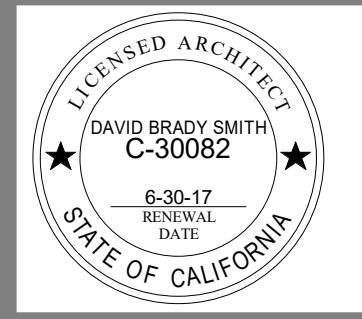


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


VOLUME 1

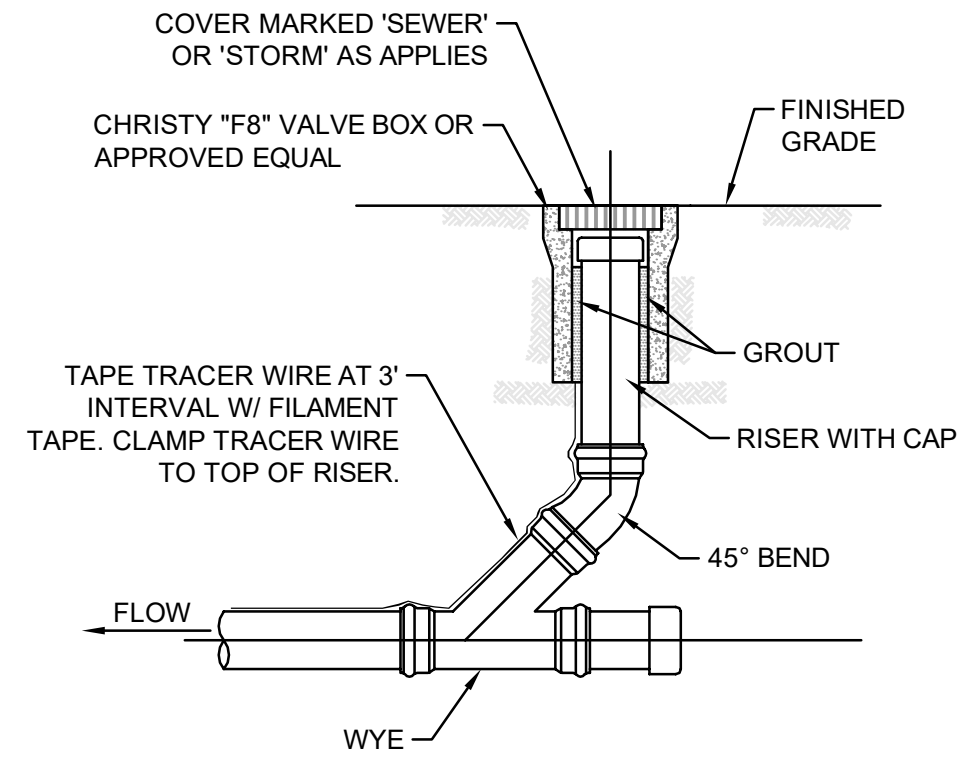
Project # 1132-0018

HATCH LEGEND

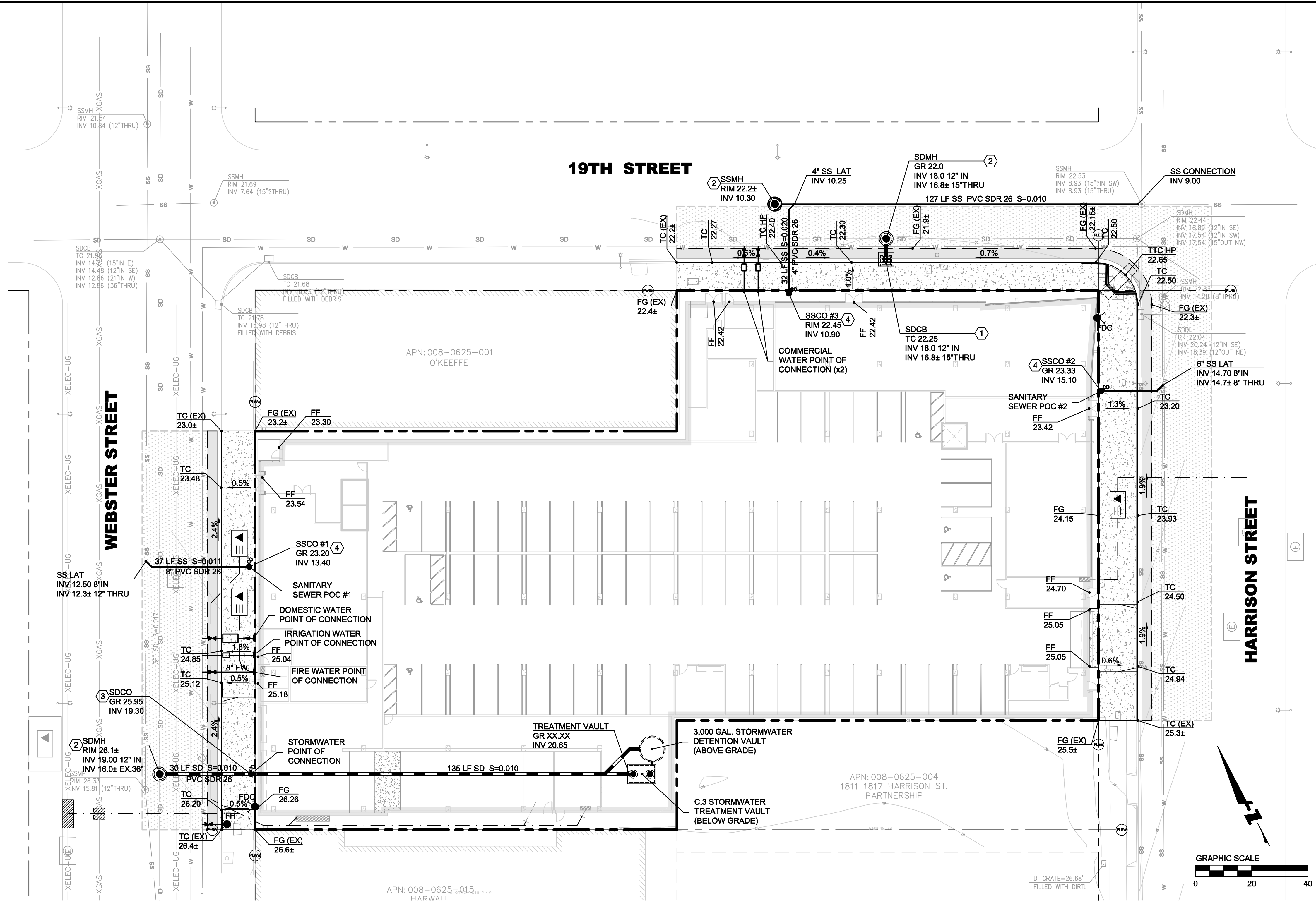
-  ASPHALT PAVEMENT
-  ASPHALT PAVEMENT OVERLAY
-  CONCRETE

UTILITY DETAILS

-  CITY STANDARD TYPE B STORM INLET
-  CITY STANDARD MANHOLE
-  STORM DRAIN CLEANOUT
-  SANITARY SEWER CLEANOUT




1 **STORM/SEWER CLEANOUT**
N.T.S.



FIRST SUBMITTAL REVIEW SET - NOT FOR CONSTRUCTION

Revisions	No.	Date

Stamp:

 Date: 08/24/16
 Scale: 1" = 20'
 Job No.: 2015-12
 Drawing Number:
C.05
 5 OF 9

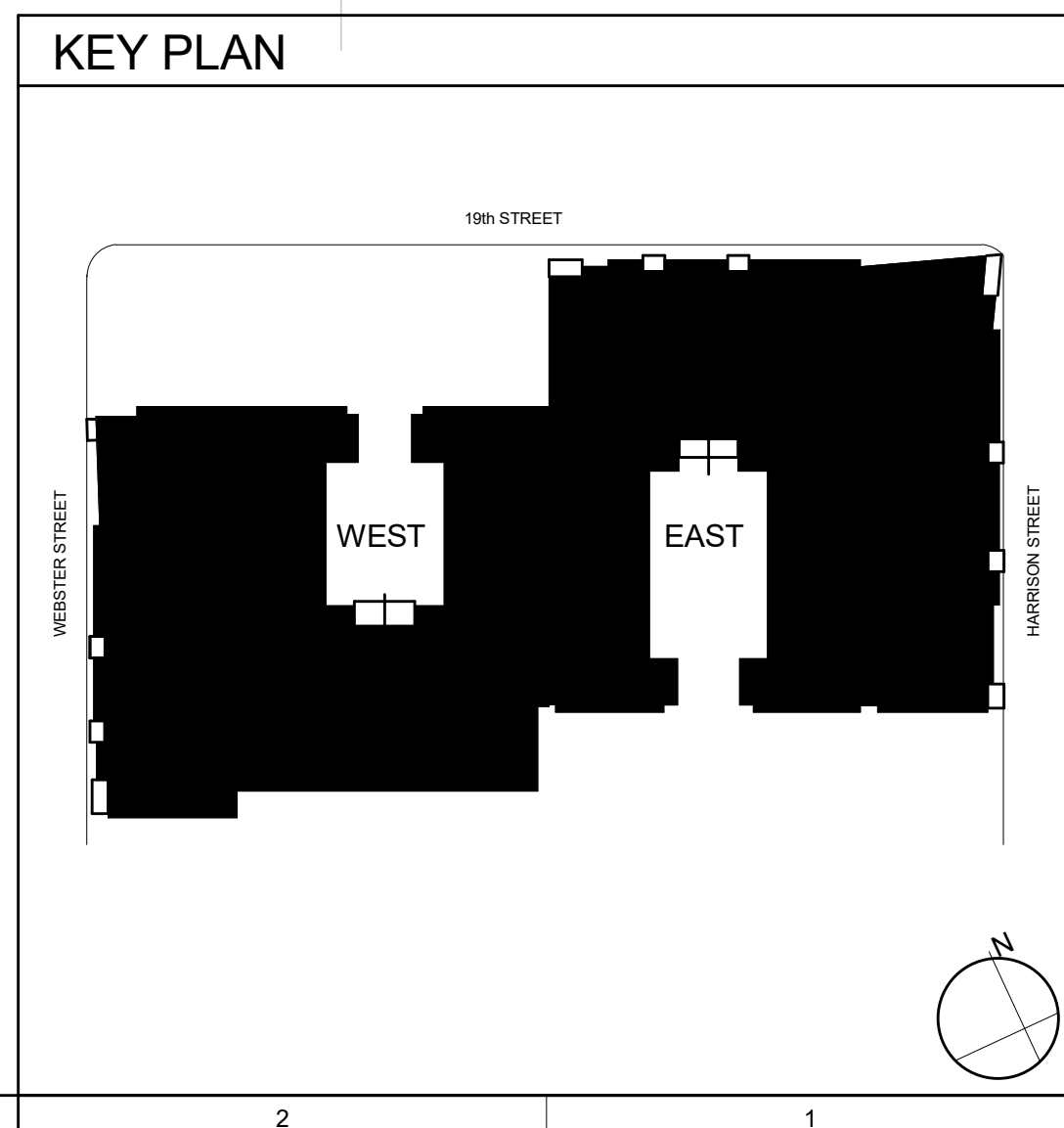
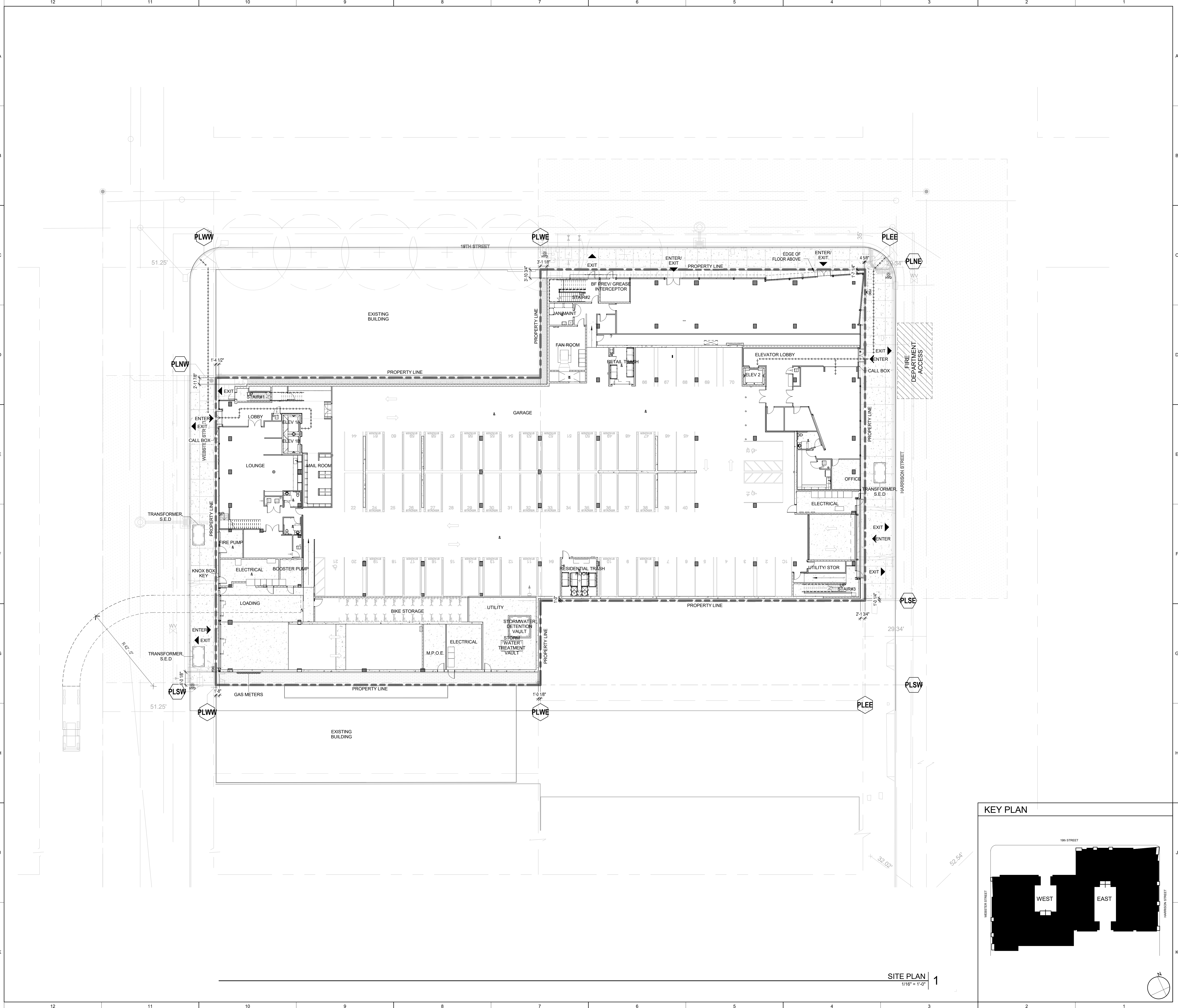
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PLOT DATE: 08-23-16 PLOTTED BY: Easton

SITE PLAN GROUND LEVEL

PROJECT NO: 1132-0018
DATE: 10/06/2016

SHEET NO:

