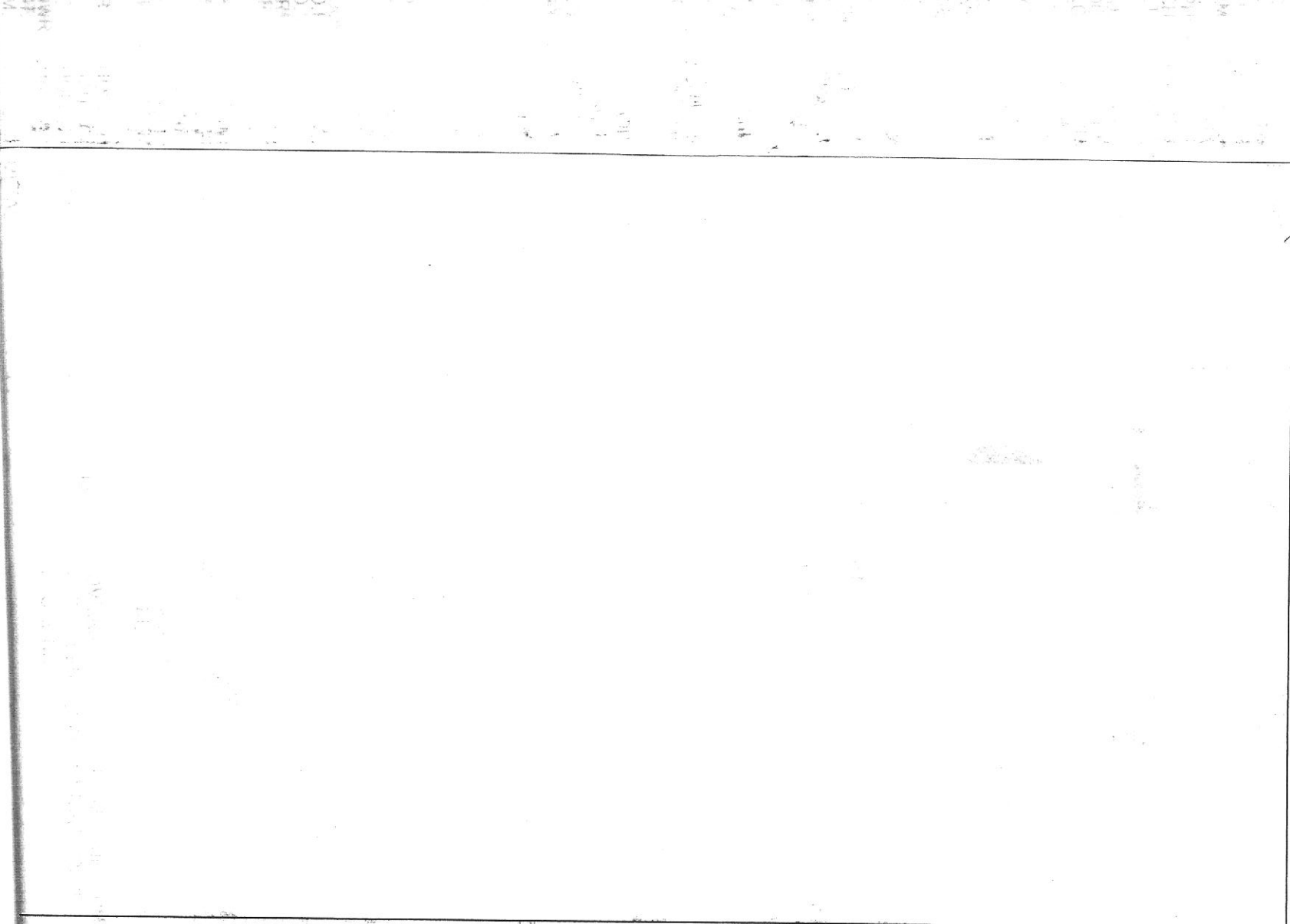


3884 MARTIN LUTHER KING JR. WAY, 40 RESIDENTIAL UNITS,

ABBREVIATIONS

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3884
MARTIN LUTHER KING JR. WAY
OAKLAND, CA



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**3884
Martin Luther King Jr. Way**

**APN# 012-0968-031
OAKLAND, CA
PROJECT NO. 05-21**

**DATE SET ISSUE
04-16-07 ISSUED FOR ENVIRONMENTAL REVIEW**

CONTACT:

SERINA CALHOUN

**(415) 777-0561 P
(415) 777-5117 F**

SCALE: AS NOTED

**COVER
SHEET**

A0.0

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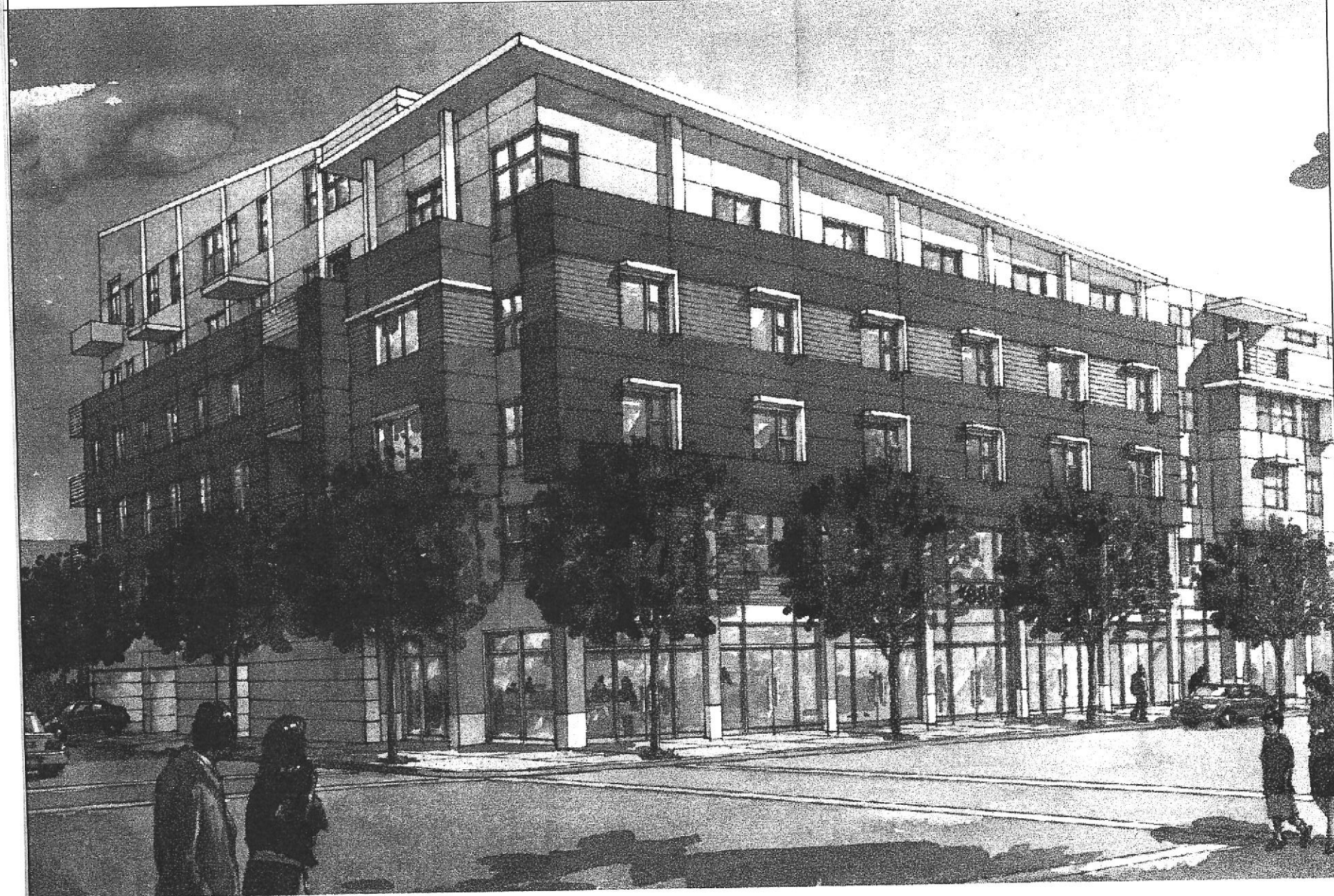
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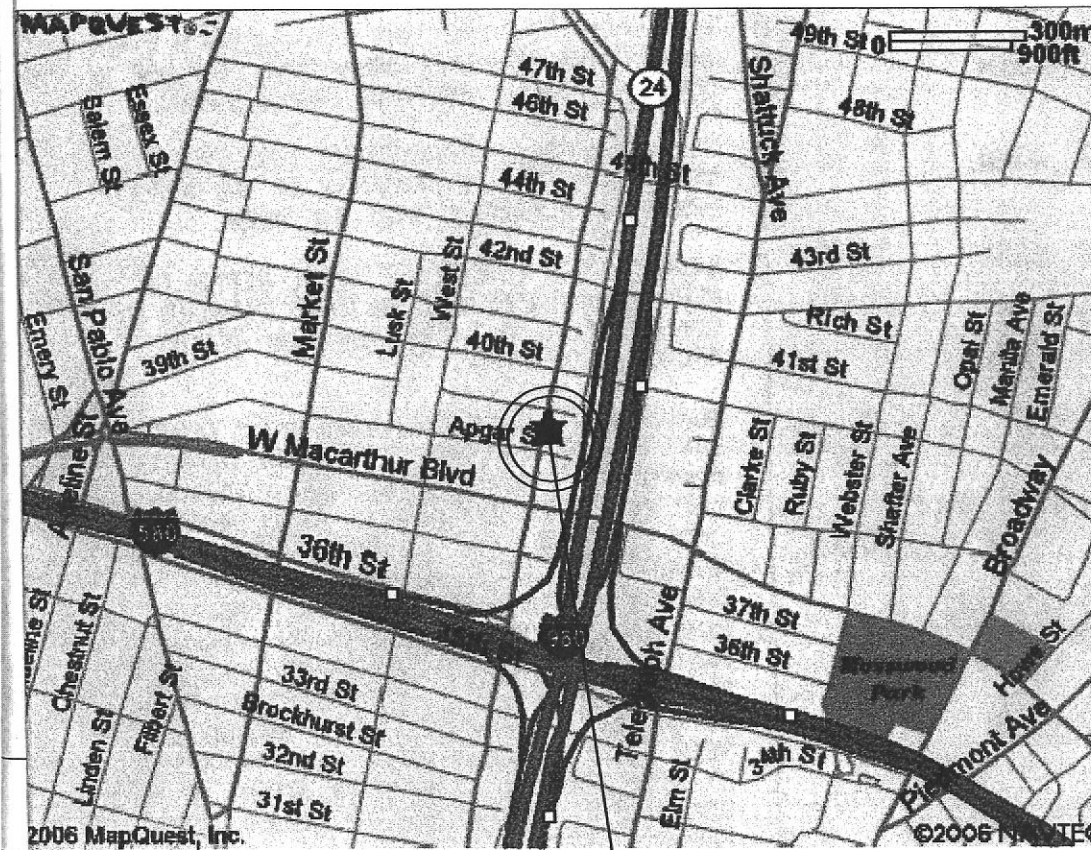
RENDERING



DRAWING INDEX

A0.0	ARCHITECTURAL COVER SHEET
A2.0	BASEMENT PLAN
A2.1	GROUND FLOOR PLAN
A2.2	FLOOR PLAN: 2
A2.3	FLOOR PLAN: 3
A2.4	FLOOR PLAN: 4
A2.5	FLOOR PLAN: 5
A2.6	FLOOR PLAN: 6
A2.7	ROOF PLAN

AREA MAP



NORTH




SITE

CONTACT LIST

- OWNER: COTTER & COYLE, L.L.C.
2193 TRAFALGAR STREET
OAKLAND, CA 94611
510/381-9706
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SAN FRANCISCO, CA 94107
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- CONTACT: TOBY LEVY
SERINA CALHOUN
- SURVEY: HUMANN COMPANY, INC.
1021 BROWN AVENUE
LAFAYETTE, CA 94549
925/283-5000
925/283-3578 FAX
- CONTACT: ERIC HUMANN

