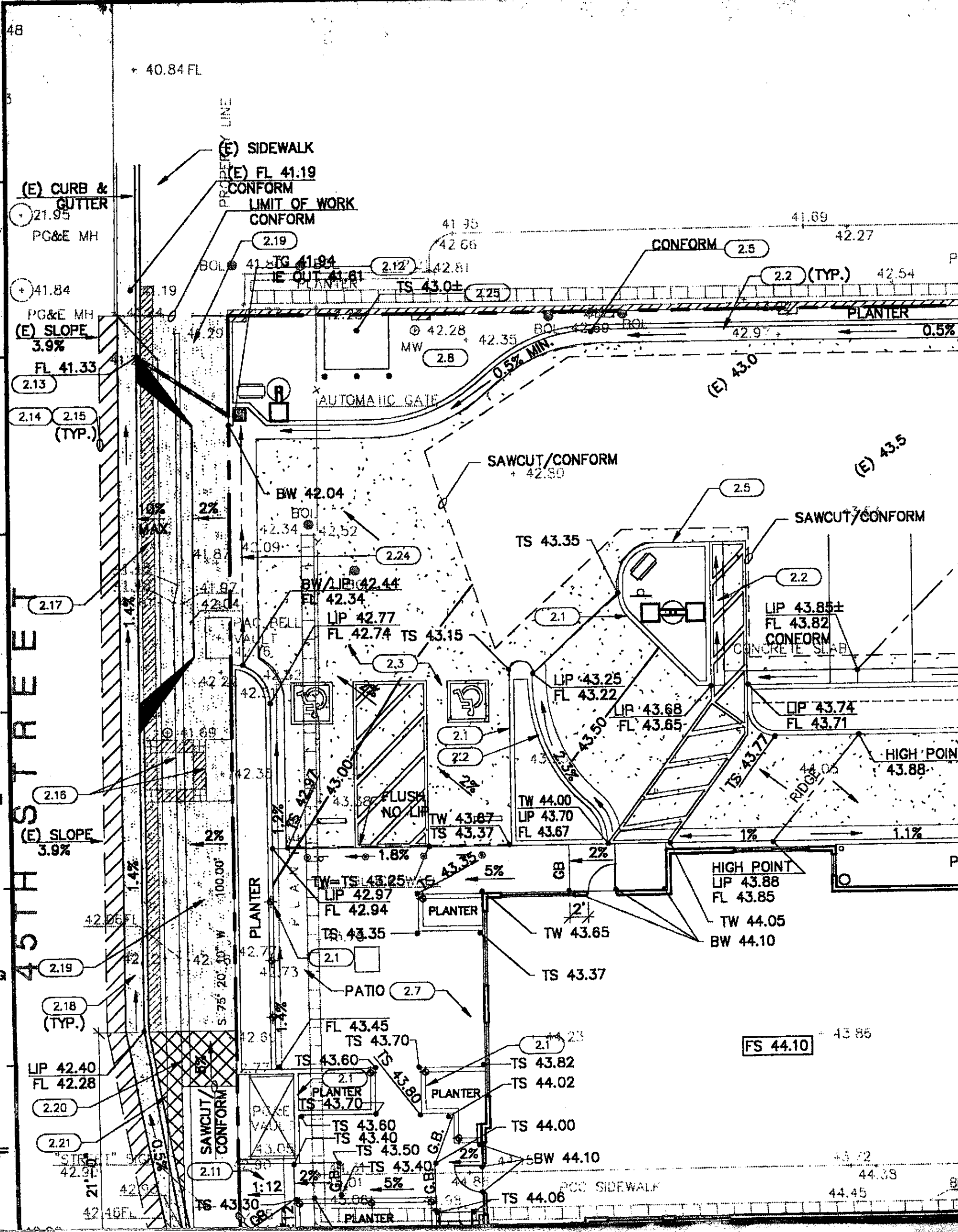


48  
M  
L  
K  
J  
I  
H  
G  
F

1 2 3 4 5



7

8

9

10

11

PCC PAVING

41.42  
42.34

41.42  
42.02

SIDEWALK

HIGH POINT CONFORM

BLOCK WALL

42.11 (TYP.)

N 14° 39' 50" W

+ 43.55

43.61

43.42

(E) 43.5

2.8 (TYP.)

2' (TYP.)

(E) CONCRETE 2.9

⊙ CORE HOLE  
43.43

2.5 (TYP.)

SAWCUT/CONFORM  
+ 43.52

+ 43.86

2.5

△ CP-1, CC SET  
43.28

2.2

2.1

2.2

2.1

LIP 43.53  
FL 43.50

LIP 43.45  
FL 43.42

2.23

CONCRETE SLAB  
0.74%

TS 43.0

LIP 42.9  
FL 42.8

2.1

2.8

TS 43.45  
TS 43.50

2.3

LIP 43.08  
FL 43.05

2.3

+ 43.00

TS 4

TS 4

1%

TS 43.48

TS 43.46

LIP 43.23  
FL 43.19

PLANTER

TS 42.86  
(TYP.)

TS 4

TS 4

2.2

LIP 43.37  
FL 43.34

LIP 43.30  
FL 43.27

LIP 43.27  
FL 43.24

2.8

TS 43.15

PLANTER

TS 4

TS 4

ER

+ 43.51

TS 44.02

CONCRETE CURB

LIP 43.27  
FL 43.24

43.00

TS 42.73  
CORE HOLE  
42.89

2.5

SAWCUT/CO (TYP.)

BW 44.10

1%

TS 43.97

⊙ CORE HOLE  
42.93

2.3 (TYP.)

