

ASSESSOR'S MAP 66

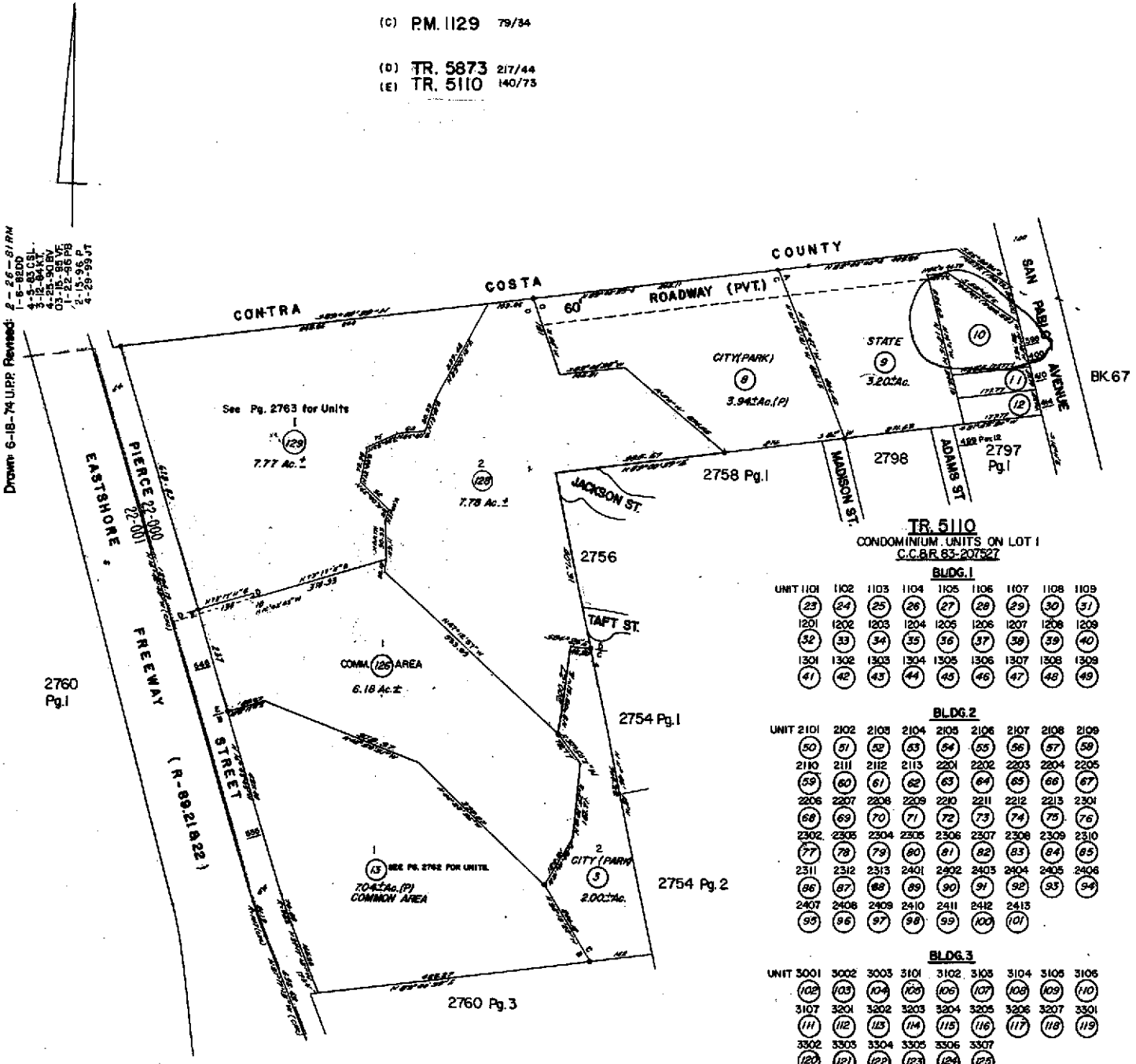
Code Area Nos. 22-000

2761

Scale: 1" = 200'

- (A) RCHO. SAN ANTONIO (V.G.D. PERALTA) 8P/50
- (B) TR. 3528 81/68
- (C) PM. 1129 79/34
- (D) TR. 5873 217/44
- (E) TR. 5110 140/75

Drawn 6-18-74 U.P.P. Revised:
 1-6-8200
 1-8-8308L
 3-12-84KV
 03-18-84V
 1-22-86PB
 2-15-96P
 4-29-99T



TR. 5110
 CONDOMINIUM UNITS ON LOT 1
 C.C.B.R. 83-207527

BLDG. 1

UNIT 1101	1102	1103	1104	1105	1106	1107	1108	1109
23	24	25	26	27	28	29	30	31
1201	1202	1203	1204	1205	1206	1207	1208	1209
32	33	34	35	36	37	38	39	40
1301	1302	1303	1304	1305	1306	1307	1308	1309
41	42	43	44	45	46	47	48	49

BLDG. 2

UNIT 2101	2102	2103	2104	2105	2106	2107	2108	2109
50	51	52	53	54	55	56	57	58
2110	2111	2112	2113	2201	2202	2203	2204	2205
59	60	61	62	63	64	65	66	67
2206	2207	2208	2209	2210	2211	2212	2213	2301
68	69	70	71	72	73	74	75	76
2302	2303	2304	2305	2306	2307	2308	2309	2310
77	78	79	80	81	82	83	84	85
2311	2312	2313	2401	2402	2403	2404	2405	2406
86	87	88	89	90	91	92	93	94
2407	2408	2409	2410	2411	2412	2413		
95	96	97	98	99	100	101		