A1.00.1



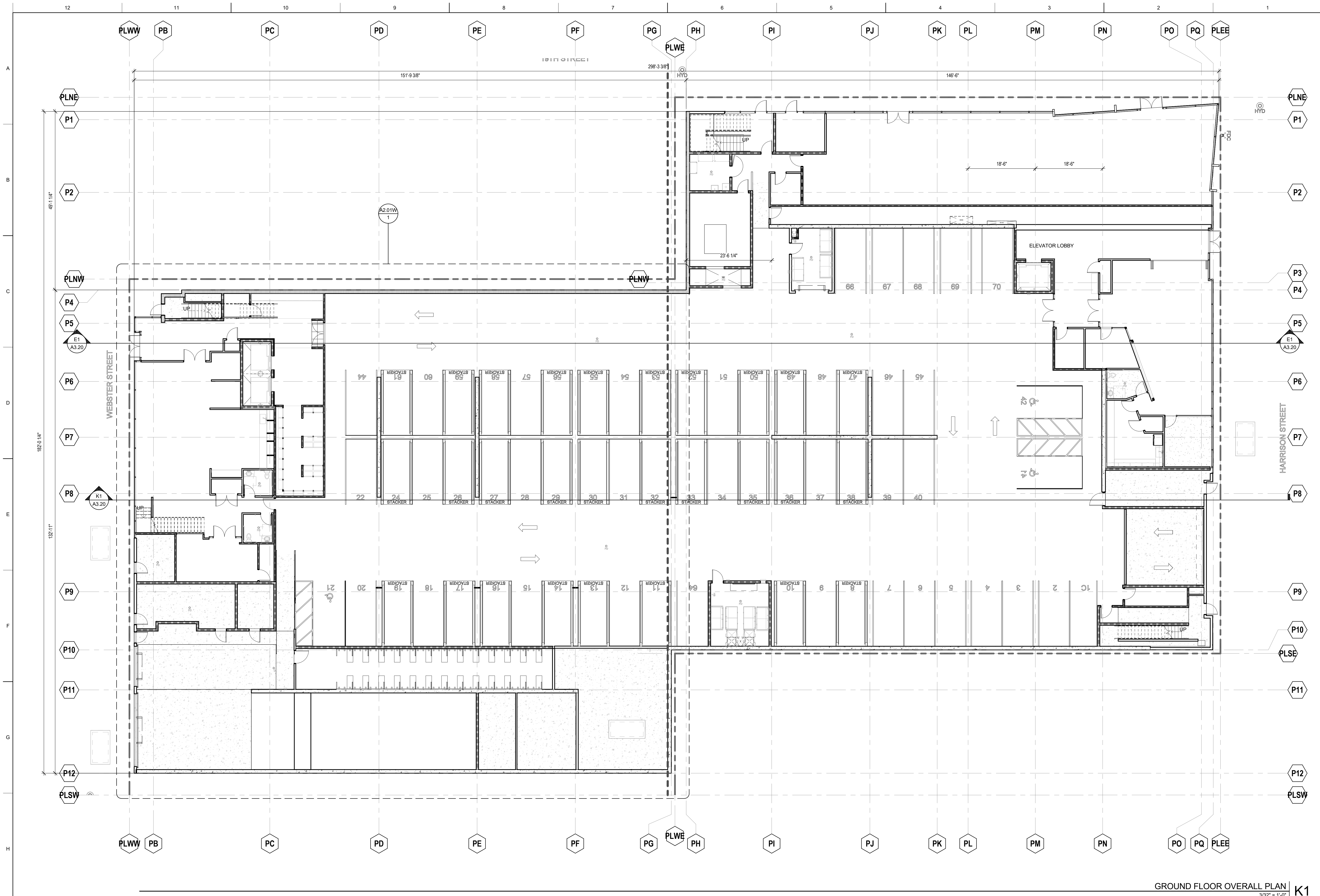
SITE PLAN 1
1/16" = 1'-0"

GROUND FLOOR OVERALL PLAN

PROJECT NO: 1132-0018
DATE: 10/06/2016





SHEET NO:

A1.20

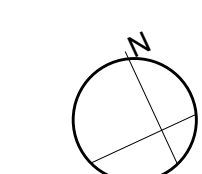


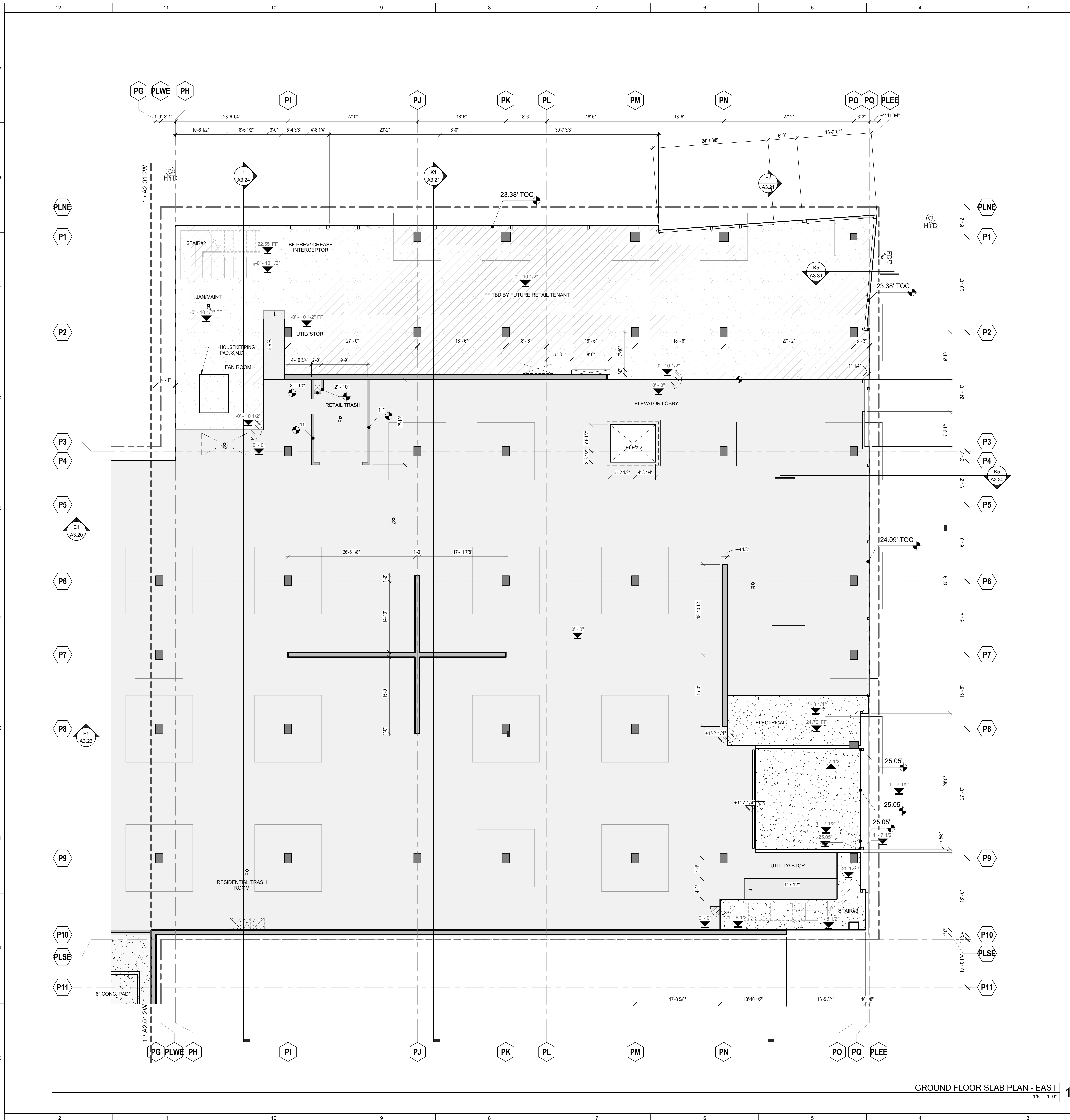
GROUND FLOOR OVERALL PLAN
3/32" = 1'-0" K1

ASSEMBLY FIRE RATING LEGEND:

-  4-HOUR RATED ASSEMBLY
 -  3-HOUR RATED FIRE WALL ASSEMBLY
 -  2-HOUR RATED ASSEMBLY
 -  1-HOUR RATED ASSEMBLY
- * SEE A0.05 - A0.08 FOR WALL & FLOOR ASSEMBLY DETAILS
* SEE A0.02 FOR CODE SUMMARY

KEY PLAN





GROUND FLOOR SLAB PLAN - EAST
1/8" = 1'-0" 1

SHEET NOTES - SLAB PLANS

- COORDINATE CONCRETE HOUSEKEEPING PAD SIZE WITH MECHANICAL/PLUMBING AND STRUCTURAL WATERPROOFING (IF EXTERIOR CONDITION).
- ALLOW 2% MINIMUM FOR SLOPE TO DRAIN.
- COORDINATE SLAB EDGE W/ EXTERIOR WALL.

SLAB PLAN LEGEND

- SLAB SPOT ELEVATION (SURVEY POINT), S.C.D
 - TOP OF CONCRETE CURB/LOW WALL
 - SLAB SPOT ELEVATION (PROJECT POINT IN REFERENCE TO DATUM), SEE SECTIONS
 - CONCRETE BUILT UP SLAB, ABOVE 0'-0" REFERENCE LEVEL (S.C.D & S.S.D)
 - CONCRETE SLAB, DEPRESSED OR BELOW 0'-0" REFERENCE LEVEL (S.C.D & S.S.D)
 - CONCRETE SLAB, AT REFERENCE LEVEL 0'-0" (S.C.D & S.S.D)
 - CONCRETE SHEAR WALL AT LEVEL (S.S.D)
 - CONCRETE SHEAR WALL UNDER SLAB (S.S.D)
 - FLOOR DRAIN (S.P.D)
PD = PLANTER DRAIN
SD = STORM DRAIN
 - DOUBLE FLOOR DRAIN (S.P.D)
 - CONCRETE FOOTING/ COLUMN CAP BELOW SLAB (S.S.D)
 - CONCRETE COLUMN (S.S.D)
 - SHAFT ABOVE, (S.M.D)
 - SLAB PENETRATION, (S.M.D)
 - STEP DOWN/UP IN SLAB
- * INCLUDE ADDITIONAL SPACE AT CONCRETE WALL OPENINGS FOR DOOR JAMB

KEY PLAN



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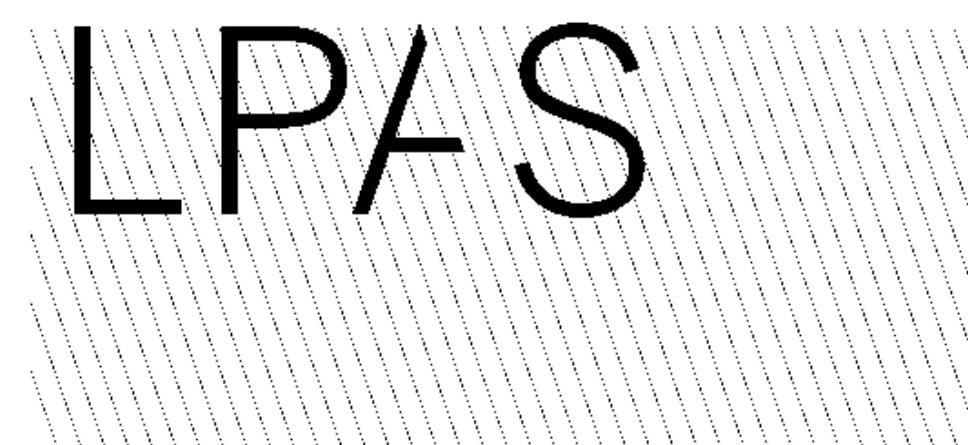
GROUND FLOOR SLAB PLAN - EAST

PROJECT NO: 1132-0018
DATE: 10/06/2016

SHEET NO:

A2.01.1E

100% DESIGN DEVELOPMENT PRICING SET



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GROUND FLOOR SLAB PLAN - WEST

PROJECT NO: 1132-0018
DATE: 10/06/2016

SHEET NO:

A2.01.2W

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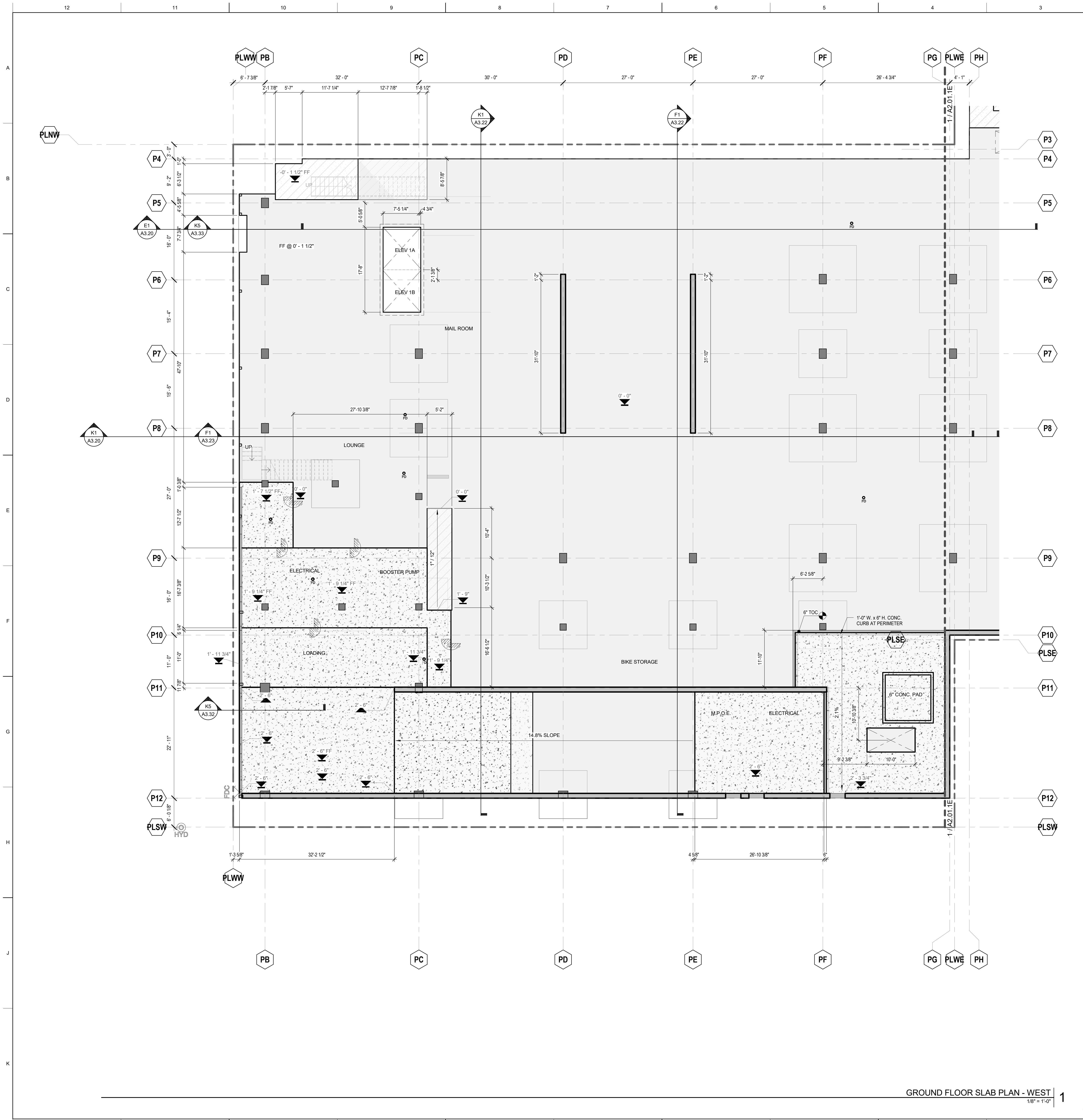
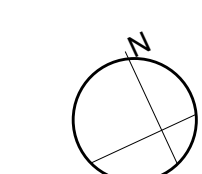
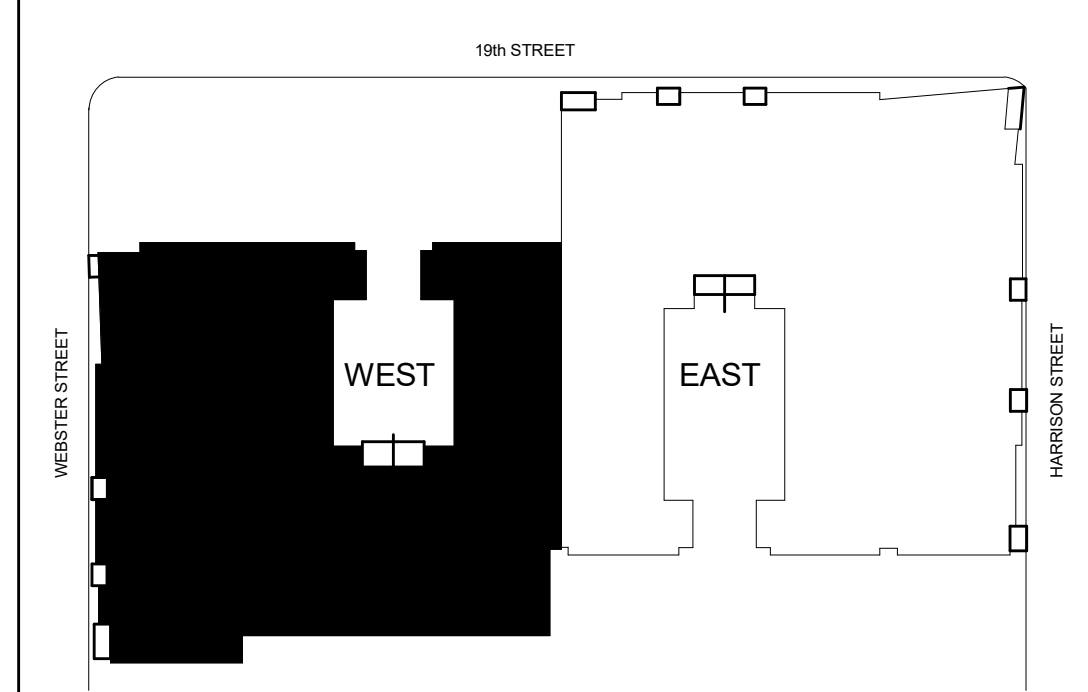
SHEET NOTES - SLAB PLANS