3884 MARTIN LUTHER KING JR. BLVD.

40 RESIDENTIAL UNITS,

ABBREVIATIONS	LEGEND	GENERAL NOTES
<p>A/C AIR CONDITIONING ADJ. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR ALUM. ALUMINUM ALT. ALTERNATE APPROX. APPROXIMATELY ARCH. ARCHITECT(URAL) A.C.T. ACOUSTIC CEILING TILE</p> <p>B.BD. TELEPHONE BACK BOARD BLDG. BUILDING BLKG. BLOCKING BOT. BOTTOM</p> <p>C./CL. CENTER LINE CAB. CABINET C.G. CORNER GUARD CHG. CHANGE CLG. CEILING CLOS. CLOSET CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT COL. COLUMN CONC. CONCRETE CONN. CONNECTION CONST. CONSTRUCTION CORR. CORRIDOR C.T. CERAMIC TILE CTR. CENTER</p> <p>DET. DETAIL DIA/Ø DIAMETER DIM. DIMENSION DN. DOWN DWG. DRAWING DS. DOWN SPOUT</p> <p>(E) EXISTING EA. EACH EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EQ. EQUAL EQUIP. EQUIPMENT EXP. EXPANSION EXPOS. EXPOSED EXT. EXTERIOR</p>	<p> DETAIL REFERENCE NUMBER  SHEET WHERE DETAIL IS LOCATED</p> <p> DIRECTION OF SECTION VIEW  INTERIOR SECTION IDENTIFICATION/  SHEET WHERE SECTION IS LOCATED</p> <p> SHEET WHERE ELEVATION IS LOCATED  ELEVATION REFERENCE NUMBER</p> <p> DOOR SYMBOL  WINDOW SYMBOL  WALL / FLOOR TYPE SYMBOL  ELEVATION DATUM  CEILING HEIGHT  REVISION SYMBOL  ROOF DRAIN  FLOOR DRAIN  GAS HOOK-UP  HOSE BIB  WALL-MOUNTED INCANDESCENT  SCONCE LIGHT FIXTURE  WALL-MOUNTED COMPACT FLUORESCENT  SCONCE LIGHT FIXTURE  RECESSED INCANDESCENT LIGHT  FIXTURE AT CEILING  RECESSED COMPACT FLUORESCENT  LIGHT FIXTURE AT CEILING  SURFACE-MOUNTED COMPACT  FLUORESCENT LIGHT FIXTURE AT CEILING  COMBINATION EXHAUST FAN AND COMPACT  FLUORESCENT LIGHT FIXTURE, RECESSED  AT CEILING  SURFACE-MOUNTED FLUORESCENT STRIP  LIGHT FIXTURE, CEILING-MOUNTED  (WITH LENGTH AS INDICATED)  SURFACE-MOUNTED TRACK LIGHT FIXTURE,  CEILING-MOUNTED  (WITH LENGTH AS INDICATED)  2'X4' SURFACE-MOUNTED FLUORESCENT  LIGHT FIXTURE WITH WRAP AROUND LENS  1'X4' SURFACE-MOUNTED FLUORESCENT  LIGHT FIXTURE WITH WRAP AROUND LENS  EMERGENCY LIGHT FIXTURE WITH BATTERY  PACK, CEILING OR WALL-MOUNTED  EXIT LIGHT FIXTURE WITH BATTERY BACK-UP,  CEILING OR WALL-MOUNTED (WITH DIRECTIONAL  ARROWS AS REQUIRED)  CEILING-MOUNTED SMOKE DETECTOR  GARBAGE DISPOSAL  ONE-WAY SWITCH,  MOUNTED AT +48" A.F.F., U.O.N.</p>	<p>GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.</p> <p>EXISTING CONDITIONS: CONDITIONS SHOWN OF THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.</p> <p>PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REIMBURSABLE TO THE G.C.</p> <p>CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.</p> <p>SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.</p> <p>CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.</p> <p>PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.</p> <p>ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.</p> <p>"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.</p> <p>"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR</p>

PRF. FIREPROOF
 URR. FURRING
 A. GAGE
 ALV. GALVANIZED
 C. GENERAL CONTRACTOR
 L. GLASS
 R. GRADE
 YP. BD.GYPSUM BOARD
 B. HOSE BIB
 C. HANDICAPPED
 C. HOLLOW CORE
 DWR. HARDWARE
 GT. HEIGHT
 M. HOLLOW METAL
 P. HIGH POINT
 R. HOUR
 W. HOT WATER
 SUL. INSULATION/INSULATED
 IT. INTERIOR
 AN. JANITOR
 JOINT
 P. LOW POINT
 AX. MAXIMUM
 C. MEDICINE CABINET
 D. MOTION DETECTOR
 ECH. MECHANICAL
 IN. MINIMUM
 TD. MOUNTED
 TL. METAL
 D. NEW
 I.C. NOT IN CONTRACT
 J. NUMBER
 T.S. NOT TO SCALE
 C. ON CENTER
 F. OFFICE
 PNG. OPENING
 OP. OPPOSITE
 T.B. OPEN TO BELOW
 R. PAIR
 LAM. PLASTIC LAMINATE
 D. PAINTED
 YWD. PLYWOOD
 O. PRIVATE OFFICE
 D. RISER
 Q. ROOF DRAIN
 I. REQUIRED
 A. ROOM
 O. ROUGH OPENING
 C. SOLID CORE
 OR. STORAGE
 IT. SHEET
 M. SIMILAR
 RL. STRUCTURAL
 TREAD
 G. TONGUE AND GROOVE
 L. TELEPHONE
 J. TOP OF
 P. TYPICAL
 O.N. UNLESS OTHERWISE NOTED
 F. VERIFY IN FIELD
 J. WOOD
 P. WATERPROOF

- ☐ RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING
- ☉ RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING
- SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING
- ☒ COMBINATION EXHAUST FAN AND COMPACT FLUORESCENT LIGHT FIXTURE, RECESSED AT CEILING
- x' SURFACE-MOUNTED FLUORESCENT STRIP LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)
- x' SURFACE-MOUNTED TRACK LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)
- ☐ 2'X4' SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE WITH WRAP AROUND LENS
- ☐ 1'X4' SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE WITH WRAP AROUND LENS
- ⊗ EMERGENCY LIGHT FIXTURE WITH BATTERY PACK, CEILING OR WALL-MOUNTED
- ⊗ EXIT LIGHT FIXTURE WITH BATTERY BACK-UP, CEILING OR WALL-MOUNTED (WITH DIRECTIONAL ARROWS AS REQUIRED)
- ⊙ CEILING-MOUNTED SMOKE DETECTOR
- ⊙ GARBAGE DISPOSAL
- \$ ONE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.
- \$ TWO-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.
- \$ THREE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.
- ⊕ DUPLEX OUTLET, MOUNTED AT +15" A.F.F., U.O.N.
- ⊕ DUPLEX OUTLET (WATERPROOF) MOUNTED AT +15" A.F.F., U.O.N.
- ⊕ DUPLEX OUTLET, (DEDICATED) MOUNTED AT +15" A.F.F., U.O.N.
- ⊕ DUPLEX OUTLET, WITH GROUND FAULT INTERRUPTOR, MOUNTED AT +44" A.F.F., U.O.N.
- ⊕ DUPLEX OUTLET (FOR DISHWASHER), MOUNTED UNDER KITCHEN CABINET
- △ TELEPHONE JACK, MOUNTED AT +15" A.F.F., U.O.N.
- ▲ DATA JACK, MOUNTED AT +15" A.F.F., U.O.N.
- Ⓚ DOORBELL, MOUNTED AT +48" A.F.F., U.O.N.
- Ⓜ TELEVISION CABLE JACK, MOUNTED AT +15" A.F.F., U.O.N.

CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.

PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.

ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.

"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.

"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S AND CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.

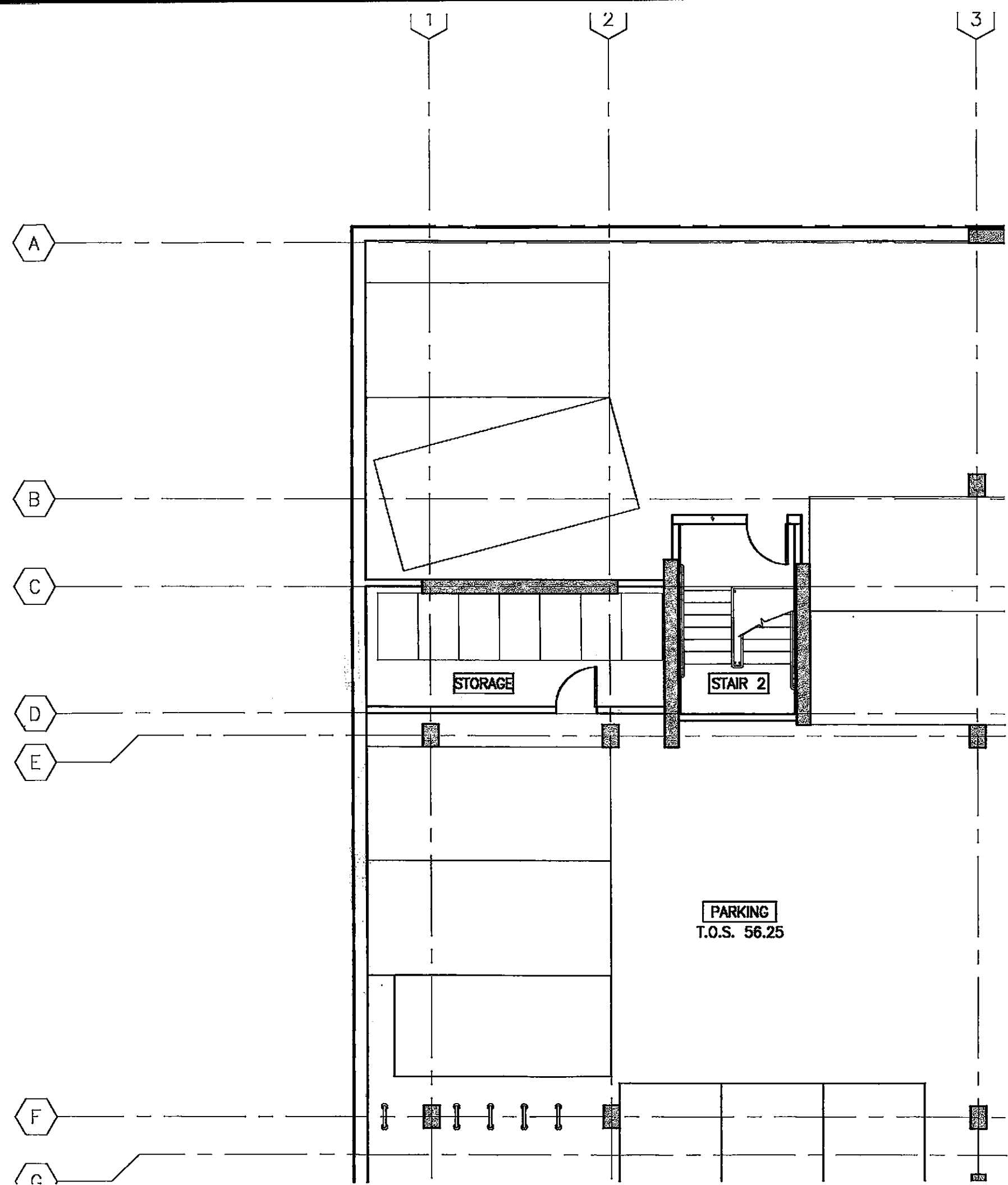
SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

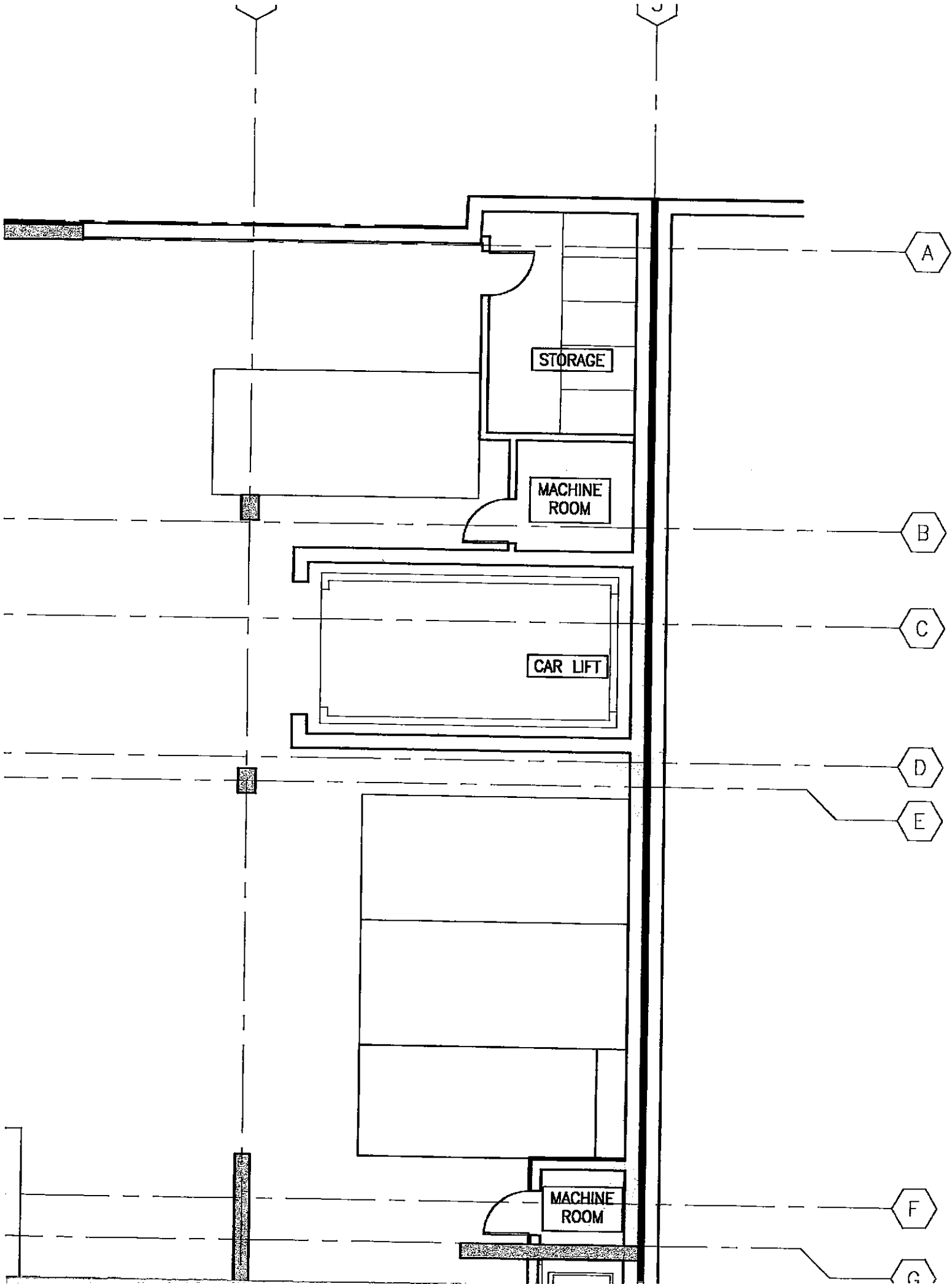
DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.

GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK.

COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS.)

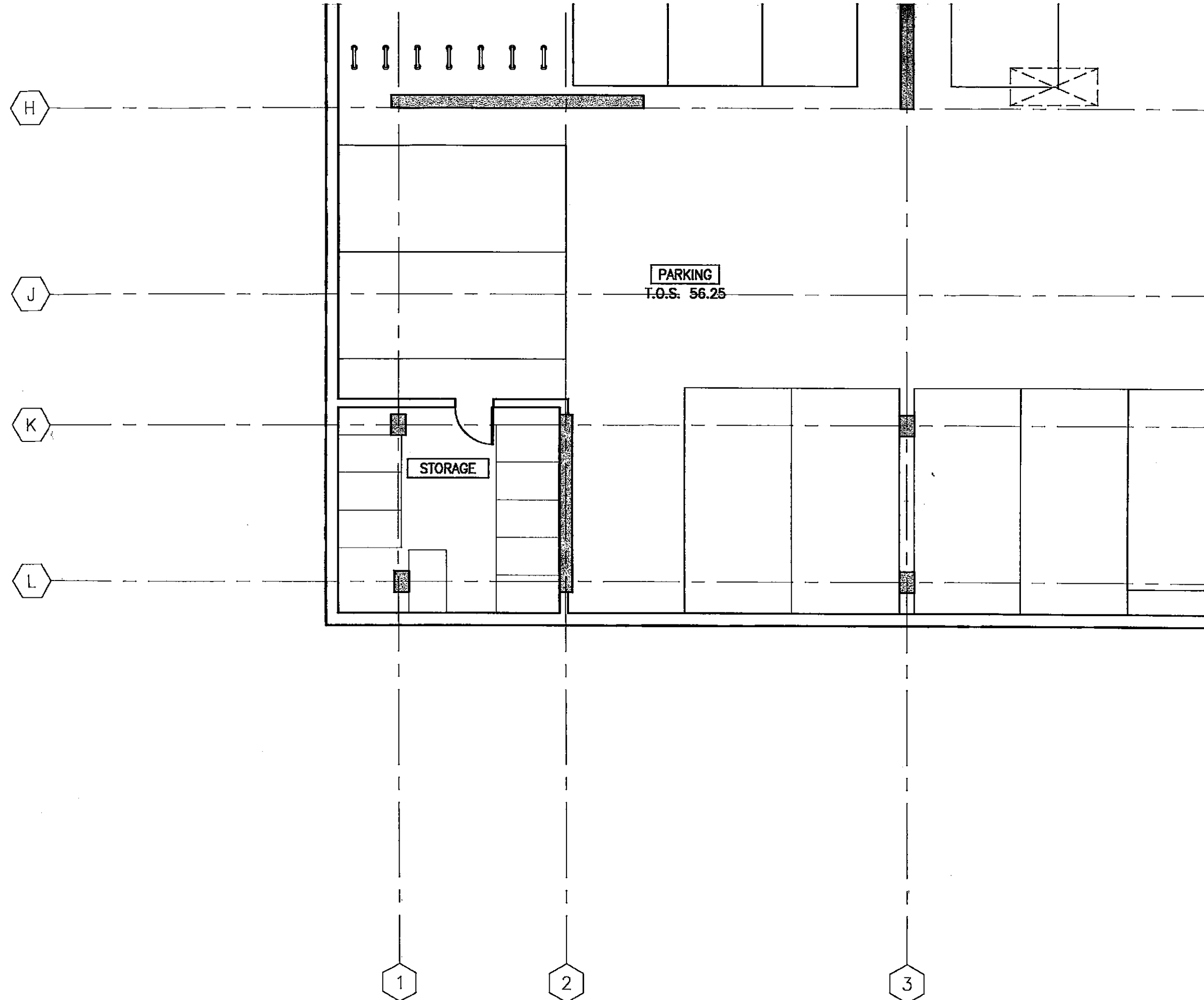
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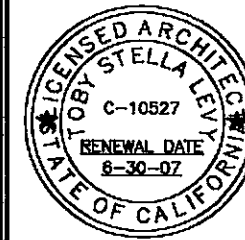
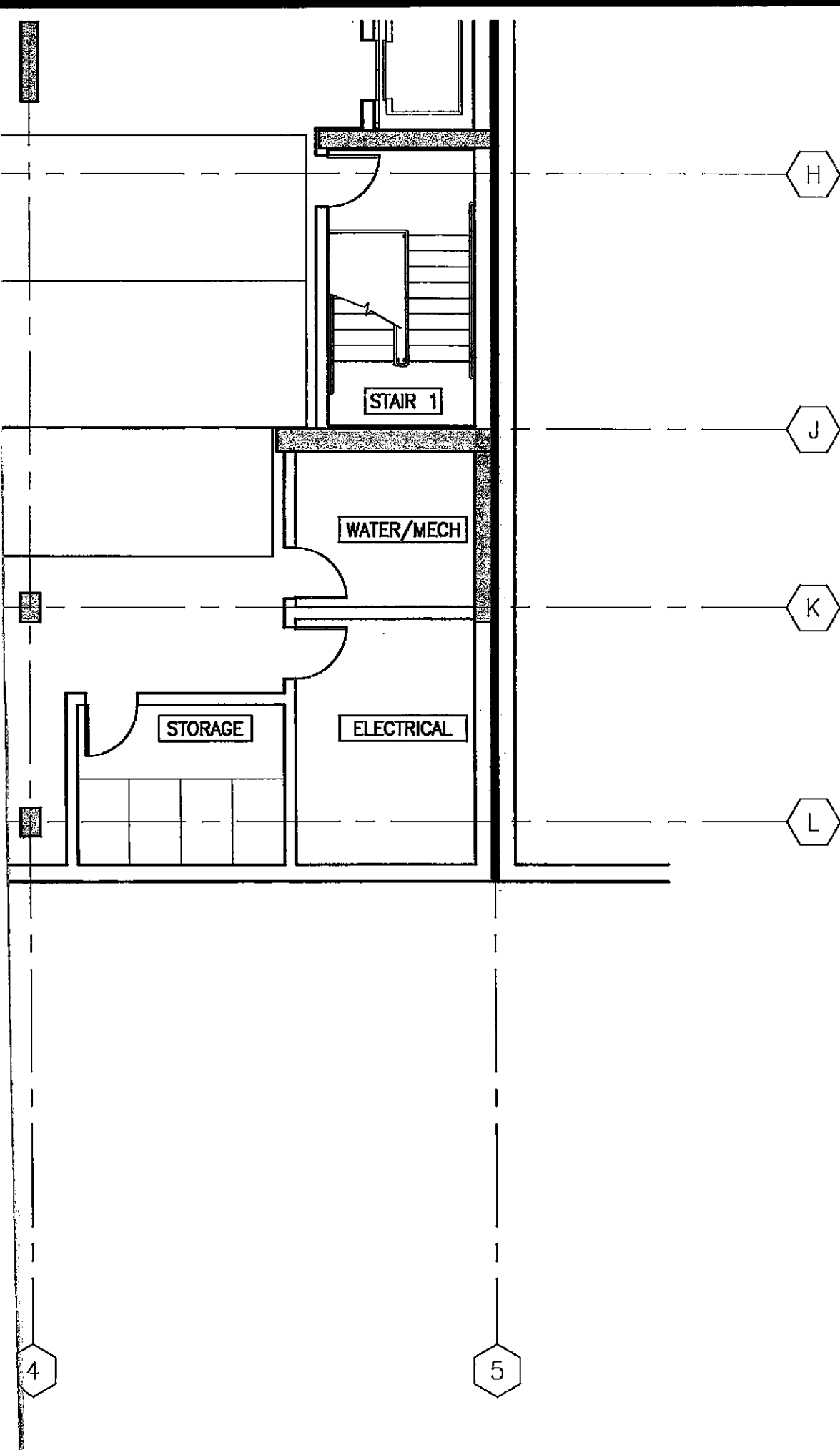


3884
MARTIN LUTHER KING JR. WAY
OAKLAND, CA

ARC DESIGN PARTNERS
LEVY DESIGN GROUP
90 South Park
San Francisco
CA 94107



1 FLOOR PLAN: BASEMENT
1/8"=1'-0"



MA

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Martin Luther King Jr. Way
APN# 012-0968-031
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PROJECT NO. 05-21

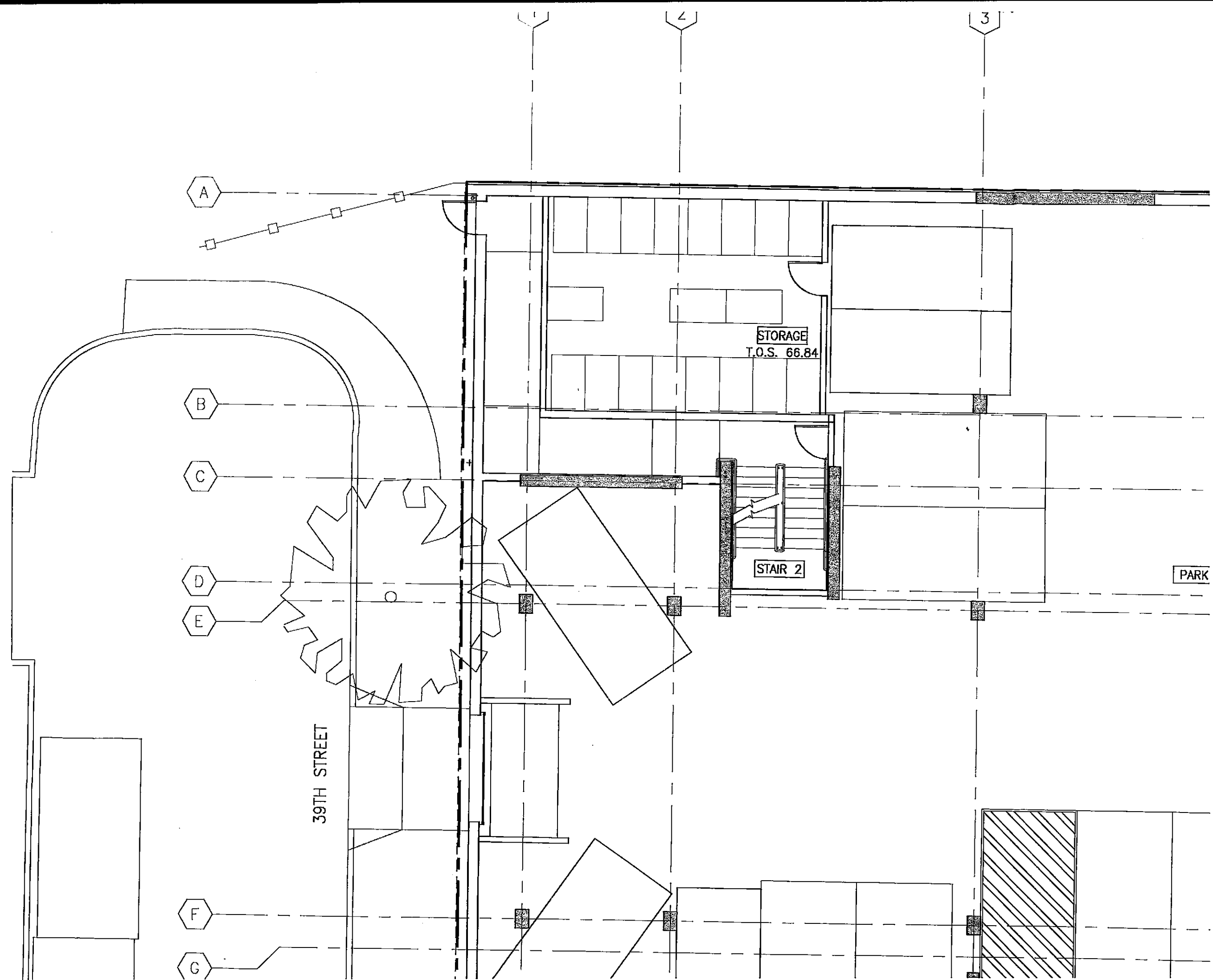
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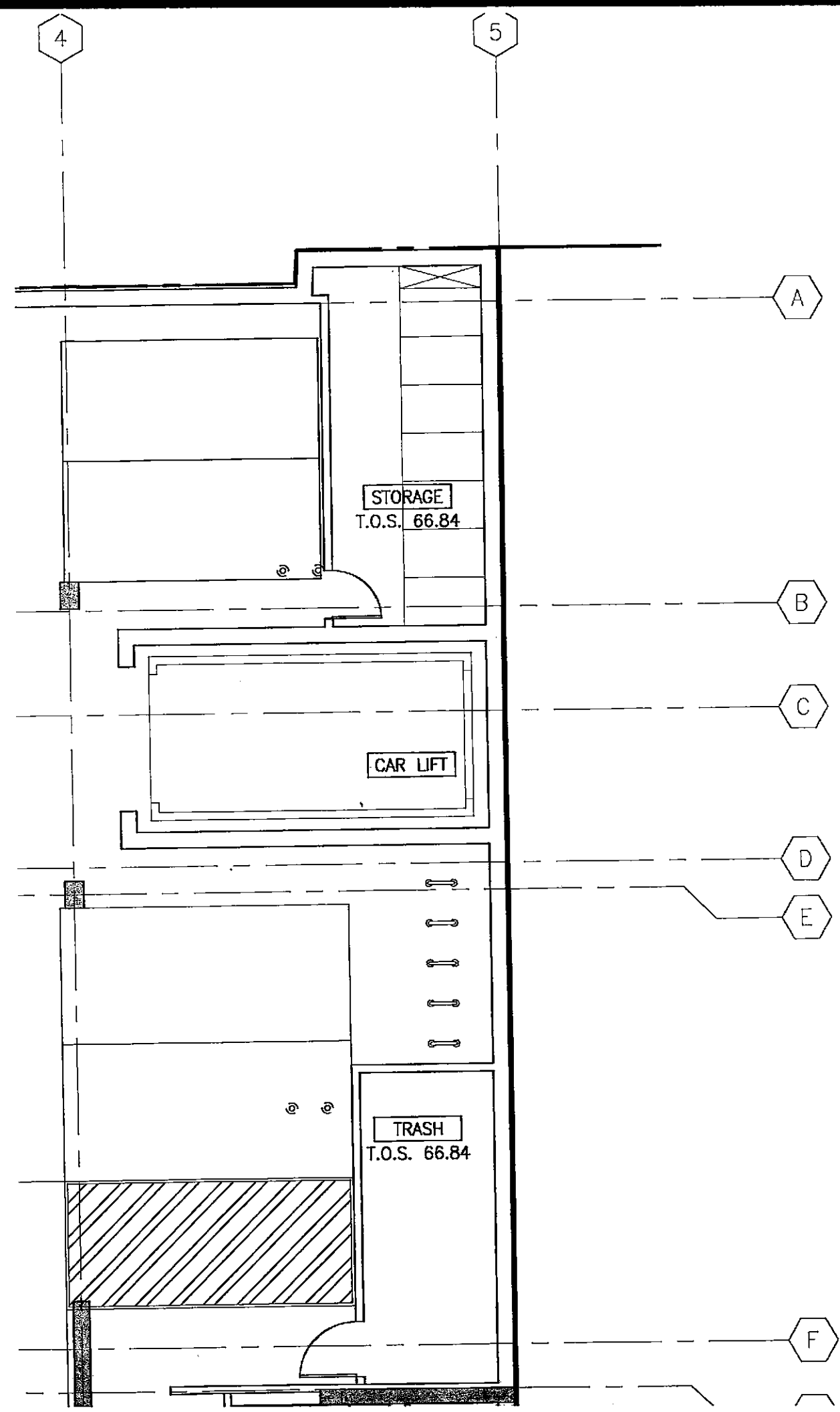
CONTACT:
SERINA CALHOUN
 (415) 777-0561 P
 (415) 777-5117 F

SCALE: 1/8" = 1'-0"

FLOOR PLAN
BASEMENT

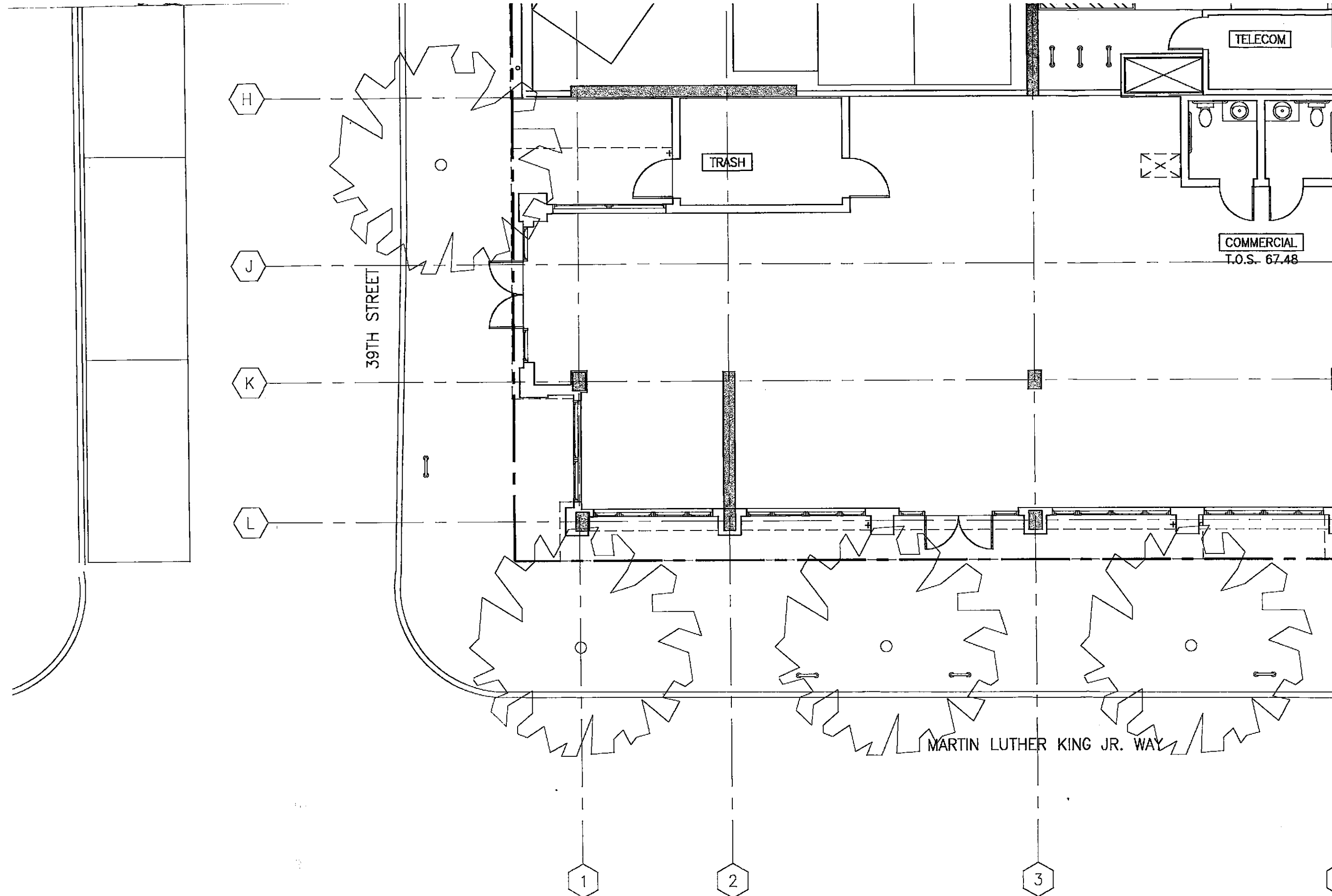
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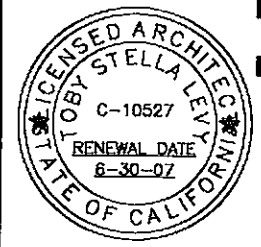
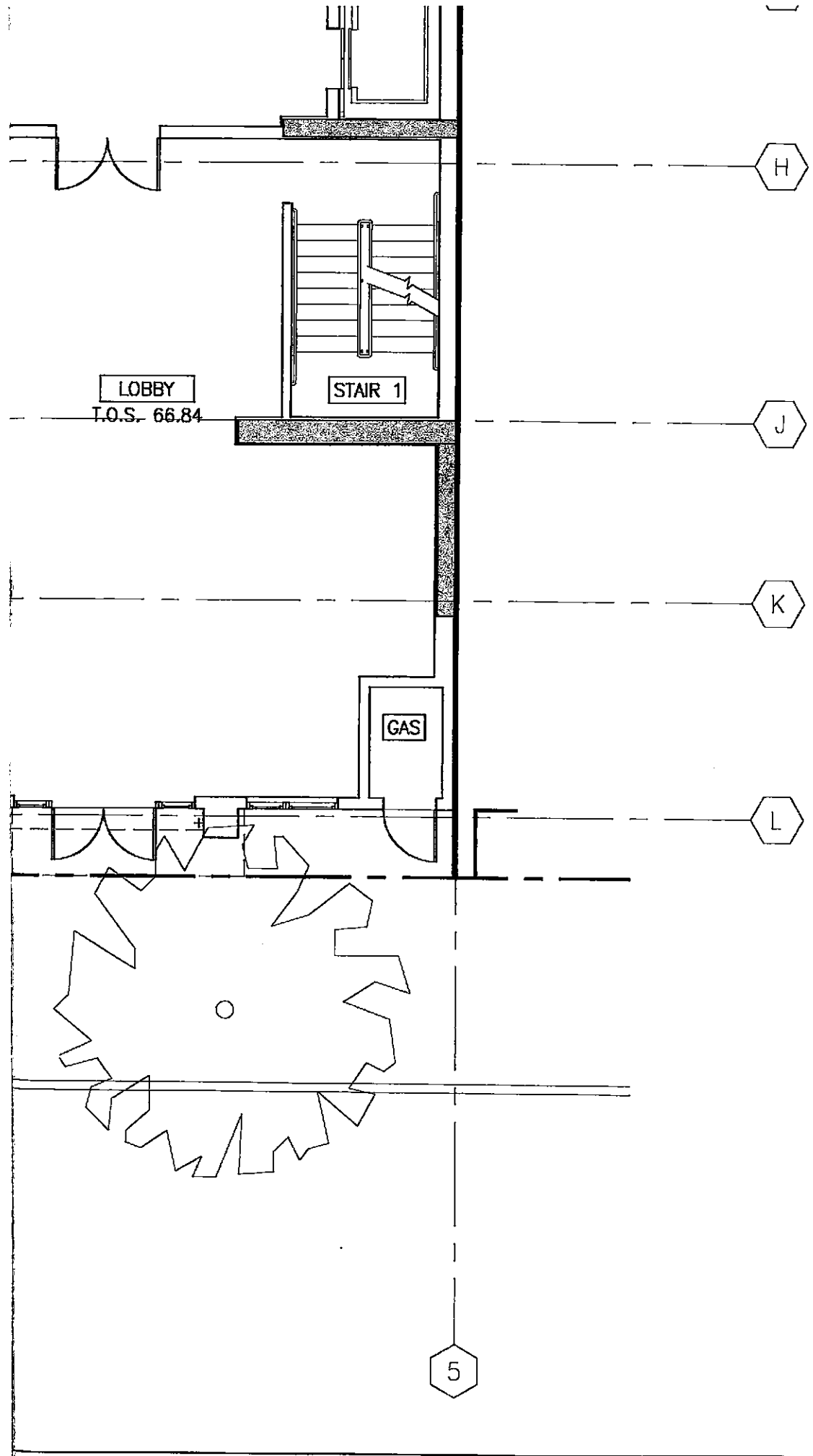


3884
MARTIN LUTHER KING JR. WAY
OAKLAND, CA

ARCHITECT PARTNER
LEVY DESIGN GROUP
 90 South Park
 San Francisco
 CA 94107



1 FLOOR PLAN: GROUND FLOOR
1/8"=1'-0"



MAI

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SCALE: 1/8" = 1'-0"

FLOOR PLAN
GROUND FLOOR

A2 1