LIP 42.58  
FL 42.55

2.5

TS 44.10

43.50

2%

TS 44.00  
LIP 43.87  
FL 43.84

⊙ DI 42.77 GR  
40.92 INV

⊙ DI 42.77 GR  
40.92 INV

42.50  
FL 42.49

43.21

WALL

44.01

TS 43.97

# 43.81

2.6%

PCC SIDEWALK

42.50  
FL 42.49

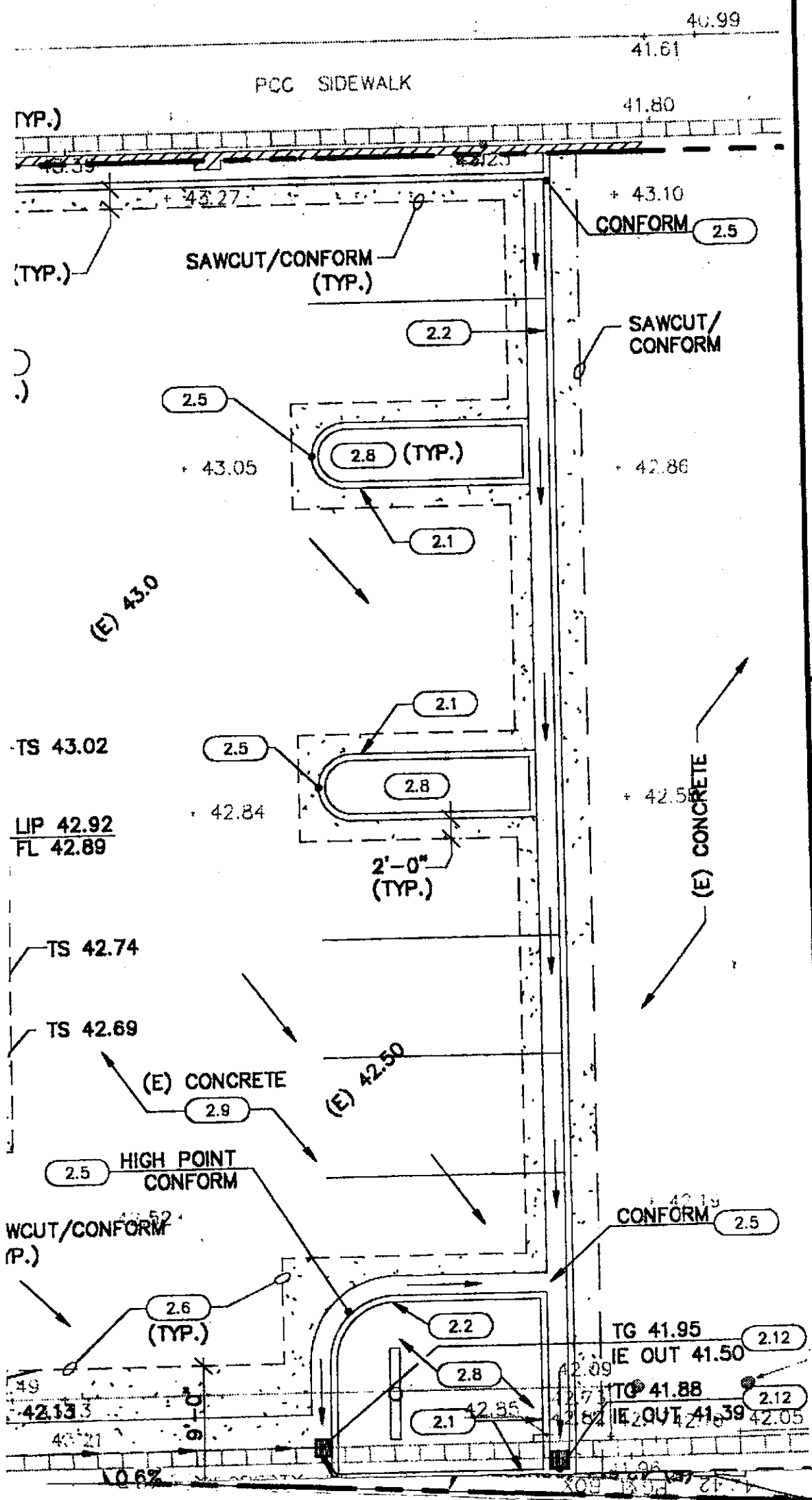
43.21

STEPS 2.4

### GRADING LEGEND

DIV\CIVILCAD\LEGENDS\GRADELEG

	OR	0.00 (E)	EXISTING SPOT ELEVATION
		0.00	PROPOSED ELEVATION
		0.00	PROPOSED CONTOURS
		0.00	EXISTING CONTOURS
			DIRECTION OF DRAINAGE
			PROPERTY LINE
			GRADE BREAK
BW	BACK OF WALK	TC	TOP OF CURB
FL	FLOW LINE	TG	TOP OF GR.
FS	TOP OF FLOOR SLAB	TOW	TOP OF WA
IE	INVERT ELEVATION	TP	TOP OF PA
LIP	EDGE OF SWALE OR GUTTER	FG	FINISH GRA
TS	TOP OF SLAB	TW	TOP OF W
GB	GRADE BREAK		NEW CONC
(E)	EXISTING		



### KEY NOTES

DIV\CIVILCAD\nOTES\KEYNOTES

0.0

#### DIVISION 2 - SITE WORK

- 2.1 CONSTRUCT 6" CONCRETE CURB PER DETAIL K15, SHEET C-
- 2.2 CONSTRUCT 8" CONCRETE CURB WITH 18" GUTTER PER DET C-2.
- 2.3 CONCRETE PAVING PER DETAIL D9, SHEET C-2. INSTALL ( AT 15.0' O.C. MAX, AND EXPANSION JOINTS AT 45.0' O.C. DETAIL A12, SHEET C2.
- 2.4 CONSTRUCT NEW CONCRETE STEPS PER DETAIL A6, SHEET C2. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL
- 2.5 WHERE PROPOSED (NEW) GRADES ARE NOT CALLED OUT O INSTALL NEW CURB AND CURB & GUTTER TO CONFORM TO GRADES. CONTRACTOR SHALL NOT INTERRUPT EXISTING SH PATTERNS.
- 2.6 SAW CUT AND REMOVE EXISTING CONCRETE PAVEMENT AS NEW WORK.
- 2.7 CONSTRUCT NEW 4" THICK CONCRETE PATIO OVER 4" AGG SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR DECORA INSTALL CONTROL JOINTS AT 15.0' O.C. MAX, AND EXPANS 45.0' O.C. MAX. SEE DETAIL A12, SHEET C2.
- 2.8 REMOVE EXISTING PAVEMENT, BASE AND SUB-GRADE TO / BELOW PROPOSED PLANTER GRADES. REPLACE WITH IMPOF FRIABLE SANDY LOAM TO WITHIN 2" OF TOP OF CURB.
- 2.9 THIS PORTION OF THE SITE GRADING IS NOT BEING RE-W EXISTING CONDITIONS OR DEFICIENCIES WILL REMAIN.

AC BELL VAULT S 14.39' 50" E 2.26

# GRADING LEGEND

DIV\CIVILCAD\LEGENDS\GRADELEG

	OR		EXISTING SPOT ELEVATION
			PROPOSED ELEVATION
			PROPOSED CONTOURS
			EXISTING CONTOURS
			DIRECTION OF DRAINAGE FLOW
			PROPERTY LINE
			GRADE BREAK
BW	BACK OF WALK	TC	TOP OF CURB
FL	FLOW LINE	TG	TOP OF GRATE
FS	TOP OF FLOOR SLAB	TOW	TOP OF WALL
IE	INVERT ELEVATION	TP	TOP OF PAVEMENT
LIP	EDGE OF SWALE OR GUTTER	FG	FINISH GRADE
TS	TOP OF SLAB	TW	TOP OF WALK
GB	GRADE BREAK		NEW CONCRETE
(E)	EXISTING		

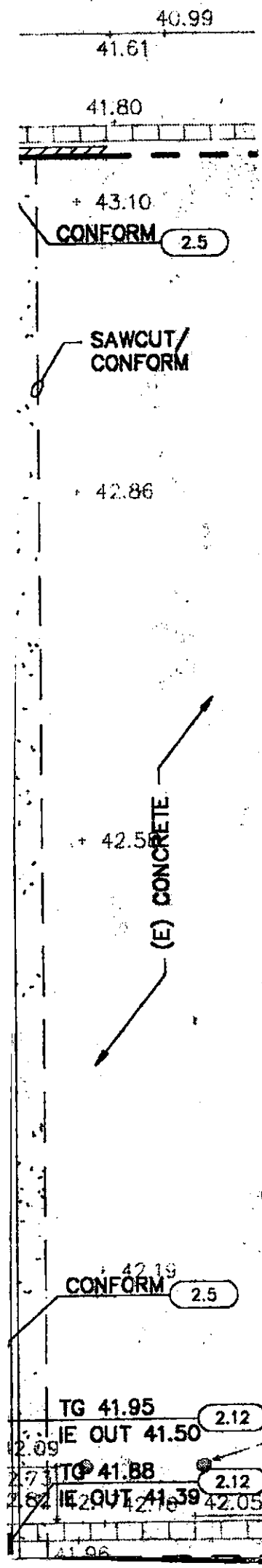
## KEY NOTES

DIV\CIVILCAD\nOTES\KEYNOTES

0.0

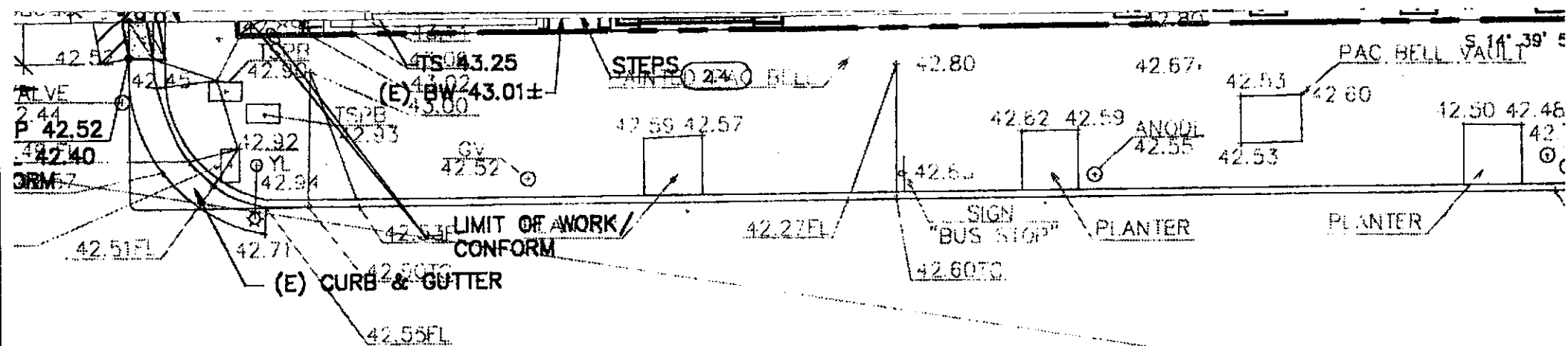
### DIVISION 2 - SITE WORK

- 2.1 CONSTRUCT 6" CONCRETE CURB PER DETAIL K15, SHEET C-2.
- 2.2 CONSTRUCT 8" CONCRETE CURB WITH 18" GUTTER PER DETAIL G15, SHEET C-2.
- 2.3 CONCRETE PAVING PER DETAIL D9, SHEET C-2. INSTALL CONTROL JOINTS AT 15.0' O.C. MAX, AND EXPANSION JOINTS AT 45.0' O.C. MAX. SEE DETAIL A12, SHEET C2.
- 2.4 CONSTRUCT NEW CONCRETE STEPS PER DETAIL A6, SHEET C2. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.
- 2.5 WHERE PROPOSED (NEW) GRADES ARE NOT CALLED OUT ON PLAN, INSTALL NEW CURB AND CURB & GUTTER TO CONFORM TO EXISTING GRADES. CONTRACTOR SHALL NOT INTERRUPT EXISTING SHEET FLOW PATTERNS.
- 2.6 SAW CUT AND REMOVE EXISTING CONCRETE PAVEMENT AS REQUIRED FOR NEW WORK.
- 2.7 CONSTRUCT NEW 4" THICK CONCRETE PATIO OVER 4" AGGREGATE BASE. SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR DECORATIVE DETAILING. INSTALL CONTROL JOINTS AT 15.0' O.C. MAX, AND EXPANSION JOINTS AT 45.0' O.C. MAX. SEE DETAIL A12, SHEET C2.
- 2.8 REMOVE EXISTING PAVEMENT, BASE AND SUB-GRADE TO A DEPTH OF 18" BELOW PROPOSED PLANTER GRADES. REPLACE WITH IMPORTED WEED FREE FRIABLE SANDY LOAM TO WITHIN 2" OF TOP OF CURB.
- 2.9 THIS PORTION OF THE SITE GRADING IS NOT BEING RE-WORKED. ANY EXISTING CONDITIONS OR DEFICIENCIES WILL REMAIN.



KFC RESTAURANT  
45th and SAN PABLO  
EMERYVILLE, CALIFORNIA

GRADING PLAN



S

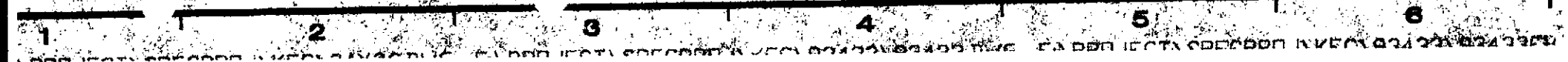
**CONSTRUCTION NOTES**

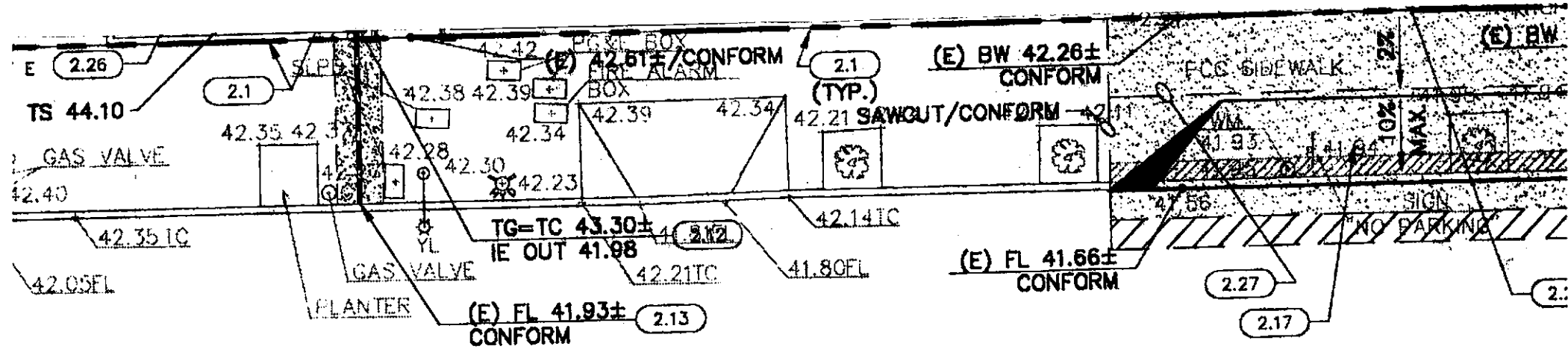
1. THIS PLAN HAS BEEN REVIEWED BY THE CITY AND/OR ITS AUTHORIZED REPRESENTATIVE, BUT SUCH CHECKING AND/OR APPROVAL DOES NOT EXEMPT THE CONTRACTOR FROM HIS RESPONSIBILITY TO CORRECT ERRORS, OMISSIONS OR MAKE CHANGES REQUIRED BY CONDITIONS DISCOVERED IN THE FIELD DURING THE COURSE OF CONSTRUCTION. RHL & THE CITY NEED TO BE NOTIFIED IN WRITING OF ANY CHANGES MADE DURING CONSTRUCTION PRIOR TO COMMENCEMENT OF THE WORK.

2. ALL VISIONS TO THIS PLAN MUST BE REVIEWED BY THE GOVERNING AGENCY'S REPRESENTATIVE TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS AND SIGNED OFF BY THE APPROPRIATE GOVERNING AGENCY PRIOR TO COMMENCEMENT OF THE IMPROVEMENTS.

3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS OR HIS CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE UTILITIES (USA) AT (800) 642-2444 TO INDICATE EXISTING UTILITIES AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THESE UTILITIES. THE CONTRACTOR SHALL DO NO EXCAVATION UNTIL ALL UTILITY AGENCIES AND THE CITY HAVE BEEN NOTIFIED AND HAVE BEEN GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD.

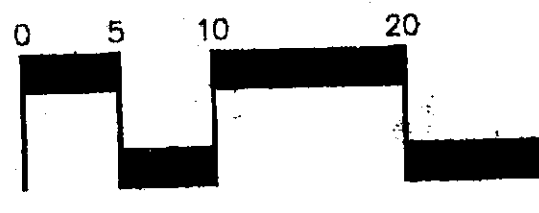
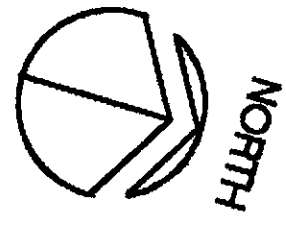
4. AT THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MATERIAL TYPE FOR ALL EXISTING UNDERGROUND UTILITIES ON THE SITE, ACROSS THE SITE AND AT THE INDICATED POINTS OF CONNECTION. IF THE EXISTING CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN THE CONTRACTOR SHALL NOTIFY RHL IMMEDIATELY. THE CONTRACTOR SHALL VERIFY THAT THE NEW UTILITY SERVICE WILL MEET THE INDICATED PIPE SLOPES.
5. ALL WORK SHALL BE PER OSHA AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
6. THE CONTRACTOR SHALL SECURE ALL ENCROACHMENT PERMITS FROM ALL APPLICABLE AGENCIES BEFORE THE COMMENCEMENT OF WORK.
7. THE CONTRACTOR SHALL SECURE A TRENCH PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO EXCAVATION OF ANY TRENCH OVER FIVE FEET IN DEPTH.
8. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY EXCEPT FOR THE ADEQUACY OF HIS DESIGN CONTAINED HEREIN.





# PABLO AVENUE

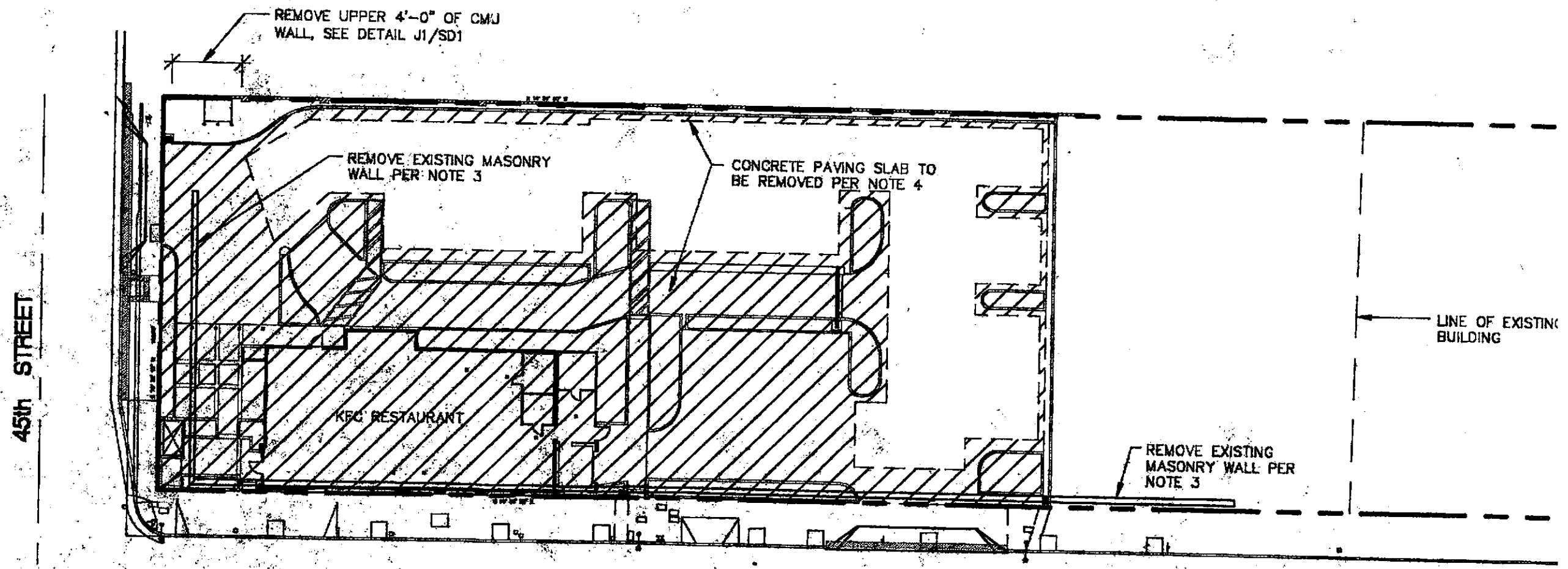
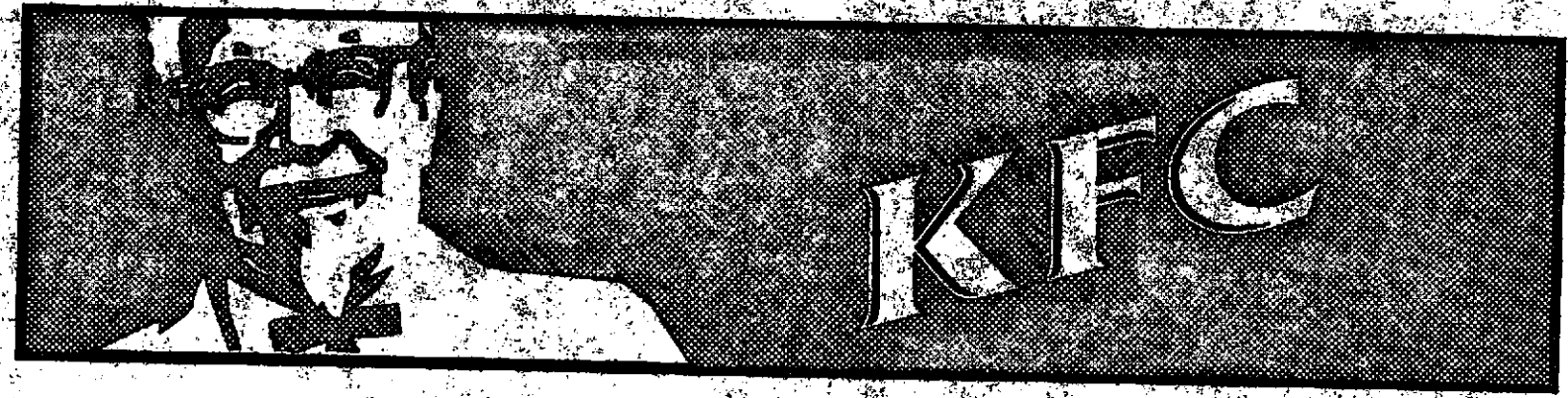
1. GRADING PLAN ELEVATIONS ARE BASED ON A SURVEY BY :RHL DESIGN GROUP, INC.
2. ALL GRADING, BASE & SUBGRADE PREPARATION TO BE CONSISTENT WITH GEOTECHNICAL REPORT.
3. ALL GRADING TO BE IN ACCORDANCE WITH U.B.C. APPENDIX CHAPTER # 33, 1994 U.B.C.
4. FOR INVERT ELEVATIONS AND PIPING INFORMATION SEE UTILITY PLAN, SHEET C3.
5. CONTRACTOR IS RESPONSIBLE FOR RESETTING EXISTING MONITORING WELLS, MANHOLES, CLEAN-OUT OR ANY OTHER STRUCTURE TO REMAIN AS NECESSARY.
6. ALL NEW PAVING AND CONCRETE WORK SHALL MATCH THE EXISTING GRADES AT LIMITS OF WORK.
7. REPLACE EXISTING A.C. PAVING AND/OR CONCRETE AS REQUIRED DUE TO NEW CONSTRUCTION. INSTALL NEW PAVING PER PLAN SPECIFICATIONS.
8. EXISTING PAVING AND/OR CONCRETE SHALL BE CUT TO A NEAT, STRAIGHT LINE (WHEN APPLICABLE). A.C. PAVING EXPOSED EDGES SHALL BE TACKED WITH EMULSION PRIOR TO PAVING.
9. NEW CONCRETE PAVING TO BE SEALED ENTIRELY WITH C & L COATING WB-20 AQUA-CRETE. SEAL ALL CONCRETE JOINTS PER CLIENTS REPRESENTATIVE'S DIRECTION.
10. ALL TOP OF CURBS ARE TO BE 8" ABOVE ADJACENT PAVEMENT OR FLOW LINE UNLESS INDICATED OTHERWISE.



SCALE: 1"=10'-0"







SAN PABLO



SHEET NO.

TITLE

CS	COVER SHEET
C1	GRADING PLAN
C2	CIVIL DETAILS
C3	UTILITY PLAN
L1	LANDSCAPE PLANTING PLAN
L2	LANDSCAPE IRRIGATION PLAN
L3	LANDSCAPE CONSTRUCTION DETAILS
L4	LANDSCAPE CONSTRUCTION SPECIFICATIONS
AS1	SITE PLAN
AS2	SITE DETAILS
A1	FLOOR PLAN & DETAILS
A2	EXTERIOR ELEVATIONS
A3	ROOF PLAN & DETAILS
A4	BUILDING SECTIONS
A5	WALL SECTIONS
A6	WALL SECTIONS & DETAILS
A7	REFLECTED CEILING PLAN & DETAILS
A8	DOOR & WINDOW DETAILS
A9	INTERIOR ELEVATIONS, DETAILS & SCHEDULES
A10	SEATING PLAN & SCHEDULES
A11	SERVICE COUNTER PLAN & DETAILS
A12	RESTROOM PLAN, ELEVATIONS AND DETAILS
A13	DETAILS
EQ1	EQUIPMENT SCHEDULE
EQ2	EQUIPMENT PLAN & ELEVATIONS
S1	STANDARD DETAILS
S2	FOUNDATION PLAN
S3	ROOF FRAMING PLAN
S4	FOUNDATION DETAILS
S5	FRAMING DETAILS

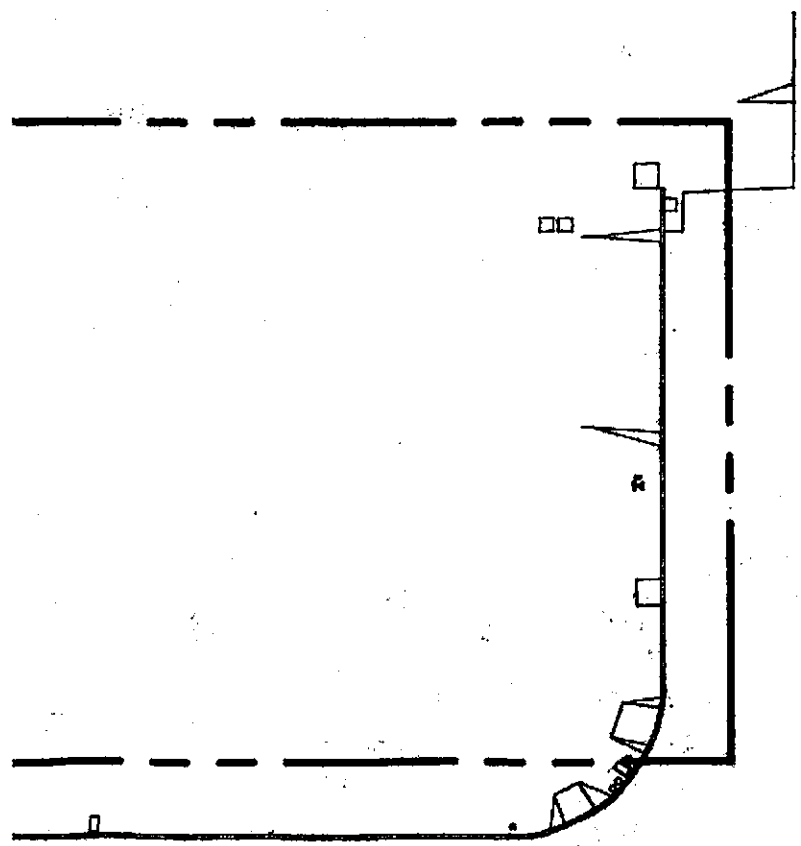
KFC  
 KFC Corporation  
 1900 Colonial Sanders Lane  
 Louisville, Kentucky 40232  
 P.O. Box 34560



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 1137 N. McDOWELL BLVD., PETALUMA, CA 94954 (707) 765-4860  
 KYLE W. MCDONNELL ARCHITECTURAL ARCHITECT • CIVIL ENGINEER

STREET  
 IIA

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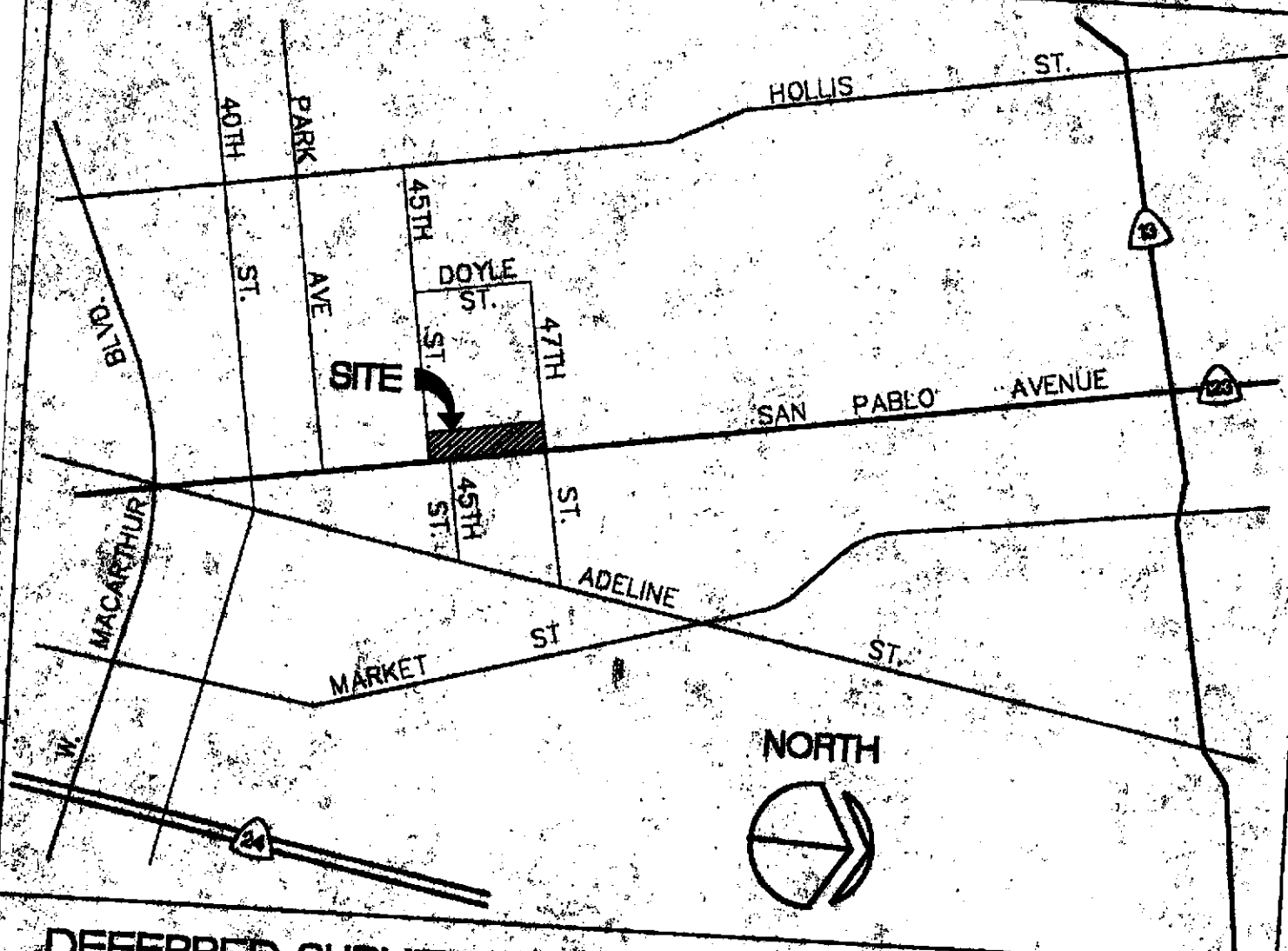


# SITE DEMOLITION PLAN

1" = 30'-0"

SYMBOL LEGEND	MATERIAL LEGEND	OWNER SUPPLIED ITEMS	ABBREVIATIONS	DEMOLITION NOTES																																																																																																																					
<p><b>DINING</b></p> <p>02 NAME &amp; ROOM NUMBER</p> <p>1 DOOR DESIGNATION</p> <p>A WINDOW DESIGNATION</p> <p>231 EQUIPMENT/FURNITURE ITEM NUMBER</p> <p>BUILDING ELEVATION</p> <p>REVISION MARKER</p> <p>DETAIL NO.</p> <p>SHEET</p> <p>INTERIOR ELEVATION KEY</p> <p>ELEVATION NO.</p> <p>SECTION</p> <p>SHEET</p>	<p>GRANULAR FILL</p> <p>CONCRETE</p> <p>CONCRETE BLOCK</p> <p>BRICK</p> <p>INSULATION - RIGID</p> <p>INSULATION - BATT</p> <p>WOOD FRAMING (CONTINUOUS)</p> <p>WOOD FRAMING (INTERRUPTED)</p> <p>FINISH WOOD</p> <p>PLYWOOD</p> <p>GYPSUM BOARD</p> <p>STUCCO</p>	<p>THE FOLLOWING LIST REPRESENT ITEMS THAT MAY BE FURNISHED OR INSTALLED BY OTHERS. THIS LIST SHOULD BE VERIFIED WITH THE OWNER OR KFC CONSTRUCTION REPRESENTATIVE PRIOR TO SUBMITTING A BID ON THIS PROJECT:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Description:</th> <th>Furn. By:</th> <th>Install By:</th> </tr> </thead> <tbody> <tr><td>Artwork</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>Booster Seats</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>Booths</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>Chairs</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>Condiment Counter</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>Cooler/Freezer/Storage Unit</td><td>CFS V.</td><td>G.C.</td></tr> <tr><td>Cupola Tower</td><td>Sign V.</td><td>G.C.</td></tr> <tr><td>D/T Menuboard and Speaker Post</td><td>D/T V.</td><td>G.C.</td></tr> <tr><td>Drive-Thru Sound Sys. w/ Magnetic Loop</td><td>D/T V.</td><td>G.C.</td></tr> <tr><td>Drive Thru Window</td><td>D/T V.</td><td>G.C.</td></tr> <tr><td>Exhaust Hood</td><td>Hood V.</td><td>G.C.</td></tr> <tr><td>Exterior Decor Lights</td><td>Light V.</td><td>G.C.</td></tr> <tr><td>Exterior Trash Receptacle</td><td>Misc. V.</td><td>G.C.</td></tr> <tr><td>Fire Extinguishers</td><td>Misc. V.</td><td>G.C.</td></tr> <tr><td>Hand Sink (Kitchen)</td><td>Misc. V.</td><td>G.C.</td></tr> <tr><td>HVAC Control Panel</td><td>Vendor</td><td>G.C.</td></tr> <tr><td>High Chairs</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>Illuminated Awning</td><td>Awning V.</td><td>Awning V.</td></tr> <tr><td>Kitchen Equipment (all)</td><td>Misc. V.</td><td>G.C.</td></tr> <tr><td>Logo Panels</td><td>Sign V.</td><td>G.C.</td></tr> <tr><td>Metal Awning</td><td>Awning V.</td><td>Awning V.</td></tr> <tr><td>Partitions w/ &amp; w/o Etched Glass</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>Planters</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>Rear Entry Light</td><td>Light V.</td><td>G.C.</td></tr> <tr><td>Security System</td><td>Vendor</td><td>Vendor</td></tr> <tr><td>Settees</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>Signage - Exterior</td><td>Sign V.</td><td>Sign V.</td></tr> <tr><td>Signage - Interior</td><td>Sign V.</td><td>Sign V.</td></tr> <tr><td>Smoke Alarm Panel</td><td>Misc. V.</td><td>G.C.</td></tr> <tr><td>Switchgear</td><td>Misc. V.</td><td>G.C.</td></tr> <tr><td>Tables &amp; Bases</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>3 Compartment Sink</td><td>Misc. V.</td><td>G.C.</td></tr> <tr><td>Toilet Accessories Package</td><td>Misc. V.</td><td>G.C.</td></tr> <tr><td>Transom Panels</td><td>Decor V.</td><td>G.C.</td></tr> <tr><td>Trash Receptacle/Planter</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>Trash Receptacles</td><td>Decor V.</td><td>Decor V.</td></tr> <tr><td>Wall Lights</td><td>Decor V.</td><td>G.C.</td></tr> <tr><td>Yard Lighting with Anchor Bolts</td><td>Light V.</td><td>G.C.</td></tr> </tbody> </table>	Description:	Furn. By:	Install By:	Artwork	Decor V.	Decor V.	Booster Seats	Decor V.	Decor V.	Booths	Decor V.	Decor V.	Chairs	Decor V.	Decor V.	Condiment Counter	Decor V.	Decor V.	Cooler/Freezer/Storage Unit	CFS V.	G.C.	Cupola Tower	Sign V.	G.C.	D/T Menuboard and Speaker Post	D/T V.	G.C.	Drive-Thru Sound Sys. w/ Magnetic Loop	D/T V.	G.C.	Drive Thru Window	D/T V.	G.C.	Exhaust Hood	Hood V.	G.C.	Exterior Decor Lights	Light V.	G.C.	Exterior Trash Receptacle	Misc. V.	G.C.	Fire Extinguishers	Misc. V.	G.C.	Hand Sink (Kitchen)	Misc. V.	G.C.	HVAC Control Panel	Vendor	G.C.	High Chairs	Decor V.	Decor V.	Illuminated Awning	Awning V.	Awning V.	Kitchen Equipment (all)	Misc. V.	G.C.	Logo Panels	Sign V.	G.C.	Metal Awning	Awning V.	Awning V.	Partitions w/ & w/o Etched Glass	Decor V.	Decor V.	Planters	Decor V.	Decor V.	Rear Entry Light	Light V.	G.C.	Security System	Vendor	Vendor	Settees	Decor V.	Decor V.	Signage - Exterior	Sign V.	Sign V.	Signage - Interior	Sign V.	Sign V.	Smoke Alarm Panel	Misc. V.	G.C.	Switchgear	Misc. V.	G.C.	Tables & Bases	Decor V.	Decor V.	3 Compartment Sink	Misc. V.	G.C.	Toilet Accessories Package	Misc. V.	G.C.	Transom Panels	Decor V.	G.C.	Trash Receptacle/Planter	Decor V.	Decor V.	Trash Receptacles	Decor V.	Decor V.	Wall Lights	Decor V.	G.C.	Yard Lighting with Anchor Bolts	Light V.	G.C.	<p>A.B. anchor bolt(s)</p> <p>A/C air conditioning</p> <p>ACOUS. acoustic</p> <p>ADJ. adjustable</p> <p>A.F.F. above finish floor</p> <p>ATT. attached</p> <p>AL. aluminum</p> <p>BLDG. building</p> <p>BLK. block</p> <p>BLKG. blocking</p> <p>Cal. construction joint</p> <p>C center line</p> <p>CLG. ceiling</p> <p>C.M.U. concrete masonry unit</p> <p>CONC. concrete</p> <p>CONST. construction</p> <p>CONT. continuous</p> <p>C.T. ceramic tile</p> <p>DIA. diameter</p> <p>DS. downspout</p> <p>D.T. drive thru</p> <p>DWG. drawing</p> <p>EA. each</p> <p>EL. elevation</p> <p>ELEC. electric(al)</p> <p>EQ. equal</p> <p>EQUIP. equipment</p> <p>EXH. exhaust</p> <p>EXP. JT. expansion joint.</p> <p>F.D. floor drain</p> <p>FIN. finish</p> <p>FL. floor</p> <p>FDTN. foundation</p> <p>FT. foot</p> <p>FTG. footing</p> <p>GA. gauge</p> <p>GALV. galvanized</p> <p>G.W.B. gypsum wall board</p> <p>G.C. gen. contractor</p> <p>HD. hold down</p> <p>HT. height</p> <p>H.M. hollow metal</p> <p>IN. inch(s)</p> <p>INSUL. insulation</p> <p>LB. pound</p> <p>MAT'L. material</p> <p>MAX. maximum</p> <p>MECH. mechanical</p> <p>MFR. manufacturer</p> <p>MIN. minimum</p> <p>MISC. miscellaneous</p> <p>M.O. masonry opening</p> <p>MTG. mounting</p> <p>NO. number</p> <p>NOM. nominal</p> <p>N.I.C. not in contract</p> <p>N.T.S. not to scale</p> <p>O.C. on center</p> <p>OPNG. opening</p> <p>PLYWD. plywood</p> <p>P.S.F. pounds per square foot</p> <p>P.S.I. pounds per square inch</p> <p>PREFAB. prefabricated</p> <p>Q.T. quarry tile</p> <p>QTY. quantity</p> <p>RCPT. receptacle</p> <p>REINF. reinforce</p> <p>REQ'D. required</p> <p>RM. room</p> <p>R.O. rough opening</p> <p>R.T.U. roof top unit</p> <p>SHT. sheet</p> <p>SIM. similar</p> <p>SPEC. specifications</p> <p>SQ. FT. square foot, feet</p> <p>STD. standard</p> <p>STL. steel</p> <p>STRUC. structural</p> <p>SUSP. suspended</p> <p>TEMP. temperature</p> <p>T.D. trench drain</p> <p>THK. thick(ness)</p> <p>T.O.S. top of slab</p> <p>TYP. typical</p> <p>U.O.N. unless otherwise noted</p> <p>VERT. vertical</p> <p>w/ with</p> <p>w/a without</p> <p>WD. wood</p> <p>W.W.F. welded wire fabric</p>	<p>1. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND SECURE ALL DEMOLITION PERMITS FROM THE CITY OF EMERYVILLE.</p> <p>2. REFER TO SPECIFICATIONS SECTION 02070 DEMOLITION FOR GENERAL REQUIREMENTS.</p> <p>3. REMOVE ALL WALL MOUNTED PIPING AND ELECTRICAL CONDUITS AND CAP AND MARK ABANDONED SERVICE TERMINALS. REMOVE TALL MASONRY WALL, PILASTERS AND FOOTINGS. RECOMPACT FOOTINGS AREAS PER RECOMMENDATIONS IN THE SOILS REPORT. PROVIDE SIDEWALK PEDESTRIAN PROTECTION AND CONTROLS PER CITY OF EMERYVILLE REQUIREMENTS.</p> <p>4. SEE CIVIL DRAWINGS FOR ACTUAL AREAS TO BE REMOVED. SAW CUT AND REMOVE SLAB AREA SHOWN FOR NEW BUILDING, PLANTER AND PAVING.</p>
Description:	Furn. By:	Install By:																																																																																																																							
Artwork	Decor V.	Decor V.																																																																																																																							
Booster Seats	Decor V.	Decor V.																																																																																																																							
Booths	Decor V.	Decor V.																																																																																																																							
Chairs	Decor V.	Decor V.																																																																																																																							
Condiment Counter	Decor V.	Decor V.																																																																																																																							
Cooler/Freezer/Storage Unit	CFS V.	G.C.																																																																																																																							
Cupola Tower	Sign V.	G.C.																																																																																																																							
D/T Menuboard and Speaker Post	D/T V.	G.C.																																																																																																																							
Drive-Thru Sound Sys. w/ Magnetic Loop	D/T V.	G.C.																																																																																																																							
Drive Thru Window	D/T V.	G.C.																																																																																																																							
Exhaust Hood	Hood V.	G.C.																																																																																																																							
Exterior Decor Lights	Light V.	G.C.																																																																																																																							
Exterior Trash Receptacle	Misc. V.	G.C.																																																																																																																							
Fire Extinguishers	Misc. V.	G.C.																																																																																																																							
Hand Sink (Kitchen)	Misc. V.	G.C.																																																																																																																							
HVAC Control Panel	Vendor	G.C.																																																																																																																							
High Chairs	Decor V.	Decor V.																																																																																																																							
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<b>DESIGN CRITERIA</b>				<p>THIS STRUCTURAL DESIGN IS BASED UPON THE CRITERIA FROM THE FOLLOWING CODES:</p> <p>1994 UNIFORM BUILDING CODE</p> <p>1994 UNIFORM MECHANICAL CODE</p> <p>1996 NATIONAL ELECTRIC CODE</p> <p>70 MPH WIND SPEED ZONE, EXPOSURE "B"</p> <p>SEISMIC ZONE 4</p> <p><u>SOILS REPORT PREPARED BY:</u></p> <p>J. YANG AND ASSOCIATES          JOB NO. J98-433          2758 CANYON CREEK DR.          SAN RAMON, CA 94583          (510) 831-8678</p>																																																																																																																					

## VICINITY MAP



## DEFERRED SUBMITTALS

DEFERRED SUBMITTALS ARE TO BE MADE FOR THE ROOF JOIST SYSTEM SHOWN IN THE STRUCTURAL DRAWINGS. SEE GENERAL NOTE 7, SHEET S2.

DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER OF RECORD FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF THE REVIEW AND COORDINATION BY THE ARCHITECT/ENGINEER OF RECORD, A SUBMITTAL MAY THEN BE MADE TO THE CITY OF EMERYVILLE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL, WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE TO BE FOUND ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.

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