- COORDINATE CONCRETE HOUSEKEEPING PAD SIZE WITH MECHANICAL/PLUMBING AND STRUCTURAL, WATERPROOFING (IF EXTERIOR CONDITION).
- ALLOW 2% MINIMUM FOR SLOPE TO DRAIN.
- COORDINATE SLAB EDGE W/ EXTERIOR WALL.

SLAB PLAN LEGEND

- X' X' SLAB SPOT ELEVATION (SURVEY POINT), S.C.D.
 - X' X' TOC TOP OF CONCRETE CURB/ LOW WALL
 - X' X' SLAB SPOT ELEVATION (PROJECT POINT IN REFERENCE TO DATUM), SEE SECTIONS
 - CONCRETE BUILT UP SLAB, ABOVE 0'-0" REFERENCE LEVEL (S.C.D & S.S.D)
 - CONCRETE SLAB, DEPRESSED OR BELOW 0'-0" REFERENCE LEVEL (S.C.D & S.S.D)
 - CONCRETE SLAB, AT REFERENCE LEVEL 0'-0" (S.C.D & S.S.D)
 - CONCRETE SHEAR WALL AT LEVEL (S.S.D)
 - CONCRETE SHEAR WALL UNDER SLAB (S.S.D)
 - FLOOR DRAIN (S.P.D)
PD = PLANTER DRAIN
SD = STORM DRAIN
 - DOUBLE FLOOR DRAIN (S.P.D)
 - CONCRETE FOOTING/ COLUMN CAP BELOW SLAB (S.S.D)
 - CONCRETE COLUMN (S.S.D)
 - SHAFT ABOVE, (S.M.D)
 - SLAB PENETRATION, (S.M.D)
 - STEP DOWN/UP IN SLAB
- * INCLUDE ADDITIONAL SPACE AT CONCRETE WALL OPENINGS FOR DOOR JAMB

KEY PLAN



GROUND FLOOR SLAB PLAN - WEST
1/8" = 1'-0" 1

GROUND FLOOR PLAN-EAST

PROJECT NO: 1132-0018
DATE: 10/06/2016

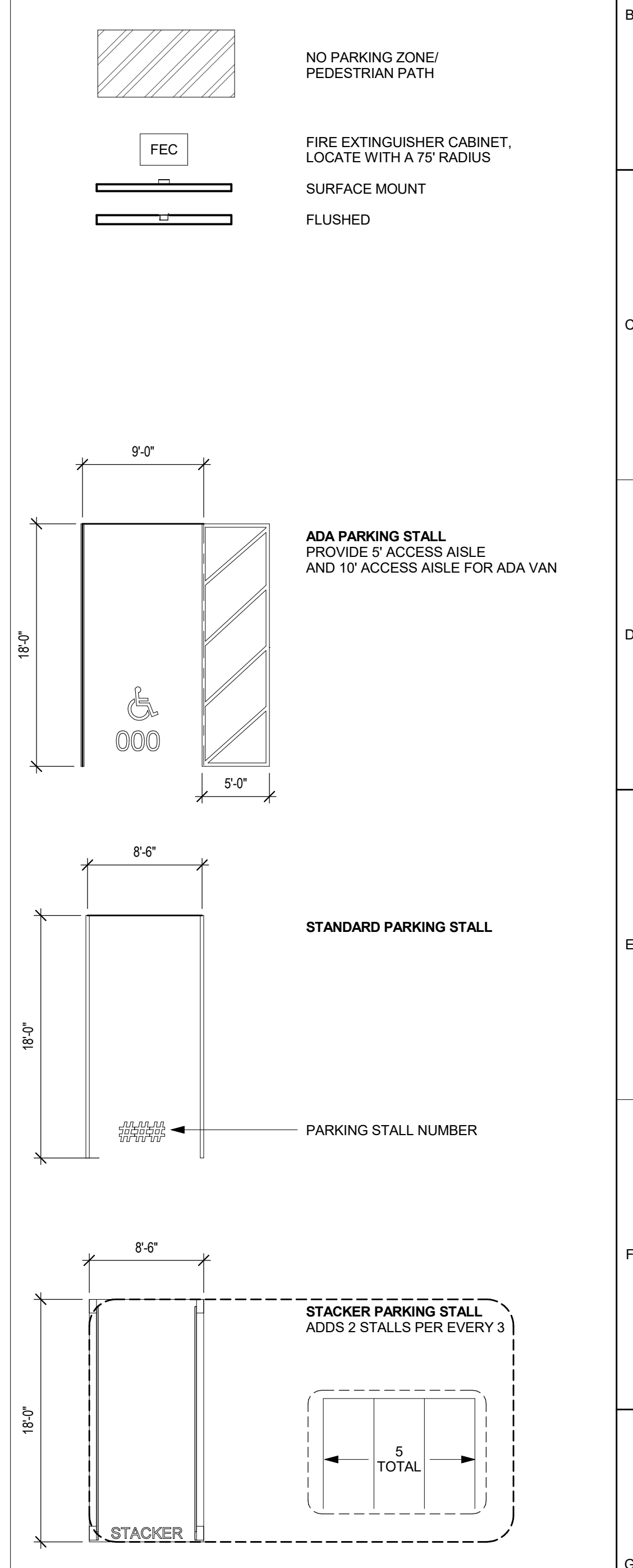
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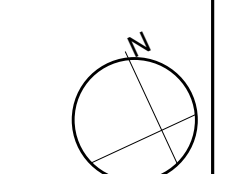
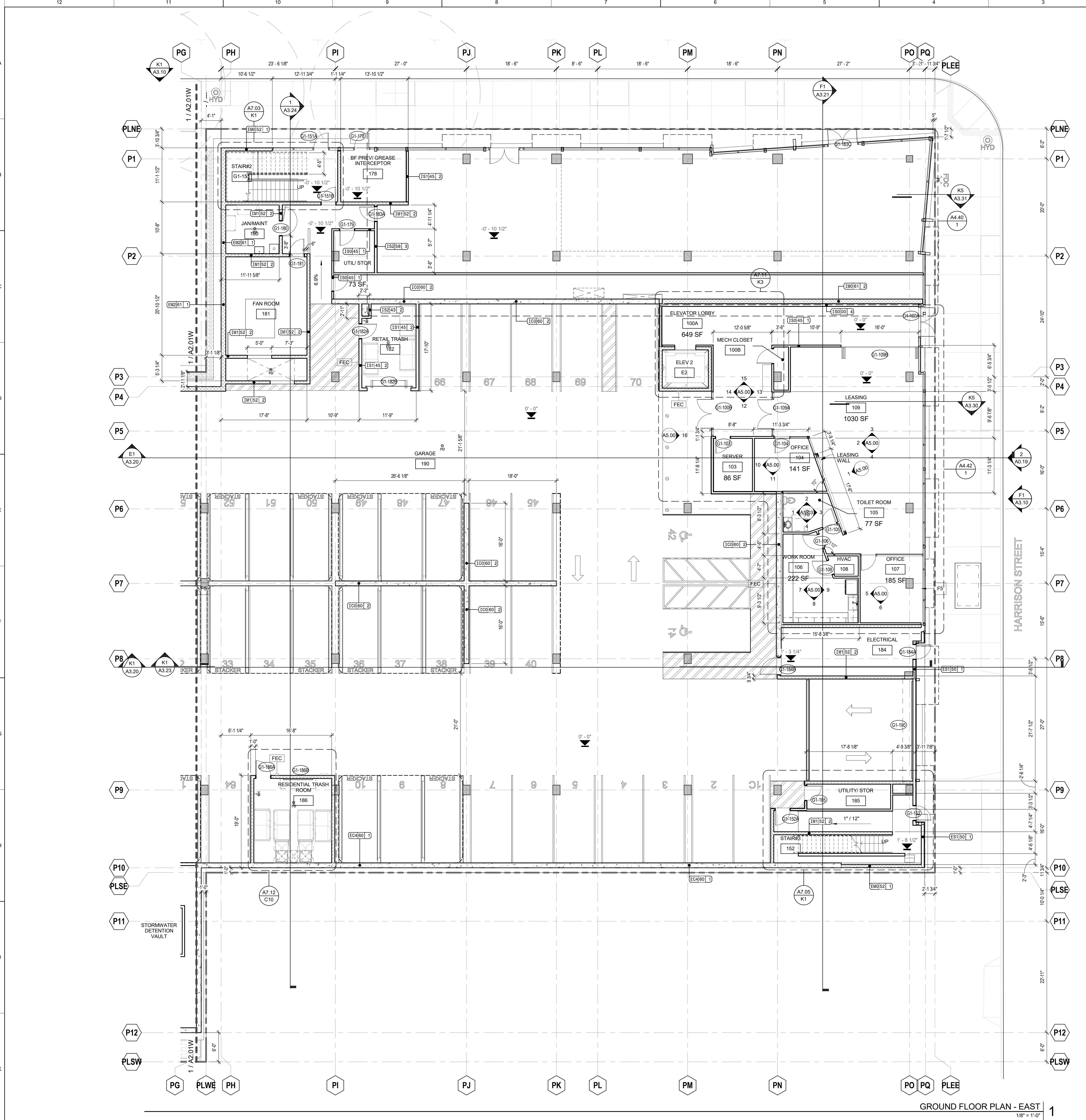
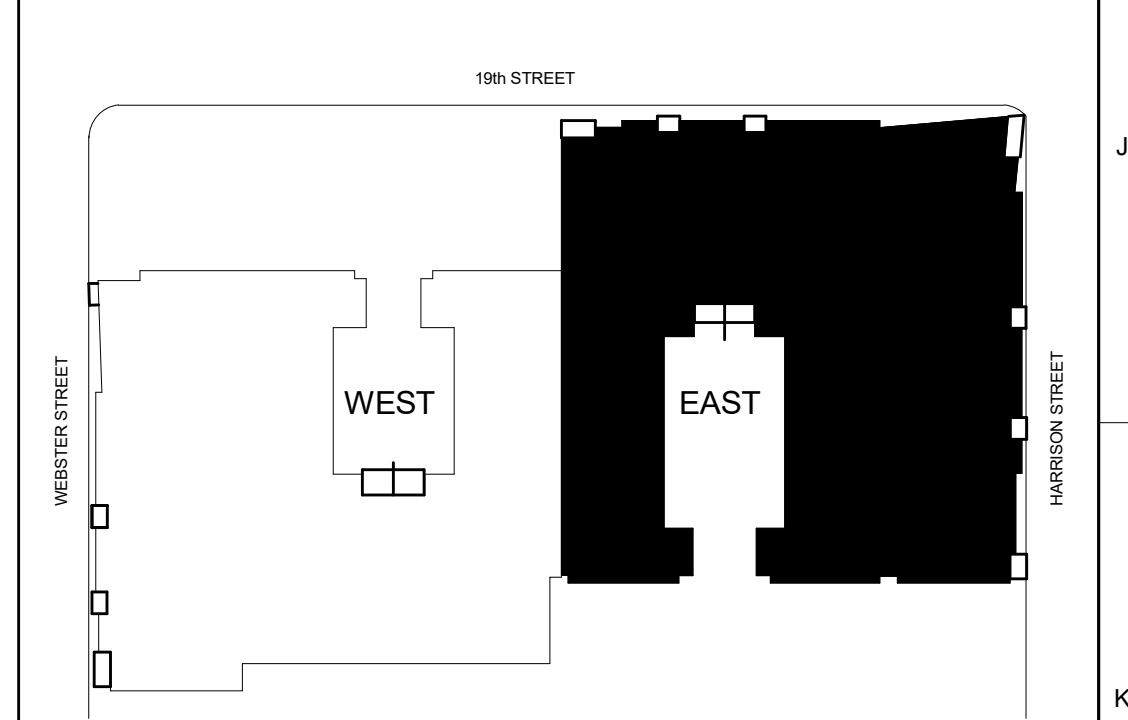
SHEET NOTES

-
-

PARKING LEGEND



KEY PLAN



GROUND FLOOR PLAN-WEST

PROJECT NO: 1132-0018
DATE: 10/06/2016

SHEET NO:

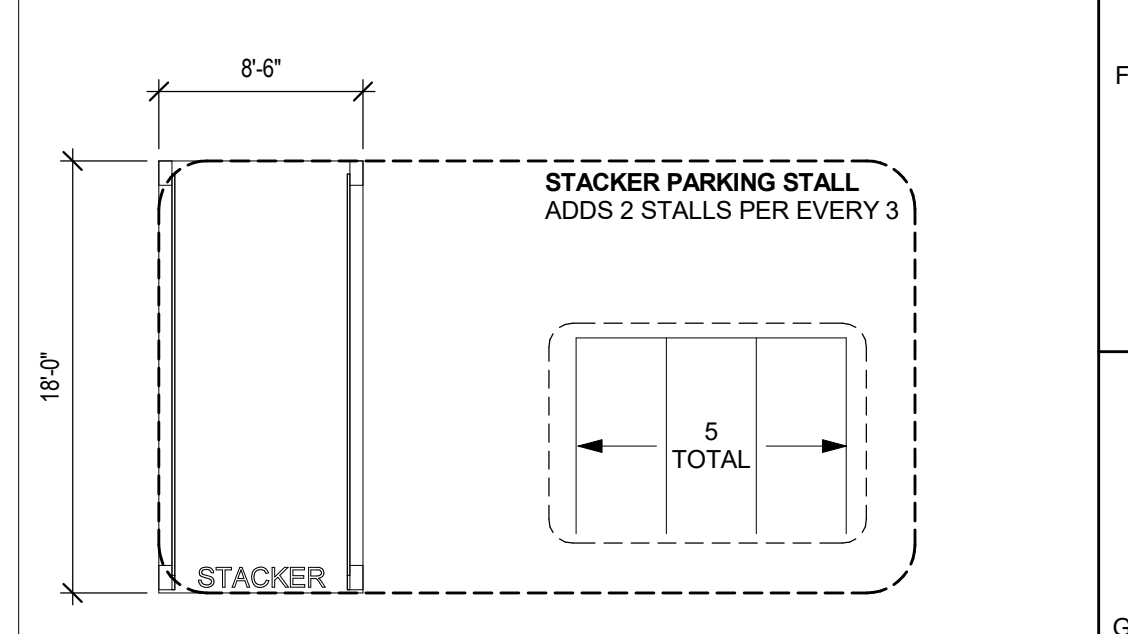
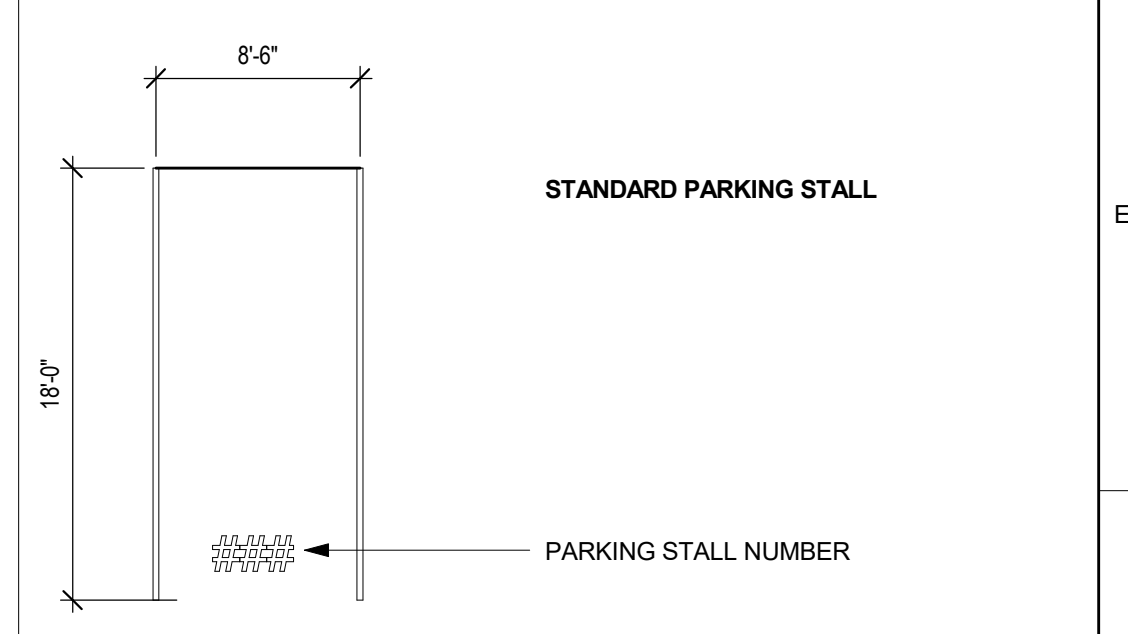
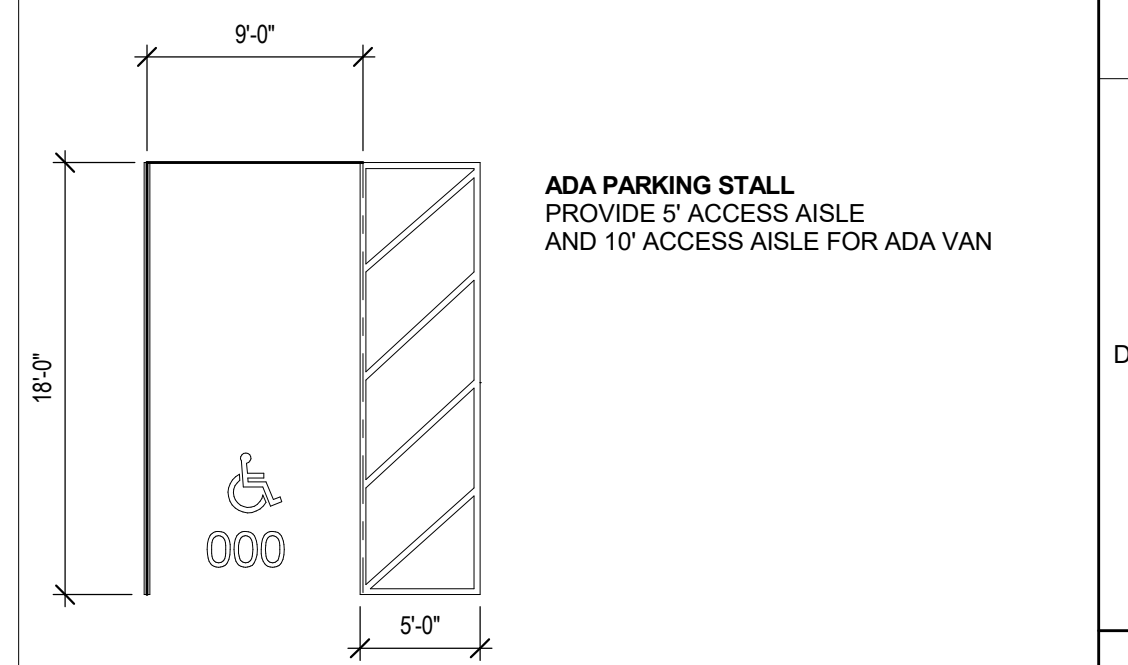
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SHEET NOTES

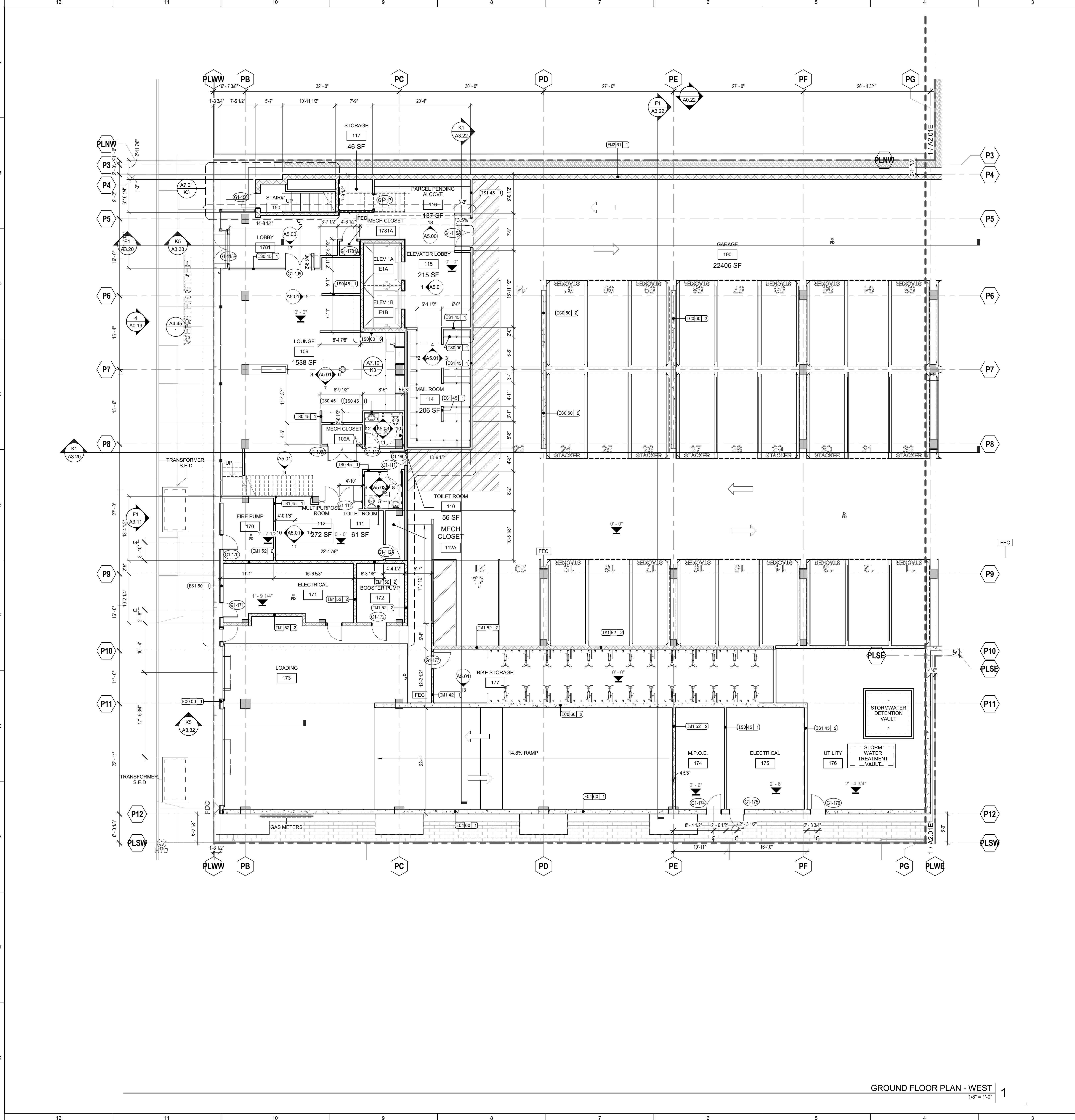
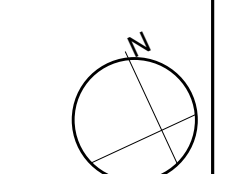
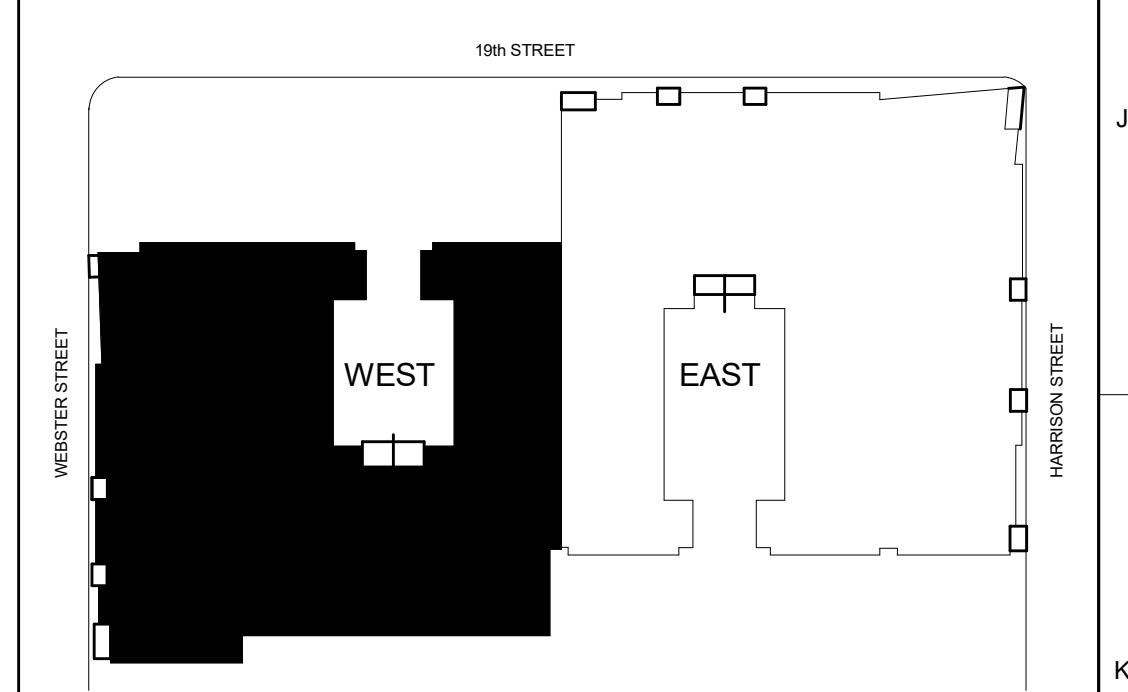
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PARKING LEGEND

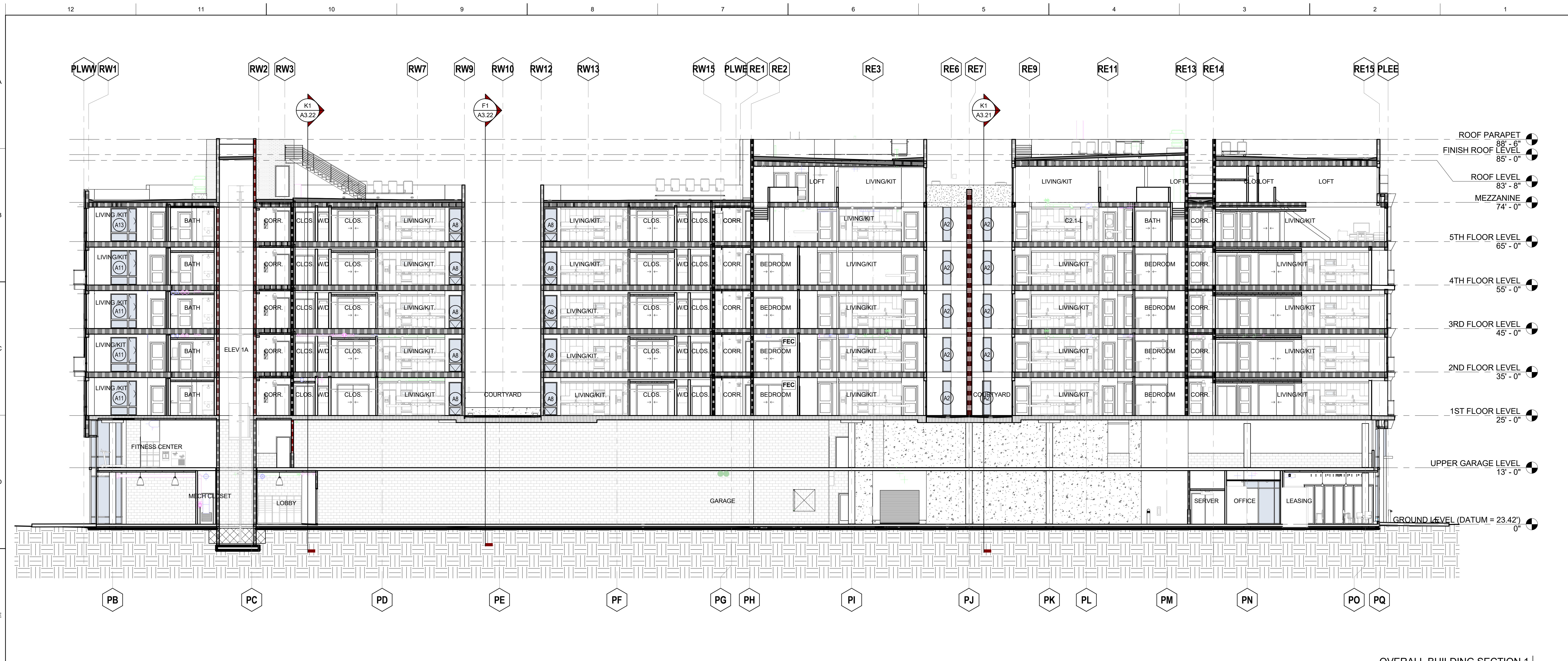
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- FIRE EXTINGUISHER CABINET. LOCATE WITH A 75' RADIUS
- SURFACE MOUNT
- FLUSHED



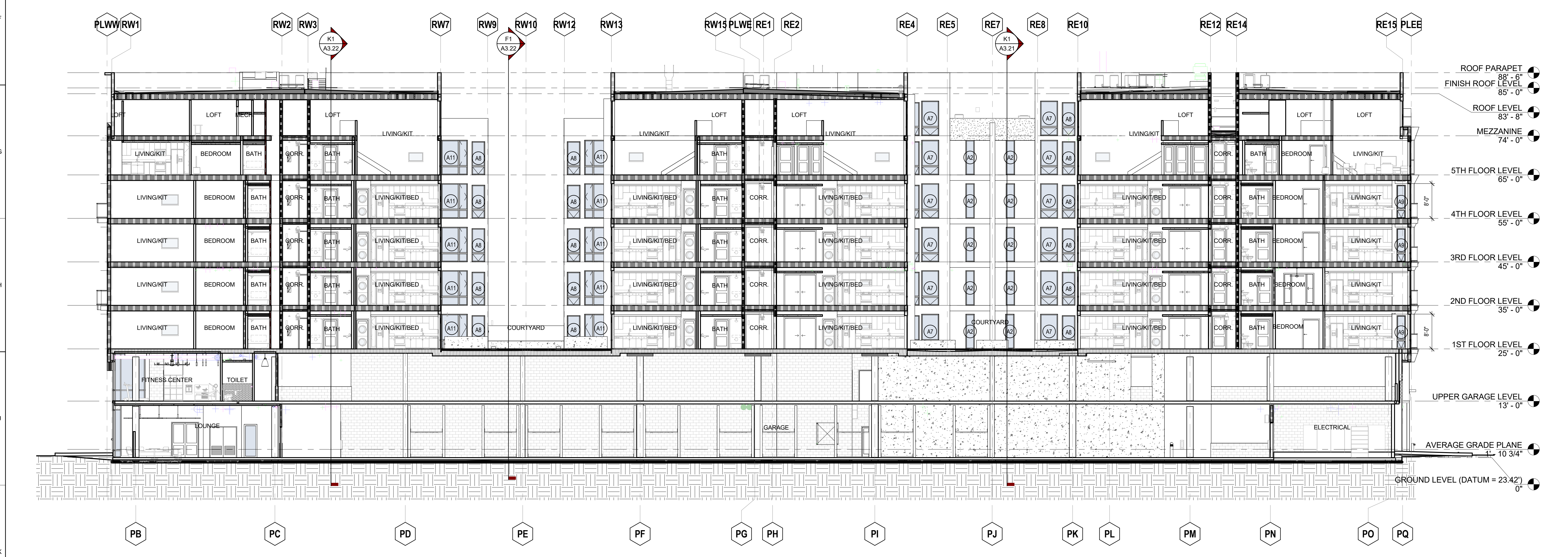
KEY PLAN



GROUND FLOOR PLAN - WEST
1/8" = 1'-0"



OVERALL BUILDING SECTION 1
3/32" = 1'-0" E1



OVERALL BUILDING SECTION 2
3/32" = 1'-0" K1

NO. ISSUE DATE

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OVERALL BUILDING SECTIONS

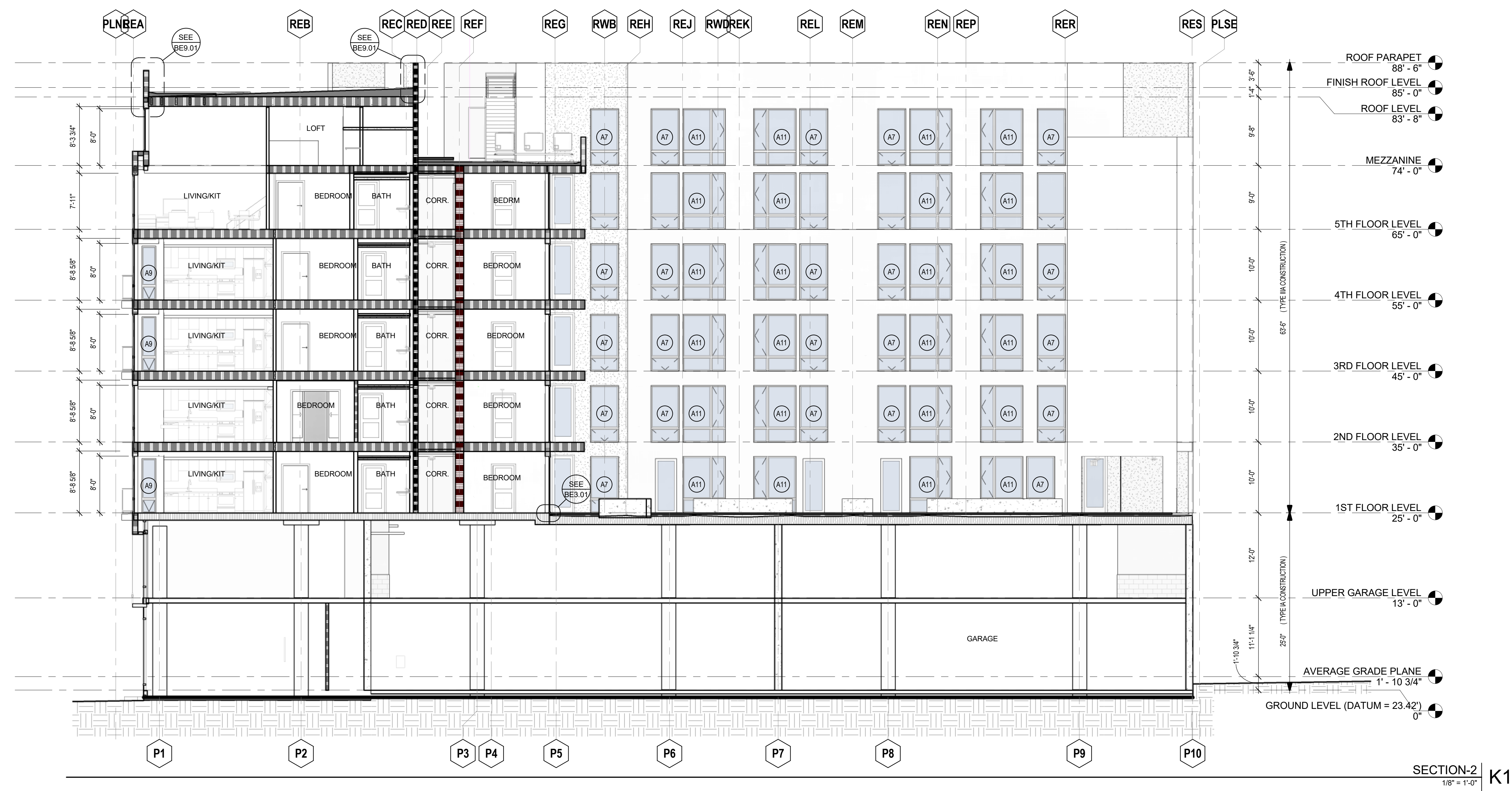
PROJECT NO: 1132-0018
DATE: 10/06/2016

SHEET NO:

A3.20







SECTION-1 F1
1/8" = 1'-0"



SECTION-2 K1
1/8" = 1'-0"

ASSEMBLY FIRE RATING LEGEND:

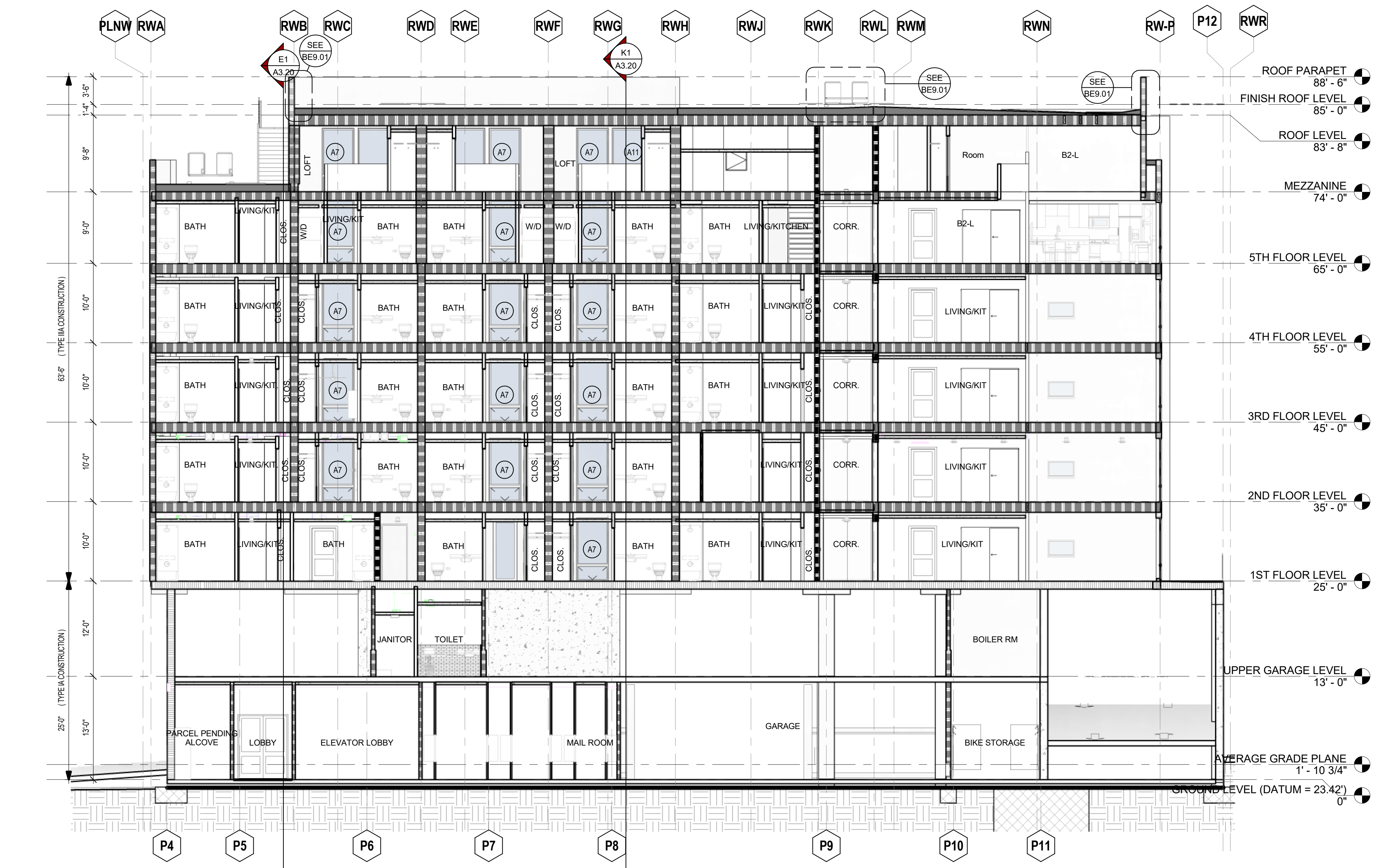
-  4-HOUR RATED ASSEMBLY
-  3-HOUR RATED FIRE WALL ASSEMBLY
-  2-HOUR RATED ASSEMBLY
-  1-HOUR RATED ASSEMBLY

* SEE A3.05 - A3.08 FOR WALL & FLOOR ASSEMBLY DETAILS
* SEE A0.02 FOR CODE SUMMARY

SECTIONS







SECTION-3
1/8" = 1'-0" F1

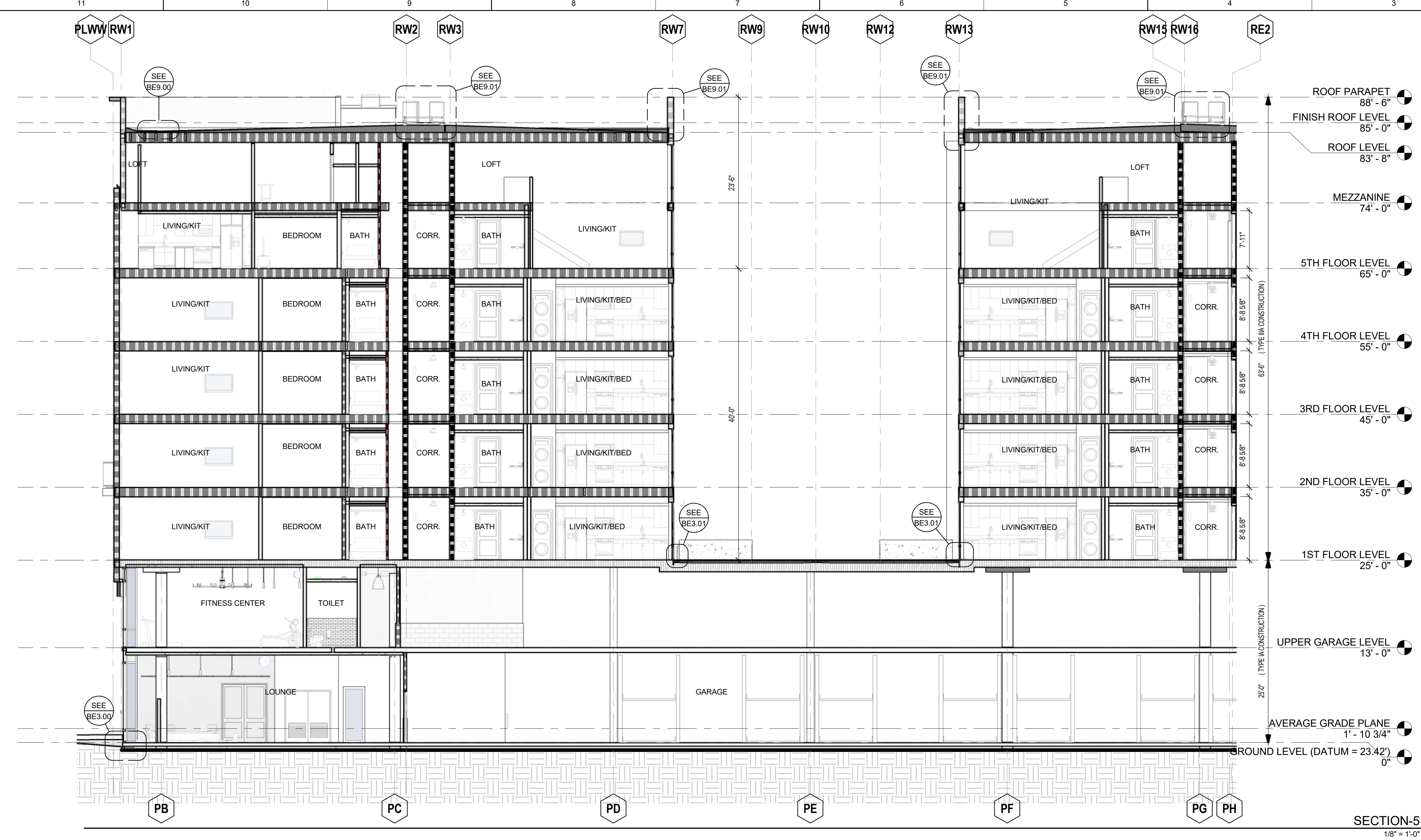


SECTION-4
1/8" = 1'-0" K1

ASSEMBLY FIRE RATING LEGEND:

-  4-HOUR RATED ASSEMBLY
-  3-HOUR RATED FIRE WALL ASSEMBLY
-  2-HOUR RATED ASSEMBLY
-  1-HOUR RATED ASSEMBLY

* SEE A9.05 - A9.08 FOR WALL & FLOOR ASSEMBLY DETAILS
* SEE A0.02 FOR CODE SUMMARY







SECTION-5
1/8" = 1'-0" F1



SECTION-6
1/8" = 1'-0" K1

ASSEMBLY FIRE RATING LEGEND:

-  4-HOUR RATED ASSEMBLY
-  3-HOUR RATED FIRE WALL ASSEMBLY
-  2-HOUR RATED ASSEMBLY
-  1-HOUR RATED ASSEMBLY

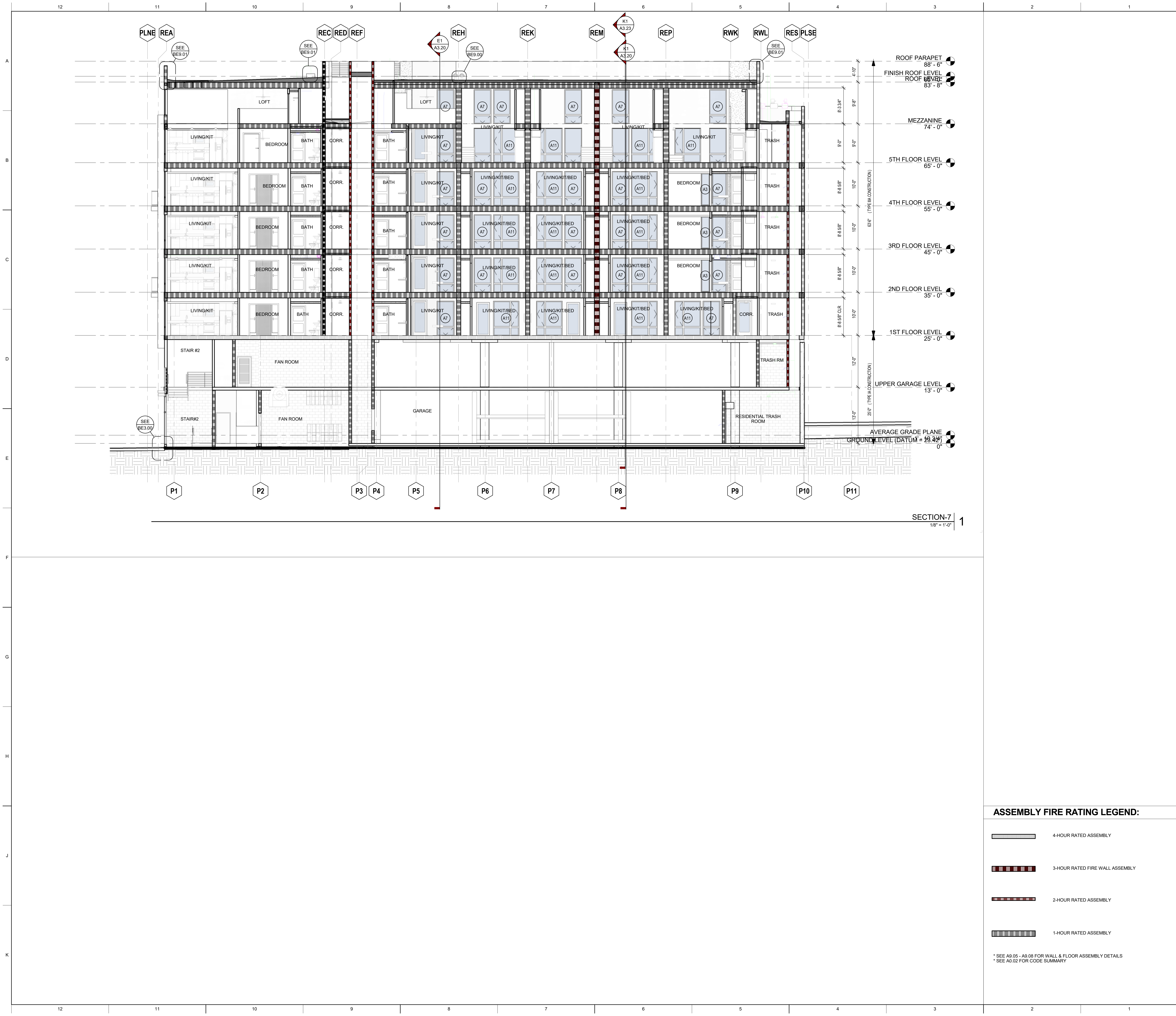
* SEE A9.05 - A9.08 FOR WALL & FLOOR ASSEMBLY DETAILS
* SEE A9.02 FOR CODE SUMMARY

SECTIONS

PROJECT NO: 1132-0018
DATE: 10/06/2016





SHEET NO:

A3.24



SECTION-7
1/8" = 1'-0"

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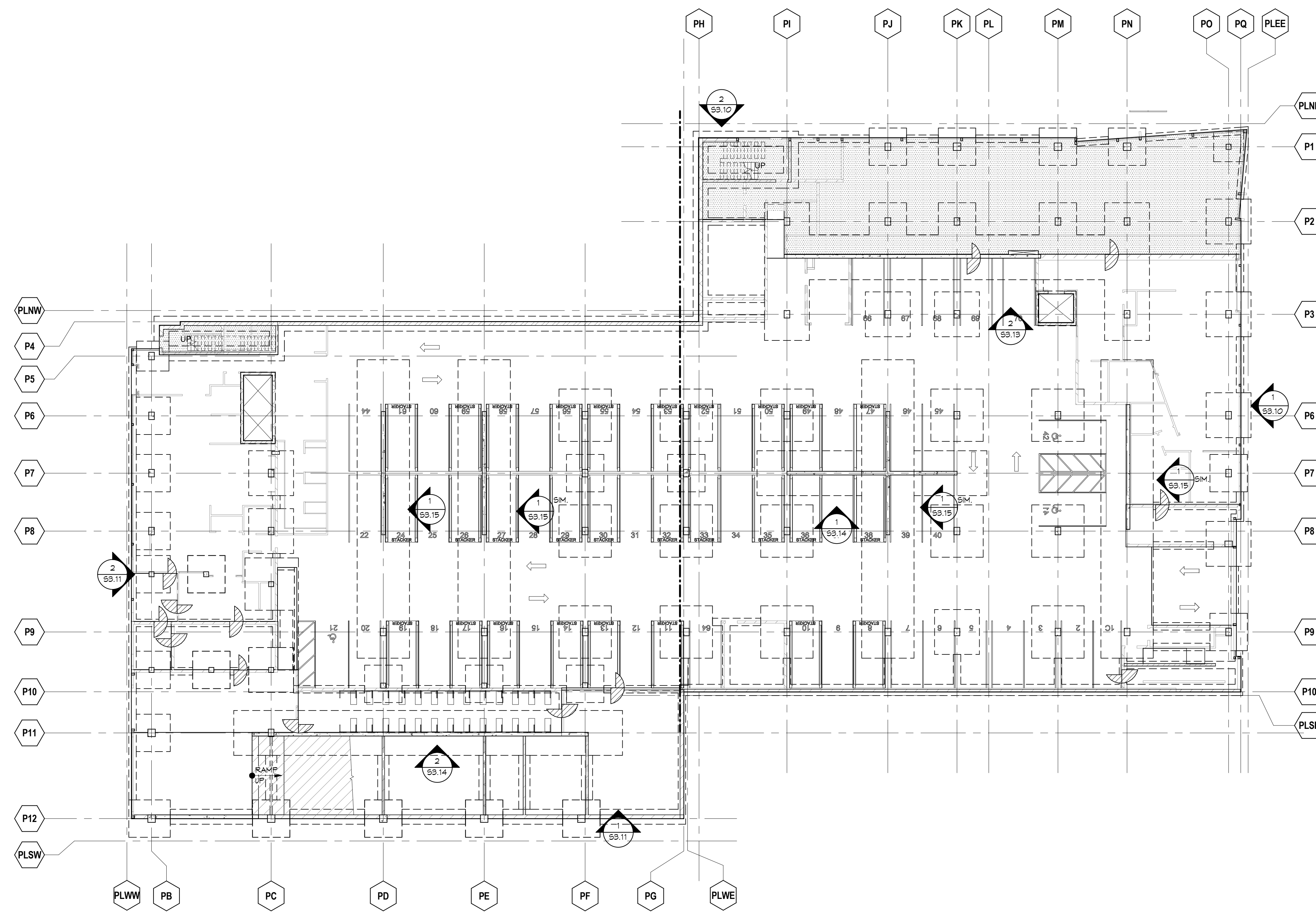
-  4-HOUR RATED ASSEMBLY
-  3-HOUR RATED FIRE WALL ASSEMBLY
-  2-HOUR RATED ASSEMBLY
-  1-HOUR RATED ASSEMBLY

* SEE A5.05 - A5.08 FOR WALL & FLOOR ASSEMBLY DETAILS
* SEE A0.02 FOR CODE SUMMARY

FOUNDATION PLAN NOTES

- SEE GENERAL NOTES AND DETAILS ON SHEETS S1.0 AND S1.1
- SEE ARCHITECTURAL PLAN FOR ACTUAL FINISH FLOOR AND PAD ELEVATIONS.
- EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE LINES REQUIRED BY THE FOOTINGS. NO MATERIAL IS TO BE OVER EXCAVATED UNNECESSARILY.
- VERIFY LOCATION OF UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ARCHITECT PRIOR TO EXCAVATION IN THE EVENT SUCH UTILITIES ARE ENCOUNTERED.
- FOR DRAINAGE DETAILS, SUMPS, PITS, DAMPROOFING, TRENCHES, CURBS, EXTERIOR WALKS, UTILITIES, EQUIPMENT DETAILS, STEPS, DIMENSIONS NOT SHOWN, ETC., SEE DRAWINGS OTHER THAN STRUCTURAL.
- SETBACK CONDITIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO TRENCHING AND FORMING FOUNDATION. THE FOUNDATION SUBCONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR, SURVEYOR, AND THE ARCHITECT.
- GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION, AND THAT INSPECTION AND TESTING REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT.

NO.	ISSUE	DATE



GROUND LEVEL OVERALL FOUNDATION PLAN
1/16" = 1'-0"

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HOBBACH-LEWIN, INC.
STRUCTURAL & CIVIL ENGINEERS
260 Sheridan Ave. Suite 150
Palo Alto, Ca 94306
(650) 617-9930, Fax (650) 617-5932

DATE SIGNED: ---

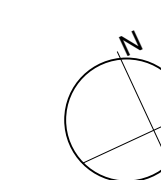
GROUND FLOOR FOUNDATION PLAN - OVERALL

PROJECT NO: 1132-0018

DATE: 10/06/2016

SHEET NO:

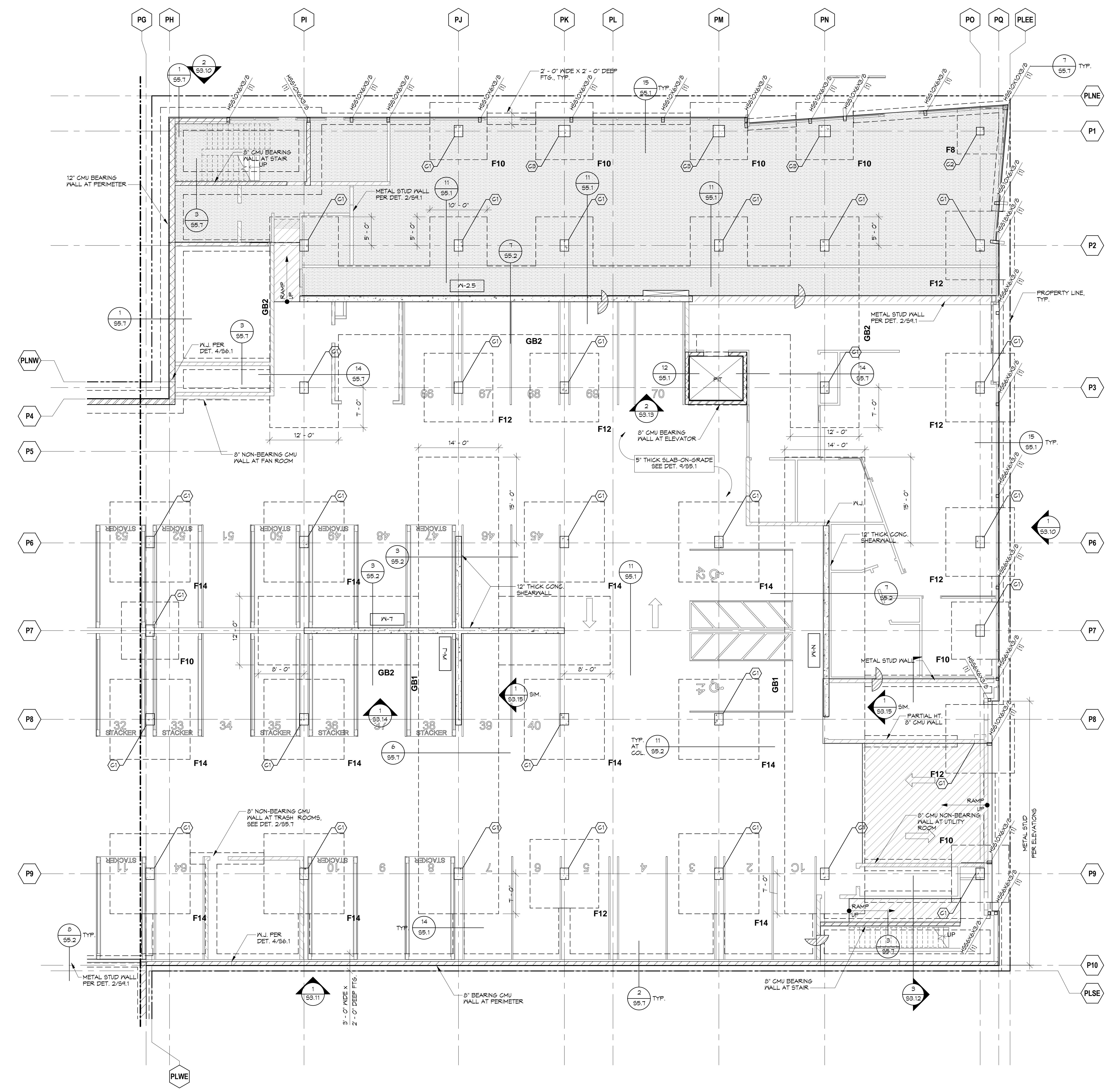
S2.01



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FOUNDATION PLAN NOTES

- SEE GENERAL NOTES AND DETAILS ON SHEETS S1.0 AND S1.1
- SEE ARCHITECTURAL PLAN FOR ACTUAL FINISH FLOOR AND PAD ELEVATIONS.
- EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE LINES REQUIRED BY THE FOOTING. NO MATERIAL IS TO BE OVER EXCAVATED UNNECESSARILY.
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- FOR DRAINAGE DETAILS, SUMPS, PITS, DAMPROOFING, TRENCHES, CURBS, EXTERIOR WALKS, UTILITIES, EQUIPMENT DETAILS, STEPS, DIMENSIONS NOT SHOWN, ETC., SEE DRAWINGS OTHER THAN STRUCTURAL.
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GROUND LEVEL FOUNDATION PLAN - EAST
1/8" = 1'-0"

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STRUCTURAL & CIVIL ENGINEERS
260 Sherman Ave. Suite 150
Palo Alto, CA 94306
(650) 617-9930, Fax (650) 617-5932

DATE SIGNED: _____

GROUND FLOOR FOUNDATION PLAN - EAST

PROJECT NO: 1132-0018
DATE: 10/06/2016

SHEET NO:

S2.01 E

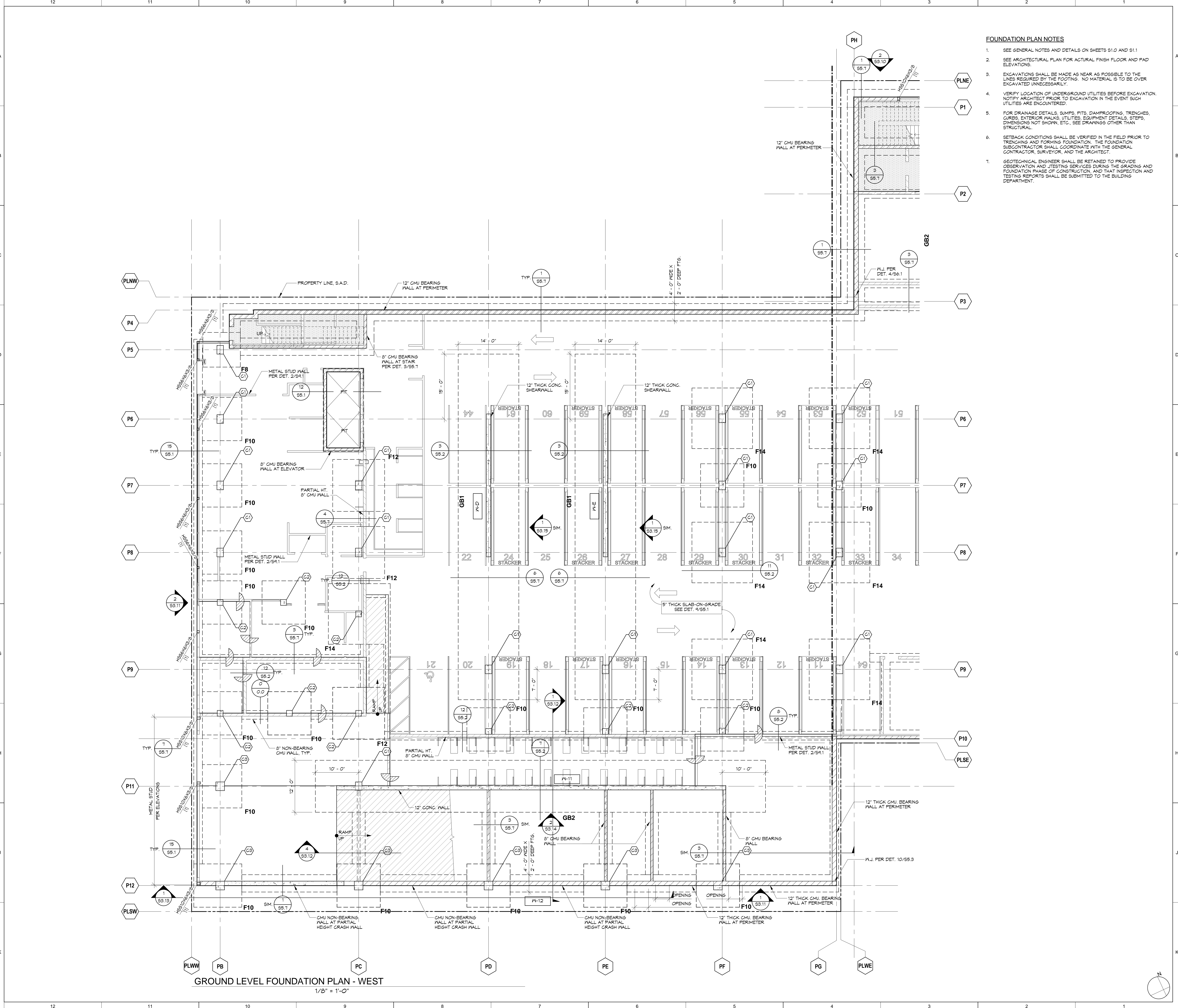


GROUND FLOOR FOUNDATION PLAN - WEST

S2.01 W

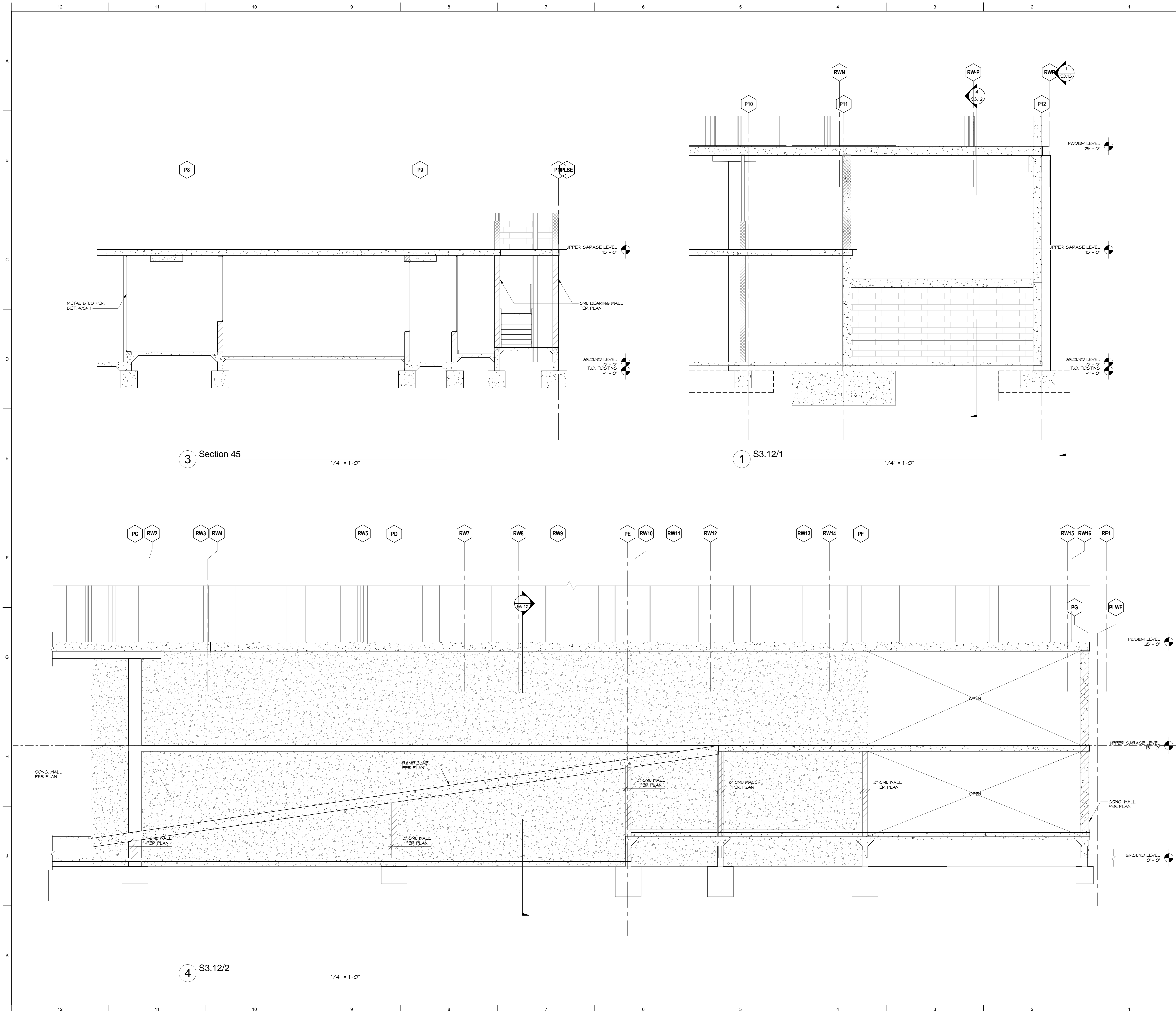
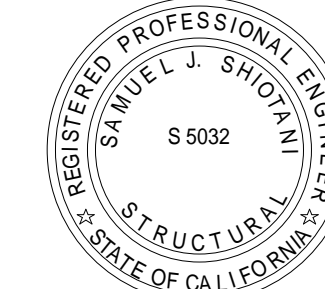
FOUNDATION PLAN NOTES

- SEE GENERAL NOTES AND DETAILS ON SHEETS S1.0 AND S1.1
- SEE ARCHITECTURAL PLAN FOR ACTUAL FINISH FLOOR AND PAD ELEVATIONS.
- EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE LINES REQUIRED BY THE FOOTINGS. NO MATERIAL IS TO BE OVER EXCAVATED UNNECESSARILY.
- VERIFY LOCATION OF UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ARCHITECT PRIOR TO EXCAVATION IN THE EVENT SUCH UTILITIES ARE ENCOUNTERED.
- FOR DRAINAGE DETAILS, SUMPS, FITS, DAMPROOFING, TRENCHES, CURBS, EXTERIOR WALLS, UTILITIES, EQUIPMENT DETAILS, STEPS, DIMENSIONS NOT SHOWN, ETC., SEE DRAWINGS OTHER THAN STRUCTURAL.
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- GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION, AND THAT INSPECTION AND TESTING REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT.



GROUND LEVEL FOUNDATION PLAN - WEST
1/8" = 1'-0"

10/3/2016 4:06:24 PM

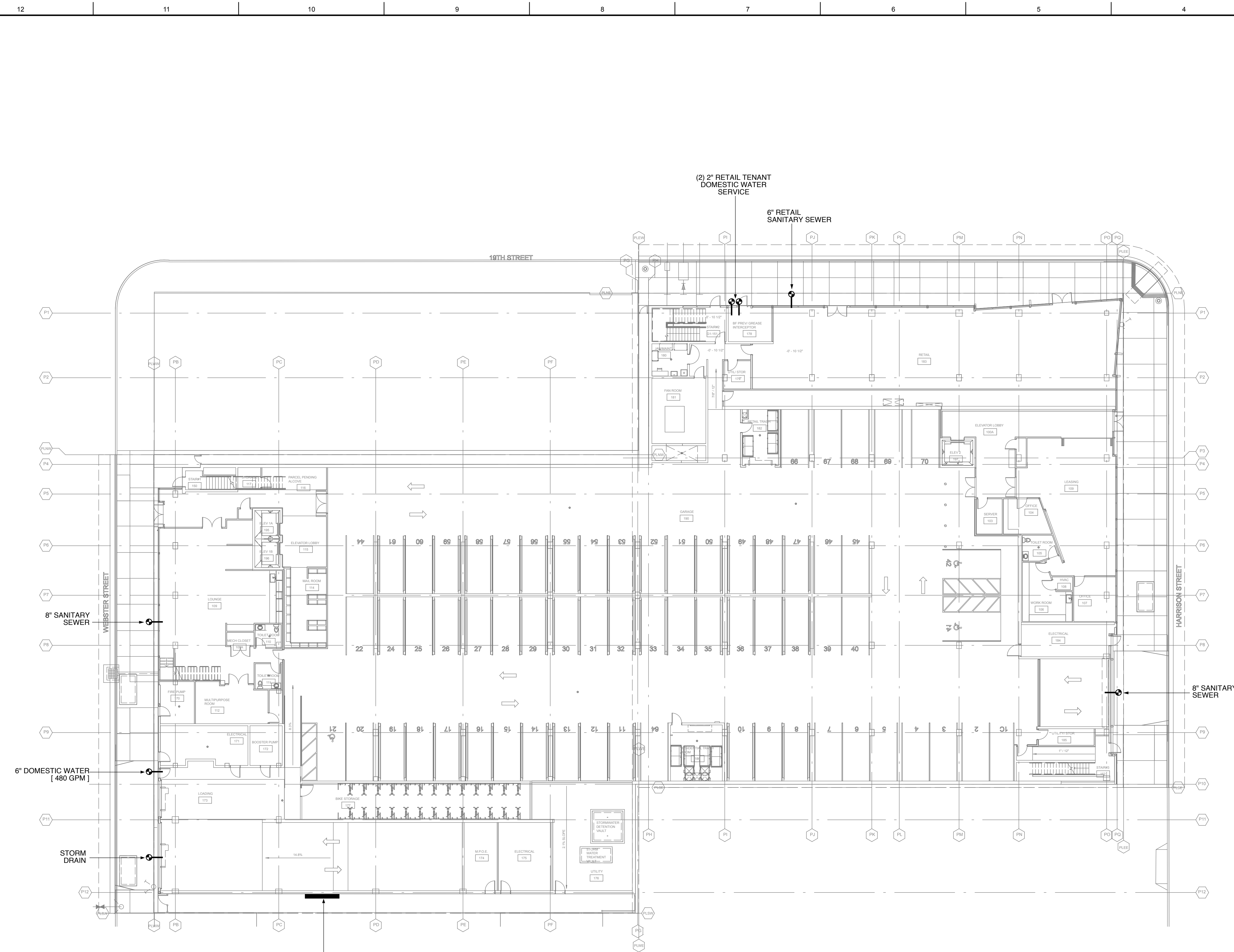


3 Section 45
1/4" = 1'-0"

1 S3.12/1
1/4" = 1'-0"

4 S3.12/2
1/4" = 1'-0"

10/3/2016 4:08:37 PM



SITE PLAN
 NOT TO SCALE

- NOTES**
- CONTRACTOR SHALL CONNECT TO SITE DOMESTIC WATER, SANITARY SEWER AND STORM DRAIN PIPING STUBOUTS.
 - REFER TO CIVIL SITWORK PLANS FOR FOR SITE DOMESTIC WATER METERS AND SITE PIPING CONNECTIONS TO PUBLIC MAINS.
 - SEE PLUMBING BUILDING PLANS FOR EXACT LOCATIONS OF BUILDING UTILITY CONNECTIONS REQUIRED.