BLDG. 3

UNIT 3001	3002	3003	3101	3102	3103	3104	3105	3106
102	103	104	105	106	107	108	109	110
3107	3201	3202	3203	3204	3205	3206	3207	3301
111	112	113	114	115	116	117	118	119
3302	3303	3304	3305	3306	3307			
120	121	122	123	124	125			

Formerly: Pct. of page 2760

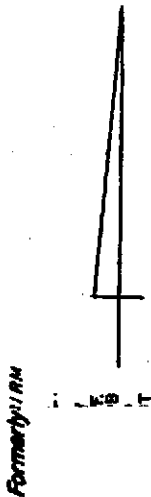
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- (A) RCHO. SAN ANTONIO (V.B.D. PERALTA) 8P/50
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- (C) P.M. 1129 79/54
- (D) TR. 5873 217/44
- (E) TR. 5110 140/73



COUNTY

HPN-129

ACM.

Reference: Tr. 3570 81/68, PM 2652 100/66, PM 3344 121/68, P.M. 4019 141/72, PM 3889 135/70



COUNTY OF ALAMEDA Assessor's Office Property Value System

[HELP](#)

[New Query](#)

Property Search Results



Name	Parcel No	Property Address	Use	Links
OSOSKE DIANE TR	66-2761-10	398 SAN PABLO AVE , ALBANY, CA 94706-1123	8000	HistoryValueTransfer Map list
OSOSKE, GEORGE W	66-2761-10	398 SAN PABLO AVE , ALBANY, CA 94706-1123	8000	HistoryValueTransfer Map list



All information on this site is to be assumed accurate for property assessment purposes only, and is based upon the Assessor's knowledge of each property. Caution is advised for use other than its intended purpose.

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Property Detail

Alameda, CA RON THOMSEN, ASSESSOR

Parcel # (APN): **066 -2761-010-00** Use Description:

Parcel Status:

Owner Name: **OSOSKE DIANE & GEORGE W**

Mailing Address: **440 DAVIS CT #910 SAN FRANCISCO CA 94111-2426**

Situs Address: **398 SAN PABLO AVE ALBANY CA 94706-1123 C072**

Legal

Description:

ASSESSMENT

Total Value: \$317,529	Use Code: 800	Zoning:
Land Value: \$161,413	Tax Rate Area: 22000	Census Tract: 4203.00/1
Impr Value: \$156,116	Year Assd: 2004	Improve Type:
Other Value:	Property Tax:	Price/SqFt:
% Improved 49%	Delinquent Yr	
Exempt Amt:	HO Exempt?: N	

SALES HISTORY

	<u>Sale 1</u>	<u>Sale 2</u>	<u>Sale 3</u>	<u>Transfer</u>
Recording Date:				09/29/2003
Recorded Doc #:				2003575384
Recorded Doc Type:				
Transfer Amount:				
Sale 1 Seller (Grantor):				
1st Trst Dd Amt:	Code1:		2nd Trst Dd Amt:	Code2:

PROPERTY CHARACTERISTICS

Lot Acres: 0.730	Year Built: 1959	Fireplace:
Lot SqFt: 32,000	Effective Yr: 1980	A/C:
Bldg/Liv Area: 4,003	Total Rooms:	Heating:
Units: 1	Bedrooms:	Pool: POOL
Buildings: 2	Baths (Full): 5	Park Type:
Stories: 1.0	Baths (Half):	Spaces:
Style:	Garage SqFt:	Site Inflnce:
Construct:		Timber Preserve:
Quality: 6.5		Ag Preserve:
Building Class: S		
Condition:		
Other Rooms:		

Property Detail**Alameda, CA Ron Thomsen, Assessor**

Parcel # (APN): 066 -2761-010-00

Use Description:

Parcel Status:

Owner Name: OSOSKE GEORGE W TR

Mailing Address: *440 Davis Ct., #910 S.F., CA 94111*
~~110 CROWN RD, KENTFIELD CA 94904-2706~~

Situs Address: 398 SAN PABLO, ALBANY CA 94706

Legal
Description:**ASSESSMENT**

Total Value: \$305,598

Use Code: 800

Zoning:

Land Value: \$155,348

Tax Rate Area: 22000

Impr Value: \$150,250

Year Assd: 2002

Improve Type:

Other Value:

Property Tax:

Price/SqFt:

% Improved: 49%

Delinquent Yr:

Exempt Amt:

Exempt Codes:

SALES HISTORYSale 1Sale 2Sale 3Transfer

Recording Date:

03/14/1994

Recorded Doc #:

94 096165

Recorded Doc Type:

Transfer Amount:

Sale 1 Seller (Grantor):

1st Trst Dd Amt:

Code1:

2nd Trst Dd Amt:

Code2:

PROPERTY CHARACTERISTICS

Lot Acres: 0.730A

Year Built: 1959

Fireplace:

Lot SqFt: 32,000

Effective Yr: 1980

A/C:

Bldg/Liv Area: 4,003

Heating:

Units: 1

Total Rooms:

Pool: POOL

Buildings: 2

Bedrooms:

Flooring:

Stories: 1.00

Baths (Full): 5

Park Type:

Style:

Baths (Half):

Spaces:

Construct:

Bsmt SqFt:

Site Infnce:

Quality: 6.5

Garage SqFt:

Timber Preserve:

Building Class: S

Ag Preserve:

Condition:

Other:

Other Rooms: