BUILDING STEEL, CONCRETE, OR MASONRY, BUT NOT TO PIPING. HANGING FROM METAL DECK IS NOT PERMITTED. HANGERS MUST BE ATTACHED TO UPPER CHORD OF BAR JOIST. WHERE INTERFERENCE OCCUR, AND IN ORDER TO SUPPORT DUCTWORK OR PIPING, THE CONTRACTOR MUST INSTALL TRAPEZE TYPE HANGERS OR SUPPORTS WHICH SHALL BE LOCATED WHERE THEY DO NOT INTERFERE WITH ACCESS TO FIRE DAMPERS, VALVES, AND OTHER EQUIPMENT.

3. HANGERS FOR ALL INSULATED PIPING SHALL BE SIZED AND INSTALLED FOR THE OUTER DIAMETER OF INSULATION. INSTALL 6" LONG SPLIT CIRCLE GALVANIZED SADDLE BETWEEN THE HANGER AND THE PIPE INSULATION.

4. HANGERS AND PIPING OF DISSIMILAR METALS SHALL BE DI-ELECTRICALLY SEPARATED.

END OF SECTION 15000

DIVISION 15 – MECHANICAL

SECTION 15500
HEATING, VENTILATION, AND AIR CONDITIONING

A. SCOPE OF WORK

1. THIS CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, TOOLS, TRANSPORTATION AND FACILITIES NECESSARY FOR, REASONABLY IMPLIED AND INCIDENTAL TO, THE FURNISHING, INSTALLATION, COMPLETION AND TESTING OF ALL THE WORK FOR THE MECHANICAL SYSTEMS AS SHOWN ON THE DRAWINGS, CALLED FOR IN THE SPECIFICATIONS, AND AS REQUIRED BY JOB CONDITIONS, TO INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
   A. HVAC UNITS, EQUIPMENT, AND APPURTENANCES (UNLESS NOTED OTHERWISE).
   B. DUCTWORK, FITTINGS, DAMPERS, AND INSULATION.
   C. CURBS, ROOFING, AND STEEL FRAMING FOR SUPPORT (AS APPLICABLE, REFER TO PLANS).
   D. CONDENSATE PIPING SYSTEMS (AS APPLICABLE, REFER TO PLANS).
   E. TESTING, ADJUSTING, AND BALANCING.

2. BEFORE STARTING WORK, THIS CONTRACTOR SHALL VISIT THE JOBSITE AND EXAMINE THE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS TO SEQUENCE, COORDINATE, AND INTEGRATE THE VARIOUS ELEMENTS OF THE HVAC SYSTEM, MATERIALS, AND EQUIPMENT WITH OTHER CONTRACTORS TO AVOID INTERFERENCE AND CONFRONTATIONS.

B. HVAC EQUIPMENT

1. PRIMARY HEATING AND AIR CONDITIONING UNITS ARE TO BE FURNISHED BY THIS CONTRACTOR AS SCHEDULED UNLESS NOTED OTHERWISE. REFER TO PLANS FOR REQUIREMENTS. ALL EQUIPMENT SHALL INCLUDE A FIVE (5) YEAR COMPRESSOR AND TEN (10) YEAR HEAT EXCHANGER WARRANTY.

2. ALL EQUIPMENT SHALL BE COMPLETE IN EVERY RESPECT WITH ALL DEVICES, APPURTENANCES, AND ACCESSORIES PROVIDED TO MEET THE DESIGN INTENT AND OPERATION OF THE SYSTEMS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.

3. EQUIPMENT SHALL BE INSTALLED AND STARTUP PERFORMED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

C. METAL DUCTWORK – NO FIBERGLASS DUCT ALLOWED

1. NO DUCTWORK SHALL BE FABRICATED PRIOR TO JOB SITE VISIT AND APPROVAL BY THE GENERAL CONTRACTOR. A SKETCH MUST BE SUBMITTED INDICATING SIGNIFICANT DEVIATIONS FROM DESIGN AND MUST BE APPROVED BY ARCHITECT PRIOR TO FABRICATION OR INSTALLATION.

2. EXCEPT AS OTHERWISE INDICATED, FABRICATE AND INSTALL RECTANGULAR AND ROUND DUCTWORK WITH GALVANIZED STEEL, IN ACCORDANCE WITH SMACNA "HVAC DUCT CONSTRUCTION STANDARDS" OF THE LATEST EDITION. WHERE OTHER CODES ARE ENFORCED, (I.E. UMC, BOCA, ETC.) USE THE MOST STRINGENT CODE FOR DUCT CONSTRUCTION STANDARDS.

3. EXCEPT WHERE OTHERWISE INDICATED, CONSTRUCT DUCT SYSTEMS TO THE FOLLOWING PRESSURE CLASSIFICATIONS:

SUPPLY DUCTS:	2" W.G., POSITIVE
RETURN AND EXHAUST DUCTS:	2" W.G., NEGATIVE

EXCEPT WHERE OTHERWISE INDICATED, USE DUCT SEALANT OF THE FOLLOWING PRESSURE CLASSIFICATIONS:

SUPPLY DUCTS:	CLASS B – 3" W.G.
RETURN AND EXHAUST DUCTS:	CLASS C – 2" W.G.

4. IN ACCORDANCE WITH THESE CONSTRUCTION AND SEALANT PRESSURE CLASSIFICATIONS, MAXIMUM DUCT AIR LEAKAGE WILL NOT EXCEED 5% AS REQUIRED FOR FINAL AIR BALANCE APPROVAL.

5. ROUND AND FLAT OVAL DUCTWORK SHALL BE GALVANIZED STEEL WITH SPIRAL LOCK SEAM CONSTRUCTION. ROUND DUCTWORK SIZES 12" DIAMETER AND SMALLER IN CONCEALED AREAS MAY BE SNAP-LOCK CONSTRUCTION. ALL SNAP-LOCK SEAMS SHALL BE SEALED AS DESCRIBED IN THESE SPECIFICATIONS. DUCT AND FITTINGS SHALL BE G90 GALVANIZED STEEL CONFORMING TO ASTM A-653 AND A-924. ALL FITTINGS THAT ARE SPOT WELDED OR BUTTON PUNCHED CONSTRUCTION SHALL BE INTERNALLY SEALED. ROUND DUCTWORK MAY BE SPIROSAFE SELF SEALING DUCT SYSTEM AS MANUFACTURED BY LINDAB OR AN APPROVED EQUAL BY UNITED MCGILL, SEMCO OR SPIRO.

6. AS A MINIMUM, CROSS BREAK ALL FLAT SURFACES OR REINFORCE WITH A BEAD APPROXIMATELY 3/8" WIDE X 3/16" DEEP ON 12" CENTERS TO PREVENT VIBRATIONS, REGARDLESS OF DUCT GAUGE.

7. INSTALL FACTORY MANUFACTURED DOUBLE THICKNESS TURNING VANES IN ALL 90 DEGREE ELBOWS OVER 36" IN LENGTH. INSTALL FACTORY MANUFACTURED SINGLE THICKNESS TURNING VANES IN ALL OTHER ELBOWS.

8. INSTALL RIGID ROUND AND RECTANGULAR METAL DUCT WITH SUPPORT SYSTEMS INDICATED IN SMACNA STANDARDS. SUPPORT HORIZONTAL DUCTS WITHIN 2 FEET OF EACH ELBOW AND WITHIN 4 FEET OF EACH BRANCH INTERSECTION USING DOUBLE STRAP HANGERS ON EACH SIDE OF FITTING. SUPPORT VERTICAL DUCTS AT A MAXIMUM INTERVAL OF 16 FEET AND AT EACH FLOOR. NO WOOD SHALL BE USED TO SUPPORT OR BRACE DUCTS. PROVIDE SWAY AND SEISMIC BRACING AS REQUIRED BY STATE AND LOCAL CODES.

9. WHERE DUCTS PASS THROUGH ROOFS AND FLOORS, PROVIDE AS MINIMUM 1-1/2"X1-1/2" X1/8" STEEL ANGLE FRAMES AT EACH SIDE OF OPENING. THE ANNULAR SPACE BETWEEN DUCT AND ANGLE FRAMES SHALL BE CAULKED WITH SILICONE SEALANT OR FIREPROOFED AS REQUIRED BY ASSEMBLY FIRE RATING.

10. ALL JOINTS AND SEAMS SHALL BE SEALED WITH 2" WIDE, GLASS-FIBER-FABRIC REINFORCED TAPE. JOINTS ALSO SHALL BE RIVETED OR CONNECTED WITH SHEET METAL SCREWS. LIQUID SEALANT BY UNITED MCGILL CORP., DOW CORNING, MIRACLE ADHESIVES AND SUREBOND INC. WILL BE ACCEPTED IN LIEU OF TAPE.

11. SOFT ELASTOMER BUTYL GASKET WITH ADHESIVE BACKING SHALL BE USED TO SEAL FLANGED JOINTS.

12. DUCT TRANSITIONS SHALL NOT EXCEED 30 DEGREES SLOPE EXCEPT AS SPECIFICALLY NOTED OTHERWISE.

13. PROVIDE ACCESS TO ALL MOTORIZED ZONE DAMPERS, FIRE DAMPERS, CONTROLS, AND OTHER ITEMS IN DUCTWORK THAT REQUIRE SERVICE OR INSPECTION. IF THE ACCESS PANEL LOCATION IS EXPOSED IT MUST BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION. LAY-IN SUPPLY AND RETURN AIR DIFFUSERS, GRILLES AND REGISTERS WITH PLASTER FRAMES MAY BE USED AS ACCESS LOCATIONS WHEN WITHIN 3'-0" OF DEVICE.

14. WHERE DUCTWORK SIZE IS LARGER THAN CONNECTED DEVICE (I.E. DIFFUSER, REGISTER) SMOOTH DUCT TRANSITIONS ARE TO TAKE PLACE JUST PRIOR TO DEVICE CONNECTION.

D. FLEXIBLE CONNECTIONS

1. FLEXIBLE COLLARS SHALL BE FURNISHED AND INSTALLED IN ALL CONNECTIONS BETWEEN VIBRATING EQUIPMENT (FANS, AIR HANDLERS, ROOFTOP UNITS, ETC.) AND DUCTS OR CASINGS. ALSO, FURNISH AND INSTALL FLEXIBLE CONNECTIONS WHERE DUCTS CROSS BUILDING EXPANSION JOINTS.

2. FLEXIBLE CONNECTIONS SHALL BE CONSTRUCTED OF NEOPRENE-COATED FLAMEPROOF FABRIC. PROVIDE ADEQUATE JOINT FLEXIBILITY TO ALLOW FOR MOVEMENT AND PREVENT THE TRANSMISSION OF VIBRATION.

E. FLEXIBLE AIR DUCT

1. FLEXIBLE AIR DUCT SHALL BE 1" INSULATED CLASS 1 AND RATED FOR THE OPERATING PRESSURE OF THE SYSTEM. DUCT CONSTRUCTION MATERIAL (PLASTIC, CLOTH, ALUMINUM) MUST ADHERE TO LOCAL CODES REQUIREMENTS AND BE INCLUDED AS SUCH IN THE BID.

2. FLEXIBLE AIR DUCT SHALL BE ATTACHED PER DETAILS. FLEXIBLE AIR DUCT MAY ONLY BE USED IN CONCEALED VERTICAL APPLICATIONS WITHOUT PRIOR APPROVAL FROM ARCHITECT UNLESS NOTED OTHERWISE.

3. FLEXIBLE DUCT SHALL NOT EXTEND OVER 5'-0" IN LENGTH AT ANY ONE LOCATION.

F. SUPPLY AIR TAKE-OFF FITTINGS

1. FURNISH AND INSTALL CONICAL OR "BELL-MOUTH" TAKE-OFFS FROM MAIN DUCTWORK TO ROUND BRANCHES. INSTALL PER MANUFACTURER'S INSTRUCTIONS AND DETAILS.

G. DAMPERS

1. FURNISH AND INSTALL MANUAL LOCKING QUADRANT VOLUME CONTROL DAMPERS WITH HANDLE OPERATORS AS SHOWN ON PLANS TO FACILITATE AIR BALANCING.

H. DUCTWORK INSULATION

1. FURNISH AND INSTALL INSULATION PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, AND IN ACCORDANCE WITH RECOGNIZED INDUSTRY PRACTICES. INSULATION MUST COMPLY WITH NFPA 90A

2. DUCTWORK SIZES SHOWN ON DRAWINGS ARE INSIDE CLEAR DIMENSIONS. INCREASE DUCTWORK SIZES AS REQUIRED FOR INTERNALLY LINED DUCTWORK TO MAINTAIN INSIDE CLEAR DIMENSIONS.

3. ALL SUPPLY AND RETURN DUCTWORK WITHIN 15 FEET OF THE AC UNIT SHALL BE INTERNALLY LINED. INTERNAL LINING SHALL BE 1-INCH THICK, 1-½ LB DENSITY LINER. LINER SHALL HAVE A COATED SURFACE EXPOSED TO AIR STREAM TO PREVENT EROSION. APPLY ADHESIVES AND MECHANICAL FASTENERS AS AS RECOMMENDED BY SMACNA AND THE MANUFACTURER TO PREVENT LINER SEPARATION FROM THE DUCT. ALL TRANSVERSE EDGES SHALL BE COATED WITH ADHESIVE.

4. FURNISH AND INSTALL INSULATION PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, AND IN ACCORDANCE WITH RECOGNIZED INDUSTRY PRACTICES.

5. INSULATE ALL OF THE FOLLOWING DUCTWORK:
   A. CONCEALED SUPPLY DUCTWORK THAT IS NOT INTERNALLY LINED.
   B. UNTREATED OUTSIDE AIR DUCTWORK LOCATED WITHIN THE INTERIOR.
   C. EXTERIOR SUPPLY & RETURN DUCTWORK.
   D. DRYER EXHAUST DUCTWORK.

   INSULATION SHALL BE 1-1/2" REINFORCED FOIL FACED, VAPOR SEALED FIBERGLASS. INSTALLED THERMAL RESISTANCE (DEG F-SQ FT-HR/BTU) SHALL BE AT LEAST 4.5 FOR INTERIOR DUCTWORK AND 6.5 FOR EXTERIOR DUCTWORK, OR AS REQUIRED BY LOCAL CODES, WHICHEVER IS MORE STRINGENT. PROVIDE EXTERIOR DUCTWORK INSULATION WITH WEATHERPROOF JACKETING.

6. ALL INSULATION AND LINING SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 25 AND A SMOKE DEVELOPED RATING OF NO HIGHER THAT 50 WHEN TESTED IN ACCORDANCE WITH ASTM C 411, OR AS REQUIRED BY LOCAL CODES.

I. CURBS AND STEEL FRAMING FOR SUPPORT

1. THIS CONTRACTOR WILL FURNISH AND INSTALL ALL NECESSARY CURBS AND BLOCKING REQUIRED TO INSTALL ALL HVAC EQUIPMENT AS DESCRIBED OR IMPLIED ON THE DRAWINGS. CURBS SHALL BE A MINIMUM OF 14" HIGH OF THE SAME MANUFACTURER OF THE EQUIPMENT SUPPORTED, UNLESS NOTED OTHERWISE. ALL CURBS MUST BE INSTALLED SO THAT TOP OF CURBS ARE "DEAD" LEVEL. COORDINATE STEEL FRAMING REQUIREMENTS, ROOF PENETRATIONS, AND ROOF FLASHING WITH GENERAL CONTRACTOR TO DETERMINE SCOPE OF WORK PRIOR TO BID. THIS CONTRACTOR MUST RECEIVE WRITTEN APPROVAL BEFORE ANY ADDITIONAL WORK TAKES PLACE.

J. CARBON MONOXIDE GAS DETECTION SYSTEM

1. PROVIDE A WALL MOUNT, SELF-CONTAINED, FIELD PROGRAMMABLE CONTROL PANEL WITH DIGITAL DISPLAY, LED ALARM INDICATION AND DOOR MOUNTED 90DB AUDIBLE ALARM WITH SILENCE ACKNOWLEDGE SWITCH. THERE SHALL BE A SCROLLING LCD DISPLAY OF GAS, CONCENTRATION AND ALARM STATUS. SYSTEM CONTROLLER SHALL BE CAPABLE OF SUPPORTING UP TO FOUR ANALOG TRANSMITTERS. THE CONTROLLER SHALL HAVE 4 ON BOARD RELAYS RATED 5A SPDT. THE CONTROLLER SHALL HAVE 4 SCALABLE ANALOG 4–20 mA OUTPUTS. THE CONTROLLER SHALLSUPPLY 24 VDC REGULATED POWER TO THE TRANSMITTERS. SYSTEM POWER REQUIREMENT IS 100 TO 240 VAC, 47 TO 63 HZ. THE SYSTEM SHALL BE UL TESTED FOR ELECTRICAL SAFETY; PRODUCT OF CRITICAL ENVIRONMENT TECHNOLOGIES MODEL PAC SERIES OR APPROVED EQUAL.

2. PROVIDE REMOTE MOUNT SENSOR/TRANSMITTERS FOR CARBON MONOXIDE, WITH AN HVAC ELECTROCHEMICAL SENSOR FOR CO WITH A DETECTION RANGE OF 0 – 200 PPM. THE SENSOR/TRANSMITTER FOR CO SHALL BE HOUSED IN A WALL MOUNT, RUGGED, BREAK RESISTANT, PVC JUNCTION BOX WITH A SECURED, HINGED DOOR. THE REMOTE MOUNT CO SENSOR/TRANSMITTER SHALL OPERATE ON POWER SUPPLIED BY THE CONTROL PANEL, AND SHALL PROVIDE AN ANALOG 4 – 20 mA OUTPUT SIGNAL TO THE CONTROL PANEL. INSTALL THE CO SENSOR AT APPROXIMATELY 4' TO 6' FROM THE FLOOR. SENSOR/TRANSMITTER SHALL BE PRODUCT OF CRITICAL ENVIRONMENT TECHNOLOGIES MODEL AST-MCO OR APPROVED EQUAL. SUPPLY THE ELECTROCHEMICAL CO SENSOR SHALL BE CAPABLE OF MEETING GOVERNMENT OCCUPATIONAL HEALTH AND SAFETY MEASUREMENT STANDARDS FOR WORKPLACE EXPOSURE TO TOXIC GAS AND VAPOURS.

3. SYSTEM OPERATION SHALL BE AS FOLLOWS: UPON DETECTION OF 25 PPM CO IN AIR, THE SYSTEM SHALL ILLUMINATE THE LOW ALARM THE SYSTEM SHALL KEEP THE FANS RUNNING FOR A MINIMUM OF 10 MINUTES TO AVOID CYCLING. UPON DETECTION OF 50 PPM CO IN AIR, THE SYSTEM SHALL ILLUMINATE THE MID ALARM LED AND THE MID ALARM RELAYS WILL BE ACTIVATED. THE SYSTEM SHALL KEEP THE MID RELAYS ACTIVE FOR A MINIMUM OF 10 MINUTES. UPON DETECTION OF 100 PPM CO IN AIR, THE SYSTEM SHALL ILLUMINATE THE HIGH ALARM LED, THE HIGH ALARM RELAYS AND AUDIBLE ALARM WILL BE ACTIVATED. THE SYSTEM SHALL KEEP THE HIGH RELAYS ACTIVE FOR A MINIMUM OF 10 MINUTES. AUDIBLE ALARM CAN BE SILENCED FROM THE FRONT PANEL PUSH BUTTON. THE CONTRACTOR SHALL PROVIDE ALL WIRING, CONDUIT AND INTERCONNECTION REQUIRED FOR A SUCCESSFUL INSTALLATION.

END OF SECTION 15500

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REGISTERED PROFESSIONAL ENGINEER
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Exp. 06/30/07
MECHANICAL
STATE OF CALIFORNIA

880 West MacArthur Blvd.

A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

DATE	ISSUE
04-05-06	PLANNING SUBMITTAL
06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

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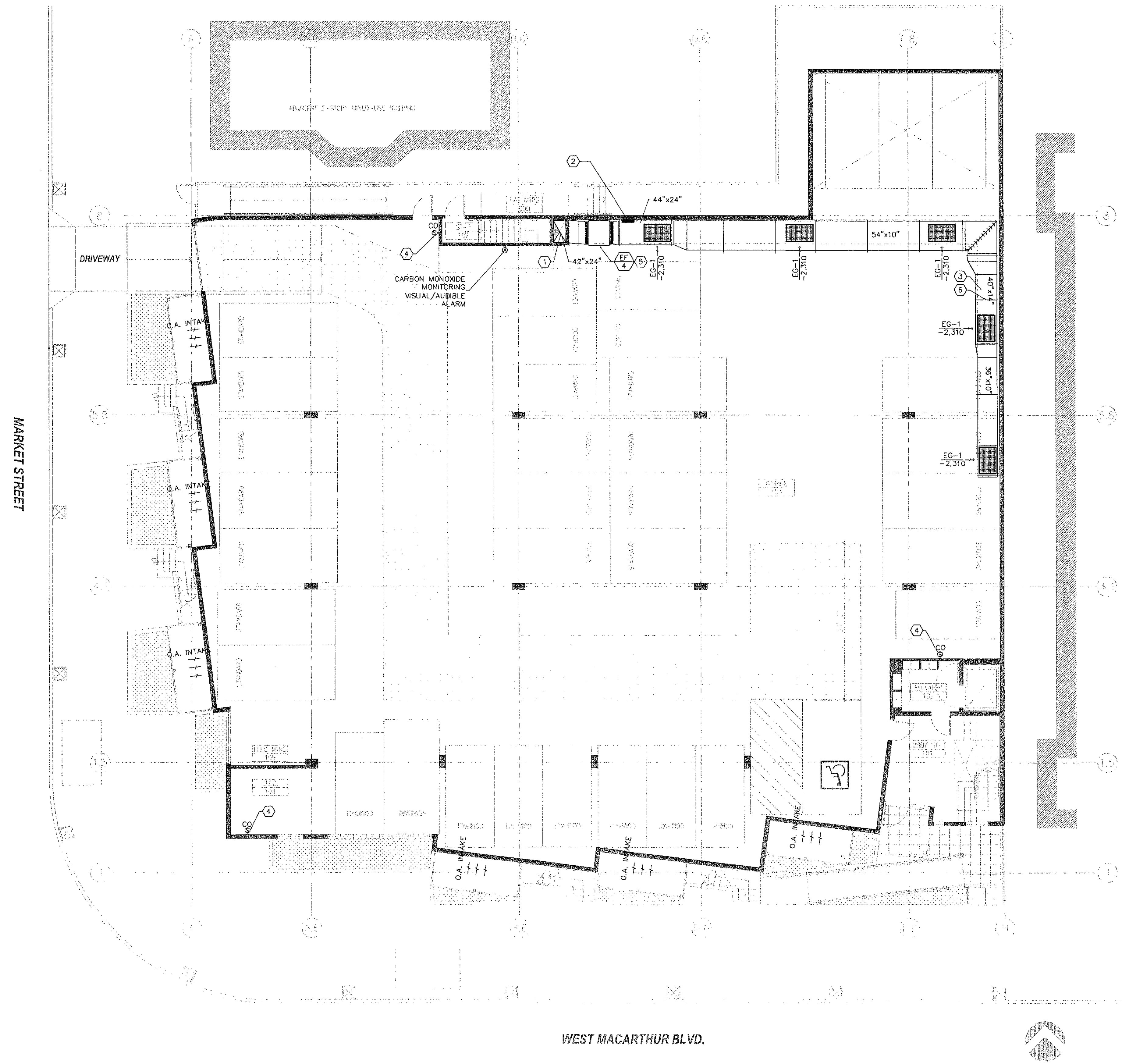
SCALE: NTS

MECHANICAL SPECIFICATION

M0.2



SHEET KEYNOTES:

1. 44"x24" PARKING GARAGE EXHAUST DUCT, UP.
2. CARBON MONOXIDE DETECTION PANEL.
3. RUN THE HORIZONTAL GARAGE EXHAUST DUCTWORK AS HIGH AS POSSIBLE BELOW THE CEILING.
4. CARBON MONOXIDE SENSOR MOUNTED AT 5'-0" A.F.F.
5. CEILING MOUNTED IN-LINE GARAGE EXHAUST FAN EF-4.
6. TRAPEZE-TYPE DUCT SUPPORT. SEE TABLE 6-5 FOR SUPPORT SIZES.

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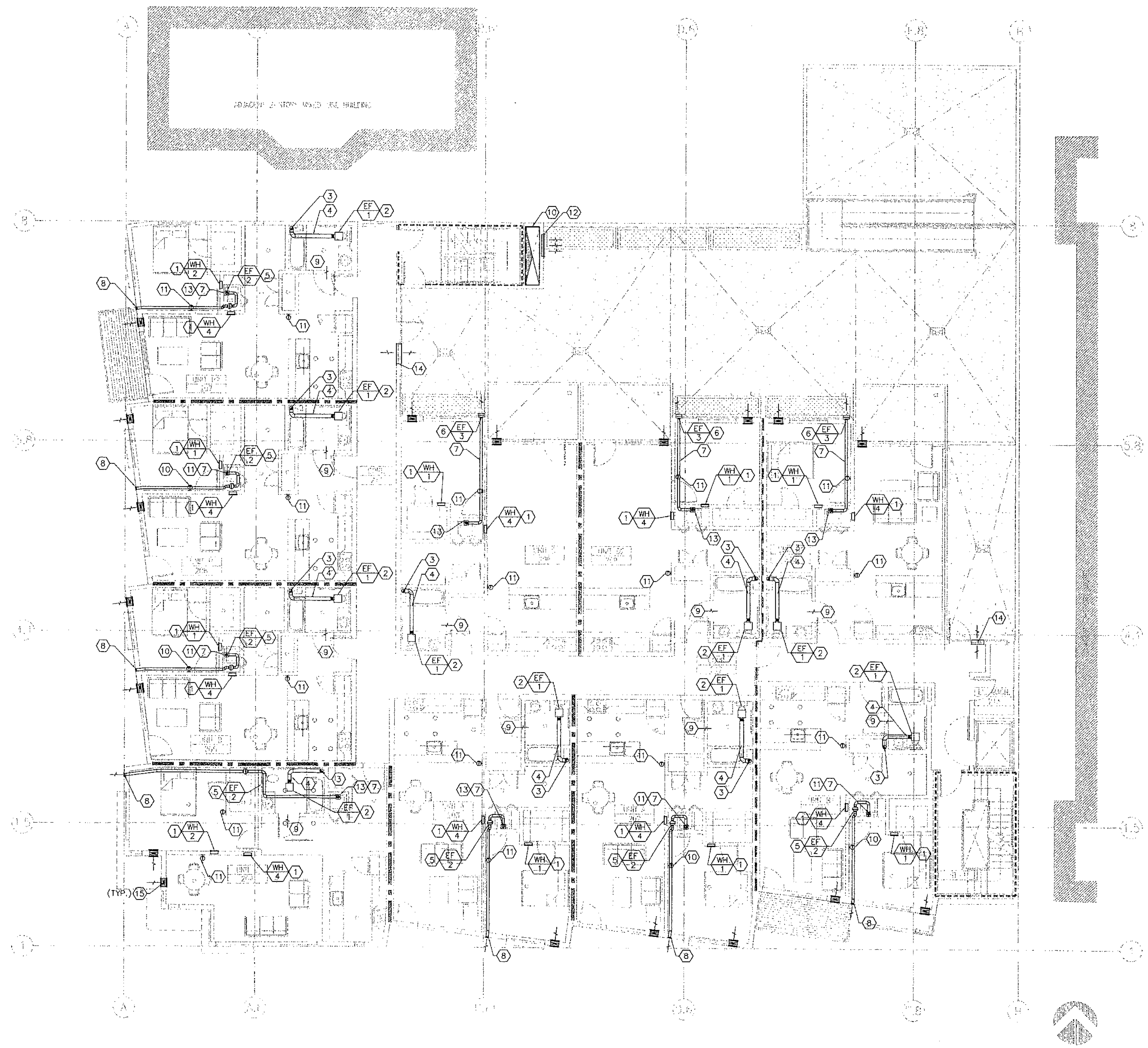
MECHANICAL
1ST
FLOOR PLAN

M2.1



SHEET KEYNOTES:

1. WALL MOUNTED ELECTRIC HEATER.
2. CEILING MOUNTED TOILET EXHAUST FAN.
3. 6"ø TOILET EXHAUST DUCT UP TO ROOF.
4. 6"ø TOILET EXHAUST DUCT.
5. CEILING MOUNTED DRYER BOOSTER FAN.
6. EXTERIOR MOUNTED DRYER BOOSTER FAN.
7. 4"ø DRYER EXHAUST DUCT.
8. WALL CAP.
9. UNDERCUT DOOR.
10. 99"x24" PARKING GARAGE EXHAUST DUCT.
11. WALL MOUNTED THERMOSTAT, 60" A.F.F.
12. PARKING GARAGE VENTILATION AIR DISCHARGE LOUVER WITH DRAINABLE HEAD MEMBER.
13. PROVIDE LINT TRAP MODEL DBLT-4 MANUFACTURED BY FANTECH WITH REMOVABLE LINT FILTER. LOCATE LINT TRAP IN LAUNDRY ROOM.
14. PROVIDE OPENABLE WINDOWS FOR CORRIDOR VENTILATION.
15. Z-SHAPE ACOUSTICAL DUCT. COORDINATE FINAL LOCATION WITH ARCHITECTURAL DRAWINGS.

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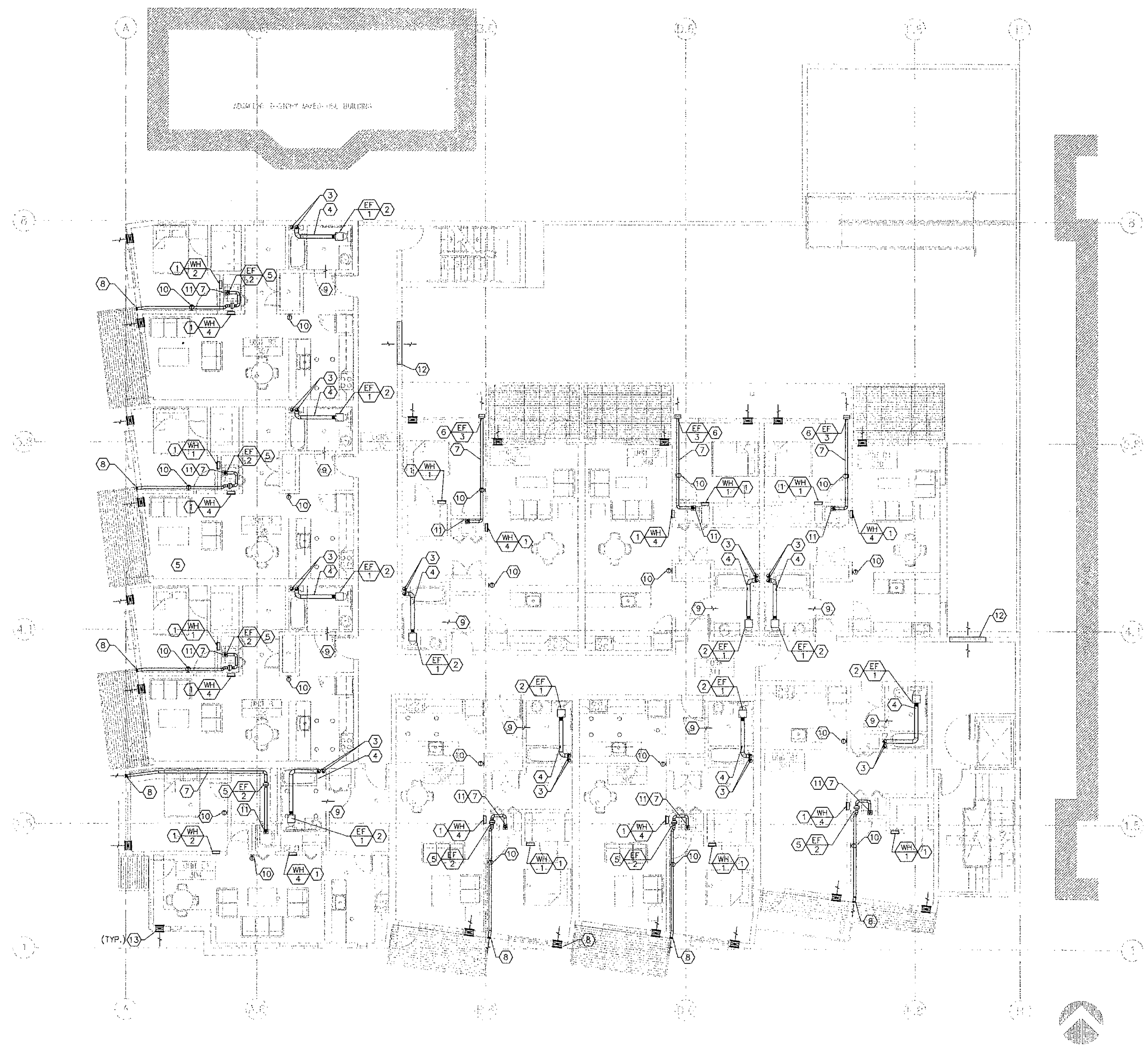
MECHANICAL
2ND
FLOOR PLAN

M2.2



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SHEET KEYNOTES:

1. WALL MOUNTED ELECTRIC HEATER.
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3. 6"ø TOILET EXHAUST DUCT UP TO ROOF.
4. 6"ø TOILET EXHAUST DUCT.
5. CEILING MOUNTED DRYER BOOSTER FAN.
6. EXTERIOR MOUNTED DRYER BOOSTER FAN.
7. 4"ø DRYER EXHAUST DUCT.
8. WALL CAP.
9. UNDERCUT DOOR.
10. WALL MOUNTED THERMOSTAT, 60" A.F.F.
11. PROVIDE LINT TRAP MODEL DBLT-4 MANUFACTURED BY FANTECH WITH REMOVABLE LINT FILTER. LOCATE LINT TRAP IN LAUNDRY ROOM.
12. PROVIDE OPENABLE WINDOWS FOR CORRIDOR VENTILATION.
13. Z-SHAPE ACOUSTICAL DUCT. COORDINATE FINAL LOCATION WITH ARCHITECTURAL DRAWINGS.

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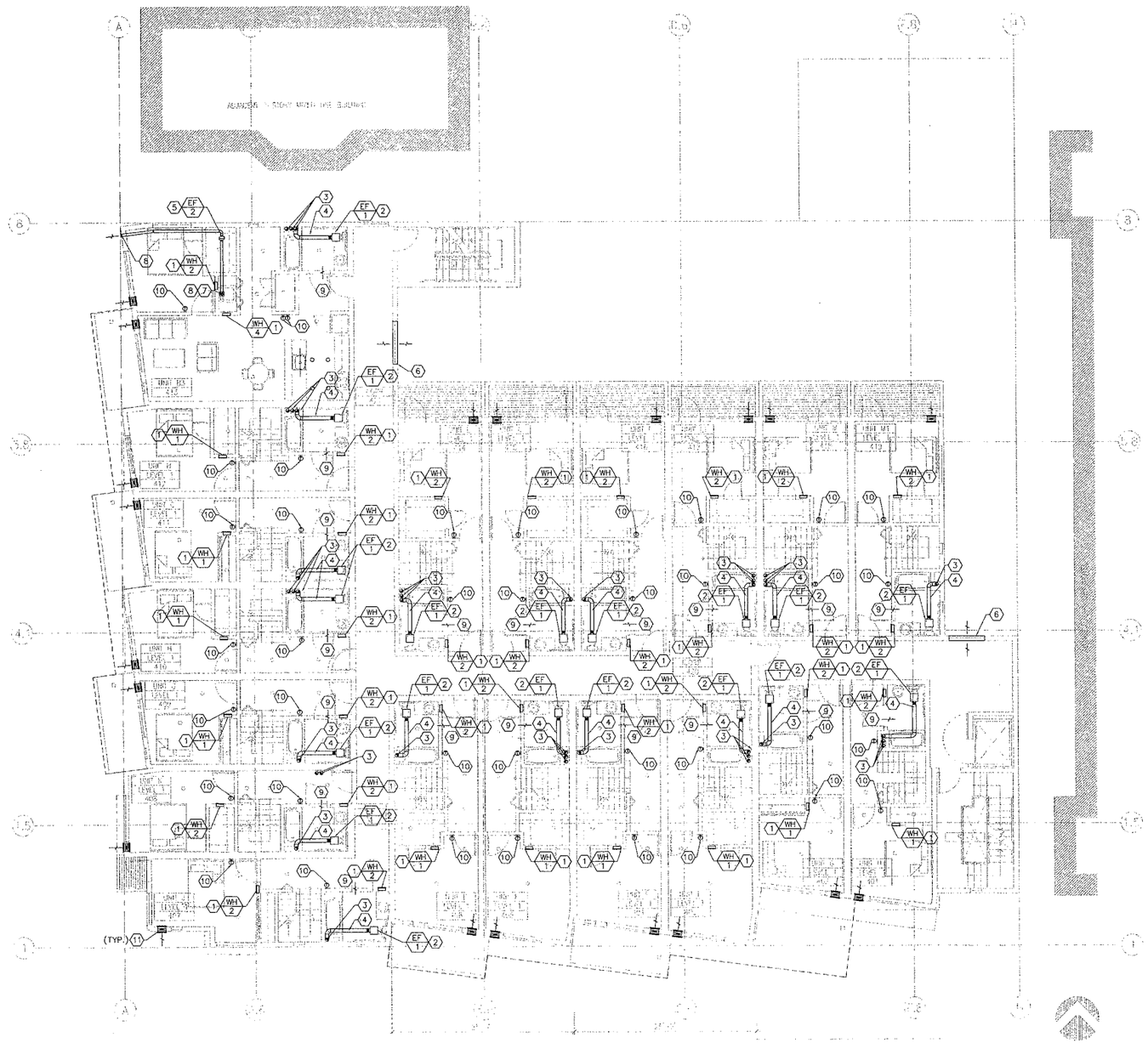
MECHANICAL
3RD
FLOOR PLAN

M2.3



SHEET KEYNOTES:

1. WALL MOUNTED ELECTRIC HEATER.
2. CEILING MOUNTED TOILET EXHAUST FAN.
3. 6"ø TOILET EXHAUST DUCT UP TO ROOF.
4. 6"ø TOILET EXHAUST DUCT.
5. CEILING MOUNTED DRYER BOOSTER FAN.
6. PROVIDE OPENABLE WINDOWS FOR CORRIDOR VENTILATION.
7. 4"ø DRYER EXHAUST DUCT.
8. PROVIDE LINT TRAP MODEL DBLT-4 MANUFACTURED BY FANTECH WITH REMOVABLE LINT FILTER. LOCATE LINT TRAP IN LAUNDRY ROOM.
9. UNDERCUT DOOR.
10. WALL MOUNTED THERMOSTAT, 60" A.F.F.
11. Z-SHAPE ACOUSTICAL DUCT. COORDINATE FINAL LOCATION WITH ARCHITECTURAL DRAWINGS.

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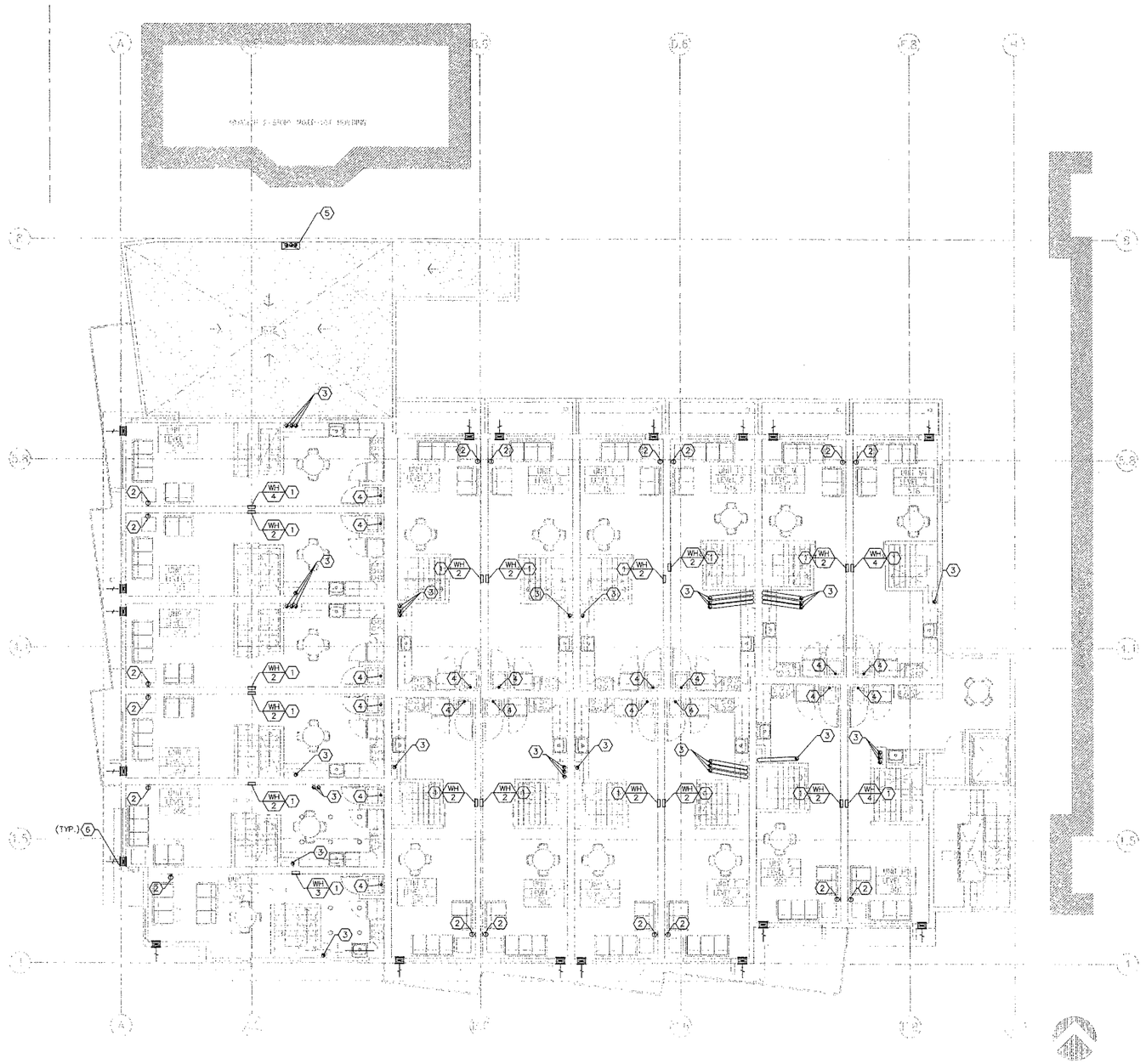
MECHANICAL
4TH
FLOOR PLAN

M2.4



SHEET KEYNOTES:

1. WALL MOUNTED ELECTRIC HEATER.
2. WALL MOUNTED THERMOSTAT, 60" A.F.F.
3. 6"ø TOILET EXHAUST DUCT UP TO ROOF. OFFSET DUCT AS NEEDE TO CLEAR FOR ROOF OBSTRUCTIONS AND SKYLIGHTS.
4. 4"ø DRYER EXHAUST DUCT, UP TO ROOF. OFFSET DUCT AS NEEDE TO CLEAR FOR ROOF OBSTRUCTIONS AND SKYLIGHTS
5. ROOF JACK FOR MULTIPLE EXHAUST AIR DISCHARGE. LOCATE A MIN 10 FEET AWAY FROM ANY FRESH AIR INTAKE ON THE ROOF.
6. Z-SHAPE ACOUSTICAL DUCT. COORDINATE FINAL LOCATION WITH ARCHITECTURAL DRAWINGS.

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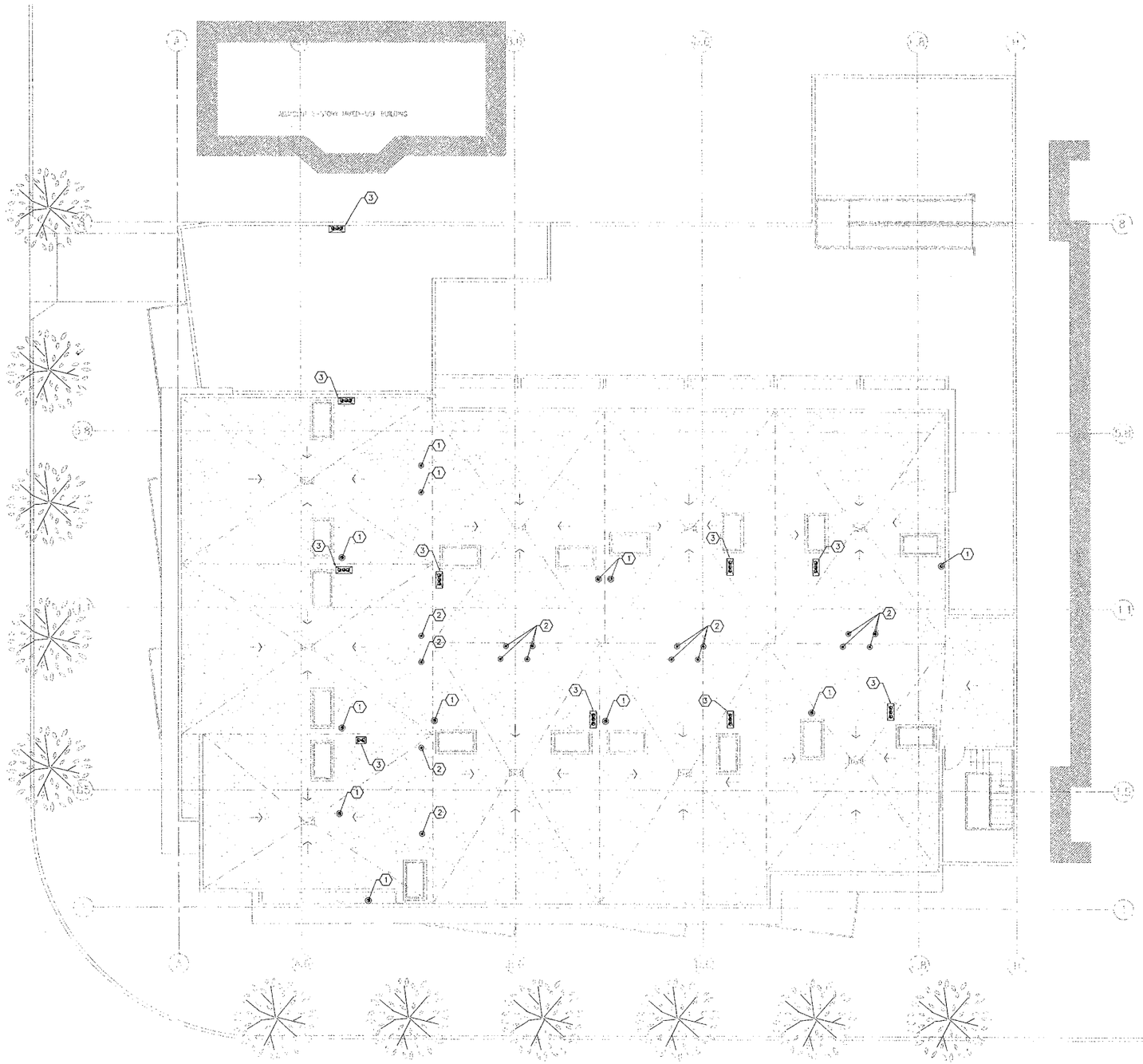
MECHANICAL
5TH
FLOOR PLAN

M2.5



SHEET KEYNOTES:

1. ROOF JACK FOR TOILET EXHAUST AIR DISCHARGE. LOCATE A MIN 10 FEET AWAY FROM ANY FRESH AIR INTAKE ON THE ROOF.
2. ROOF JACK FOR DRYER EXHAUST AIR DISCHARGE. LOCATE A MIN 10 FEET AWAY FROM ANY FRESH AIR INTAKE ON THE ROOF.
3. ROOF JACK FOR MULTIPLE TOILET EXHAUST AIR DISCHARGE. LOCATE A MIN 10 FEET AWAY FROM ANY FRESH AIR INTAKE ON THE ROOF.

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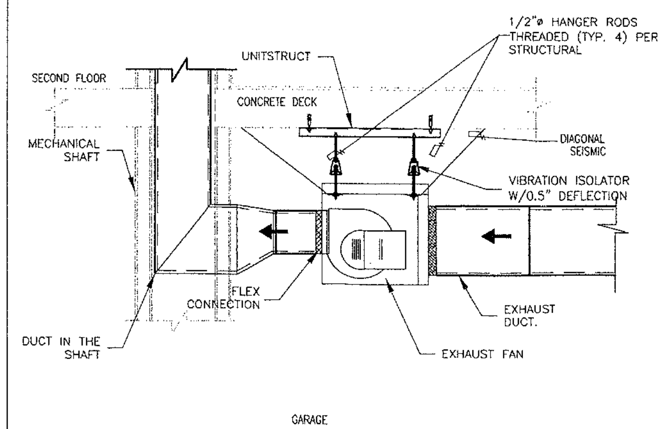
MECHANICAL ROOF PLAN

M2.6

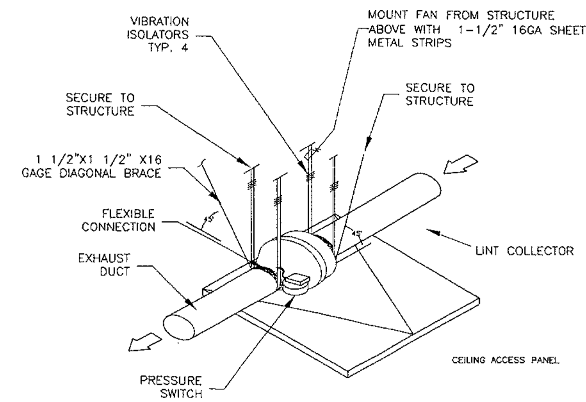
DUCT CONSTRUCTION MINIMUM SHEET METAL THICKNESSES		
RECTANGULAR DUCTS		
MAXIMUM SIZE (INCHES)	STEEL (MINIMUM THICKNESS, NOMINAL)	ALUMINUM (MINIMUM THICKNESS, NOMINAL)
THROUGH 12	0.022 INCH (26 GAGE, GALV.)	0.020 INCH (NO. 24 B&S GAGE)
13 THROUGH 30	0.028 INCH (24 GAGE, GALV.)	0.025 INCH (NO. 22 B&S GAGE)
31 THROUGH 54	0.034 INCH (22 GAGE, GALV.)	0.032 INCH (NO. 20 B&S GAGE)
55 THROUGH 84	0.040 INCH (20 GAGE, GALV.)	0.040 INCH (NO. 18 B&S GAGE)
OVER 84	0.052 INCH (18 GAGE, GALV.)	0.051 INCH (NO. 16 B&S GAGE)

ROUND DUCTS			
MAXIMUM SIZE (INCHES)	SPIRAL SEAM DUCT STEEL (MINIMUM THICKNESS, NOMINAL)	LONGITUDINAL SEAM DUCT STEEL (MINIMUM THICKNESS, NOMINAL)	FITTINGS STEEL (MINIMUM THICKNESS, NOMINAL)
THROUGH 12	0.019 INCH (28 GAGE, GALV.)	0.022 INCH (26 GAGE, GALV.)	0.022 INCH (26 GAGE, GALV.)
13 THROUGH 18	0.022 INCH (26 GAGE, GALV.)	0.028 INCH (24 GAGE, GALV.)	0.028 INCH (24 GAGE, GALV.)
19 THROUGH 28	0.028 INCH (24 GAGE, GALV.)	0.034 INCH (22 GAGE, GALV.)	0.034 INCH (22 GAGE, GALV.)
29 THROUGH 36	0.034 INCH (22 GAGE, GALV.)	0.040 INCH (20 GAGE, GALV.)	0.040 INCH (20 GAGE, GALV.)
37 THROUGH 52	0.040 INCH (20 GAGE, GALV.)	0.052 INCH (18 GAGE, GALV.)	0.052 INCH (18 GAGE, GALV.)

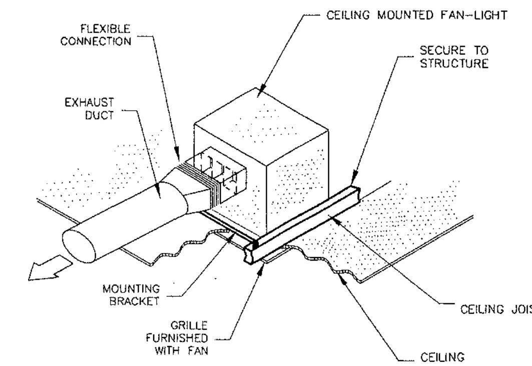
SHEET METAL GAGES | NTS | 3



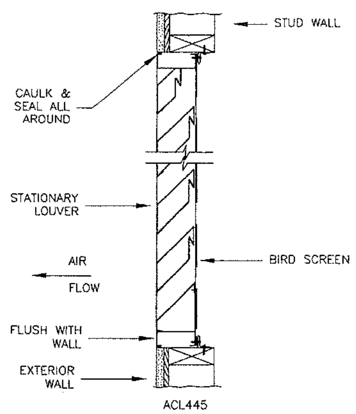
GARAGE EXHAUST FAN | NTS | 3



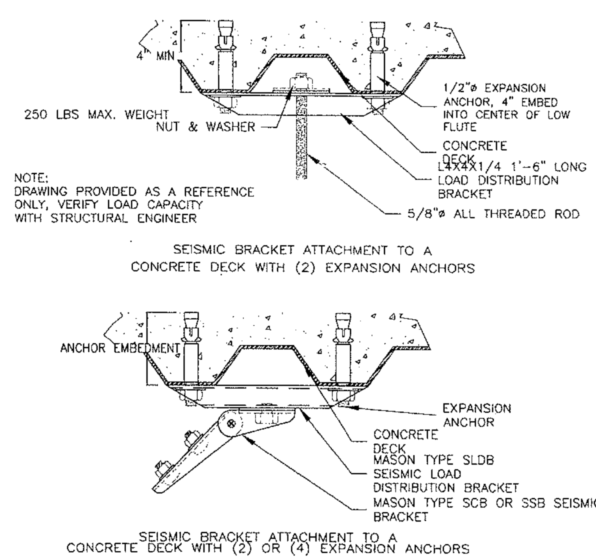
IN-LINE DRYER BOOSTER FAN



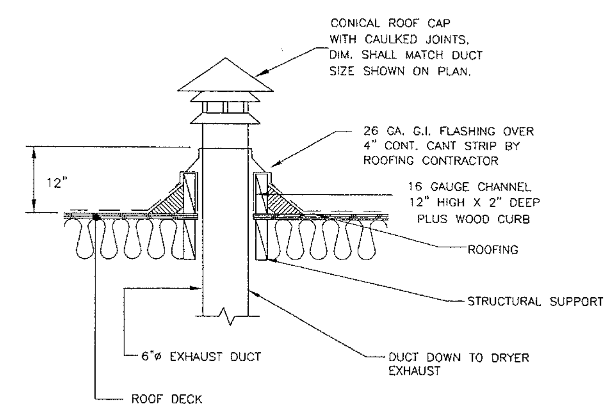
TOILET EXHAUST FAN | NTS | 3



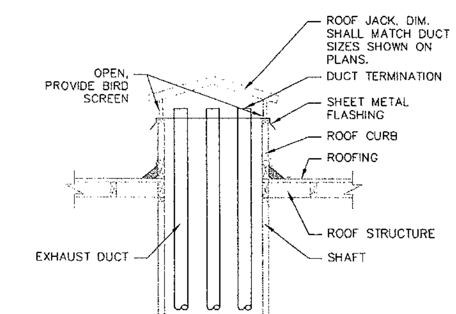
ACOUSTICAL LOUVER | NTS | 3



ATTACHMENT TO STRUCTURE (TYP) | NTS | 3



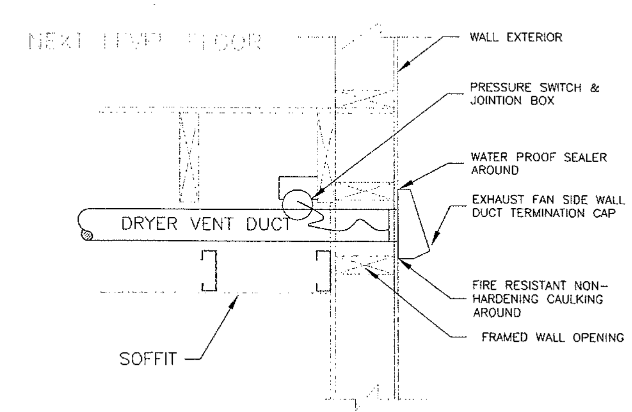
ROOF JACK | NTS | 3



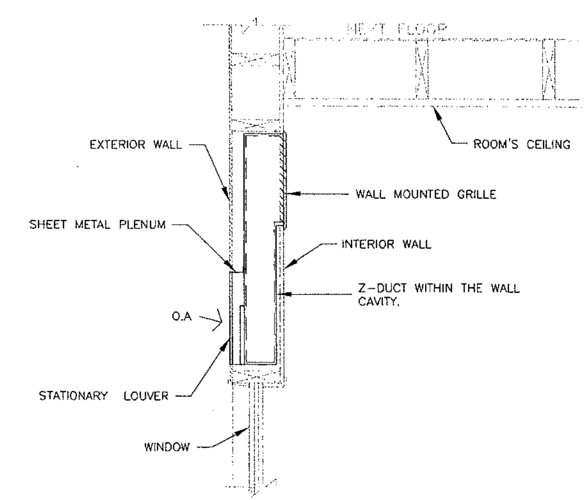
MULTIPLE DUCT ROOF JACK | NTS | 3

Z-DUCT DETAIL | NTS | 3

GARAGE EXHAUST FAN | NTS | 3



EXTERIOR-MOUNT DRYER BOOSTER | NTS | 3



Z-DUCT DETAIL | NTS | 3

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39 RESIDENTIAL UNITS, OAKLAND, CA

REGISTERED PROFESSIONAL ENGINEER
SRDJAN G. REBRACA
No. M28498
Exp. 06/30/07
MECHANICAL
STATE OF CALIFORNIA

880 West MacArthur Blvd.

A.P. #: 012_095902101
OAKLAND, CA
PROJECT NO. 06-03

DATE	ISSUE
04-05-06	PLANNING SUBMITTAL
06-21-06	PLANNING REV 1
08-08-06	PLANNING REV 2
11-20-06	PROGRESS TO CLIENT
03-01-07	BUILDING PERMIT

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ph: (408) 522-5255
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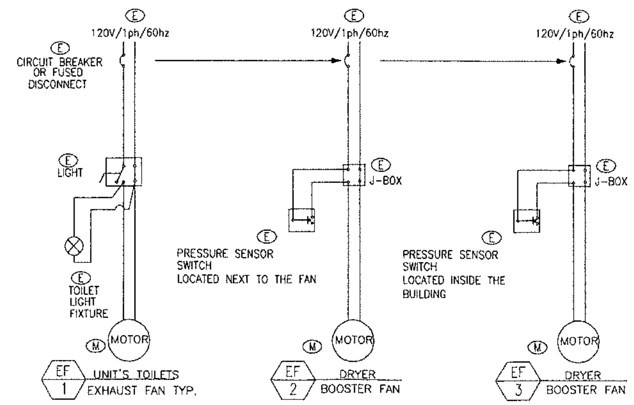
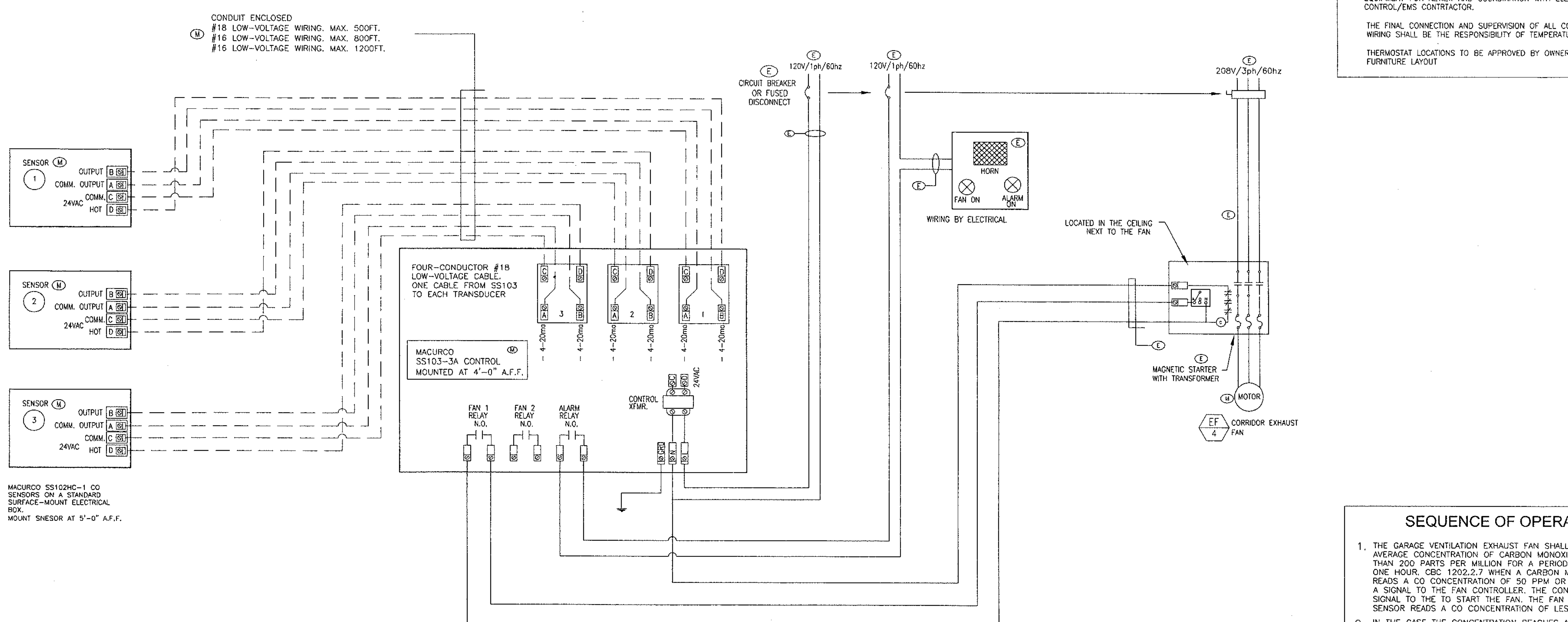
SCALE: NTS

MECHANICAL DETAILS

M6.1



APARTMENTS' FAN CONTROLS



GARAGE VENTILATION CONTROL PANEL

LEGEND

SYMBOL	ABBR.	DESCRIPTION
	DI	DIGITAL INPUT
	DO	DIGITAL OUTPUT
	AI	ANALOG INPUT
	AO	ANALOG OUTPUT
	DDC	DIRECT DIGITAL CONTROL
	LAN	LOCAL AREA NETWORK
	I/O	INPUT/OUTPUT
	BMS	BUILDING MANAGEMENT SYSTEM
	EMS	ENERGY MANAGEMENT SYSTEM
		POWER WIRING BY ELECTRICAL CONTRACTOR
		LOW VOLTAGE BY TEMPETATURE CONTROL/BMS CONTRATOR
		DATA LINE BY TEMPERATURE CONTROL/BMS CONTRACTOR
(E)		FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR
(M)		FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR
(C)		FURNISHED AND INSTALLED BY TEMPERATURE CONTROL/BMS CONTRACTOR

NOTES

THIS DRAWING IS FOR COORDINATION ONLY.
TEMPERATURE CONTROL/BMS CONTRACTOR IS FULLY RESPONSIBLE FOR THE COMPLETE HVAC CONTROL DDC SYSTEM AND BMS NETWORK OPERATION, AND SHOULD INCLUDE IN HIS BID ALL NECESSARY ITEMS.

TEMPERATURE CONTROL/EMS CONTRACTOR TO VERIFY CONTROL AND WIRING DIAGRAMS WITH ACTUAL MANUFACTURERS CONTROL DIAGRAMS.

MECHANICAL CONTRACTOR TO PROVIDE DETAILED WIRING DIAGRAMS OF ALL HVAC EQUIPMENT FOR REVIEW AND COORDINATION WITH ELECTRICAL AND TEMPERATURE CONTROL/EMS CONTRTACTOR.

THE FINAL CONNECTION AND SUPERVISION OF ALL CONTROL WIRING AND INTERLOCK WIRING SHALL BE THE RESPONSIBILITY OF TEMPERATURE CONTROL/BMS CONTRACTOR.

THERMOSTAT LOCATIONS TO BE APPROVED BY OWNER AND COORDINATED WITH FURNITURE LAYOUT

SEQUENCE OF OPERATION

1. THE GARAGE VENTILATION EXHAUST FAN SHALL MAINTAIN A MAXIMUM AVERAGE CONCENTRATION OF CARBON MONOXIDE OF NOT GRATER THAN 200 PARTS PER MILLION FOR A PERIOD OF NOT EXCEEDING ONE HOUR. CBC 1202.2.7 WHEN A CARBON MONOXIDE SENSOR READS A CO CONCENTRATION OF 50 PPM OR OVER, IT WILL SEND A SIGNAL TO THE FAN CONTROLLER. THE CONTROLLER WILL SEND A SIGNAL TO THE TO START THE FAN. THE FAN WILL RUN UNTIL THE SENSOR READS A CO CONCENTRATION OF LESS THAN 50 PPM.
2. IN THE CASE THE CONCENTRATION REACHES ABOVE 200 PPM, THE AUDIBLE/VISUAL ALARM WILL BE ACTIVATED AND THE FAN WILL STAY ON UNTIL NONE OF THE CO SENSORS READS 50 PPM OR OVER.
3. THE FIRE DEPARTMENT HAS THE OPTION TO OVERRIDE THE FAN SEQUENCE OF OPERATION AND TO TURN "ON" & "OFF" THE EXHAUST FAN.

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MECHANICAL CONTROLS

M9.1