BUILDING PIPING MATERIALS SCHEDULE										
PIPE	LOCATION	NO-HUB CAST IRON	PVC	DWV COPPER	CPVC	TYPE K COPPER	TYPE L COPPER	TYPE M COPPER	SCH 40 BLACK STEEL	SCH 40 GALV STEEL
SANITARY SEWER & VENT	BELOW GRADE	●								
	ABOVE GRADE	●								
STORM DRAIN	BELOW GRADE	●								
	ABOVE GRADE	●								
DOMESTIC WATER	BELOW GRADE				●					
	ABOVE GRADE				●		●			
NATURAL GAS	INTERIOR ABOVE GRADE								●	
	EXTERIOR ABOVE GRADE									●
CONDENSATE	INTERIOR ABOVE GRADE			●			●			
	EXTERIOR ABOVE GRADE									●

BUILDING PLUMBING UTILITY LOADS	
DOMESTIC WATER	
DEMAND FIXTURE UNITS	3,600 WSFU
DEMAND FLOW ESTIMATE	500 GPM
DEMAND PIPE SIZING	6 INCH
PIPE SIZE MAXIMUM VELOCITY	5 FT/SECOND

SANITARY SEWER	
DEMAND FIXTURE UNITS	2,686 DFU
PIPE SIZING	(2) 8 INCH

WATER CALCULATIONS	
WATER SERVICE	
AVAILABLE STATIC PRESSURE	+58 PSI
LOSS THROUGH METER (6" SIZE @ 500 GPM)	-5 PSI
LOSS THROUGH BACKFLOW DEVICE (6" SIZE @ 500 GPM)	-10 PSI
AVAILABLE PRESSURE	+43 PSI
NOTE: INADEQUATE PRESSURE AVAILABLE - PRESSURE BOOSTER PUMP REQUIRED	
BUILDING WATER SUPPLY INFORMATION	
MAXIMUM CW DEMAND	500 GPM
PRESSURE BOOSTER PUMP OUTLET PRESSURE	75 PSI
PRESSURE AT REMOTE FIXTURE	20 PSI
STATIC LOSS BUILDING HEIGHT (74 FT. X 0.43 =)	-32 PSI
AVAILABLE PRESSURE FOR FRICTION LOSS	23 PSI
PIPING SUPPLY INFORMATION	
AVAILABLE PRESSURE FOR FRICTION LOSS	23 PSI
TOTAL DEVELOPED LENGTH TDL	600 FEET
FRICTION LOSS RATE (23 AVAILABLE PSI / 600 TDL X 100 =)	3.8 PSI/100 FT

CPVC PIPE SIZING SUMMARY					
	PIPE SIZE	WATER WSFU	WATER GPM	VELOCITY	MAXIMUM PRESSURE DROP
SPR 11	1/2"	1	2	3.4 FPS	3.9 PSI / 100 FT
	3/4"	4	4	3.2 FPS	
	1"	12	9	4.3 FPS	
	1-1/4"	20	15	4.8 FPS	
	1-1/2"	30	20	4.6 FPS	
SCH 80	2"	66	35	4.7 FPS	
	2-1/2"	175	60	4.6 FPS	
	3"	380	100	4.9 FPS	
	4"	778	175	4.9 FPS	
	5"	1335	250	4.5 FPS	
	6"	3620	500	6.0 FPS	
	8"	8300	1000	7.0 FPS	

GAS METER LOADS

(1) HOUSE GAS METER			
RESIDENTIAL HOUSE GAS METER LOADS			
ITEM	Qty	MBH	Totals
WATER HEATER	2	1,700	3,400
POOL/SPA HEATERS	0	0	0
HVAC	0	0	0
RESIDENTIAL RANGES	224	65	14,560
AMENITY RANGES	0	0	0
LANDSCAPE BBQS	4	75	300
OUTDOOR FIREPLACES	4	80	320
INDOOR FIREPLACES	0	0	0
OTHER	0	0	0
TOTAL LOAD (MBH):			18,580 MBH
SERVICE PRESSURE REQUEST: 2 PSI			

(1) FUTURE RETAIL GAS METER	
RETAIL GAS METER LOAD ESTIMATE	
(1) FUTURE RETAIL TENANT GAS METER ALLOWANCE FOR MAXIMUM ONE RETAIL RESTAURANT	
KITCHEN EQUIPMENT & HEATING ALLOWANCE	2,500 MBH
TOTAL LOAD (MBH):	2,500 MBH
SERVICE PRESSURE REQUEST: 2 PSI	

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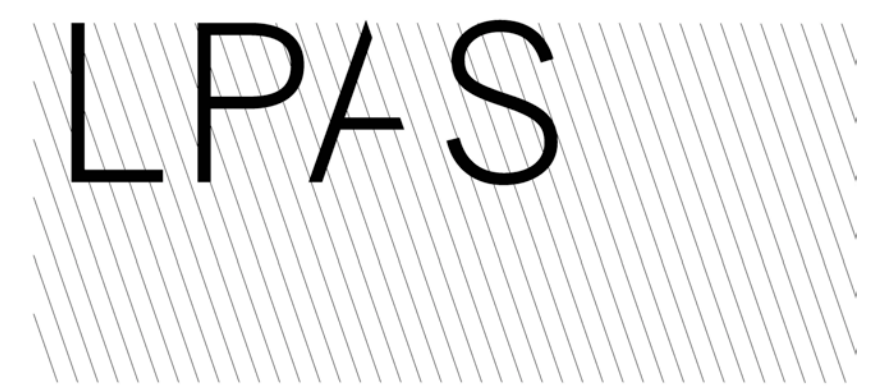
SITE PLAN

PROJECT NO: 1132-0018
 DATE: 10/06/2016

SHEET NO:

P1.03

1. SEE ARCHITECTURAL DRAWINGS FOR EXACT PLAN LOCATION AND MOUNTING HEIGHTS OF PLUMBING FIXTURES
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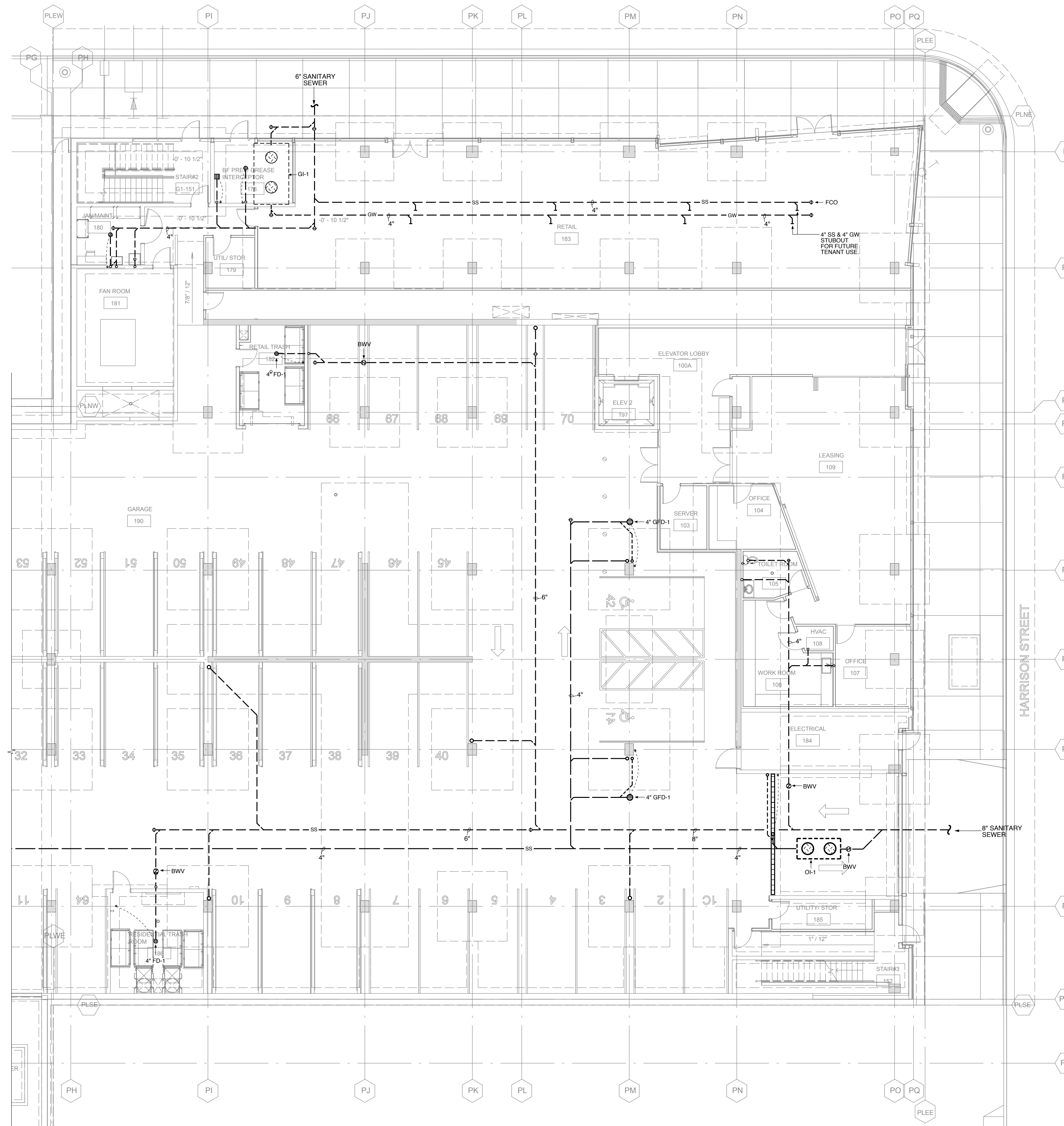
GROUND FLOOR PLAN EAST - BELOW SLAB PIPING

PROJECT NO: 1132-0018
DATE: 10/06/2016

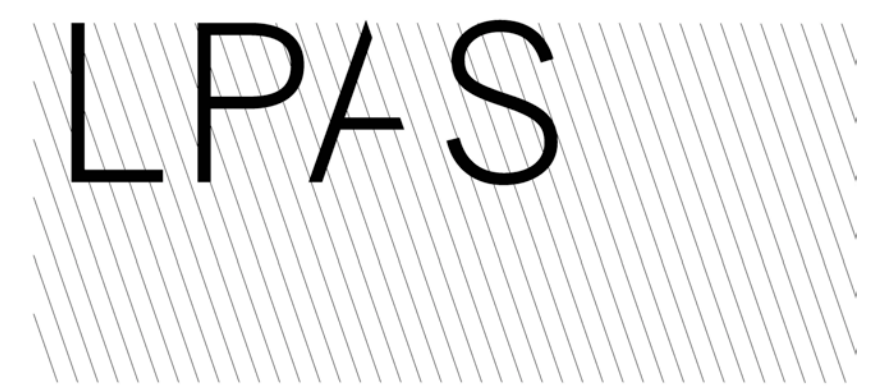
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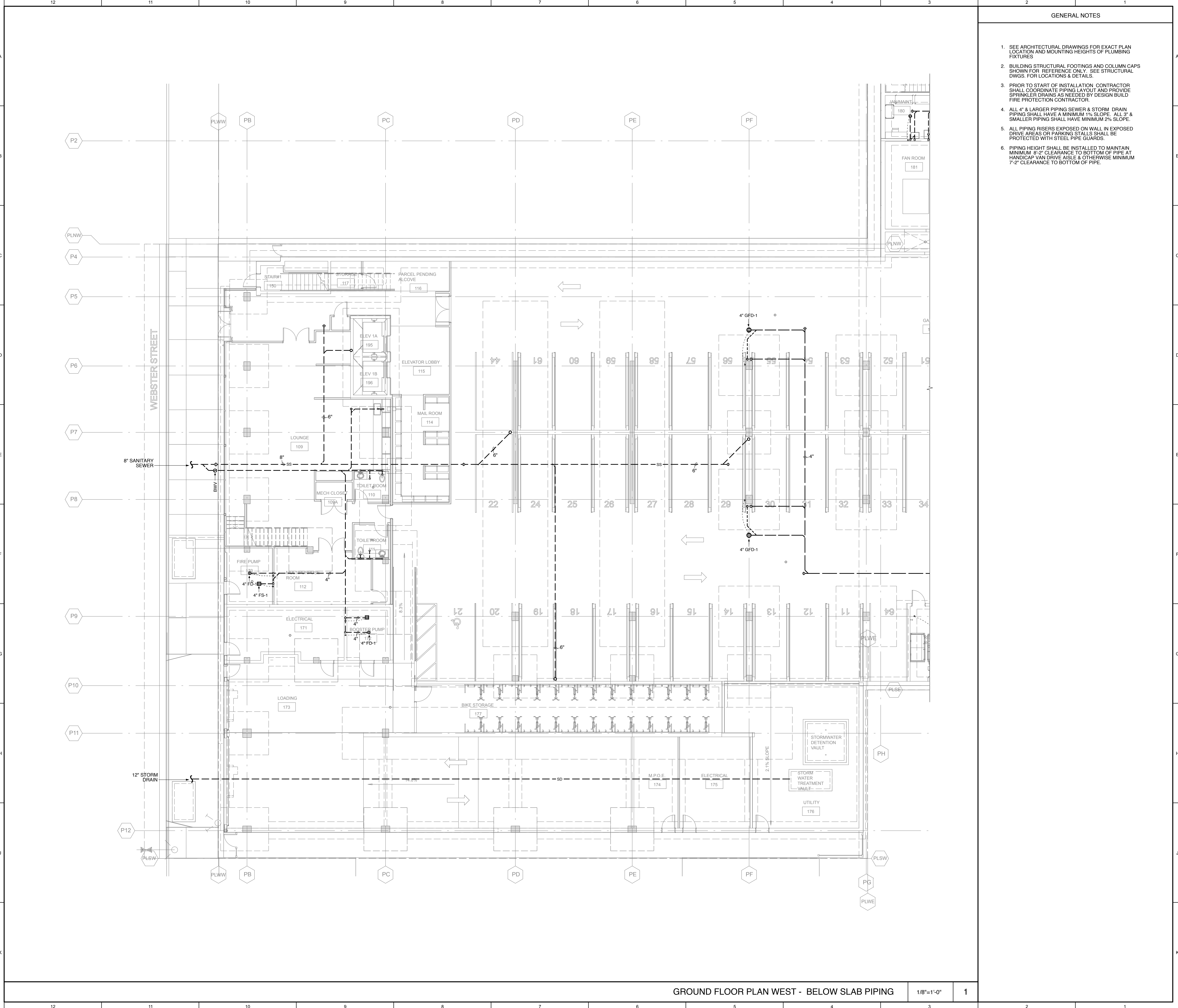
GROUND FLOOR PLAN WEST - BELOW SLAB PIPING

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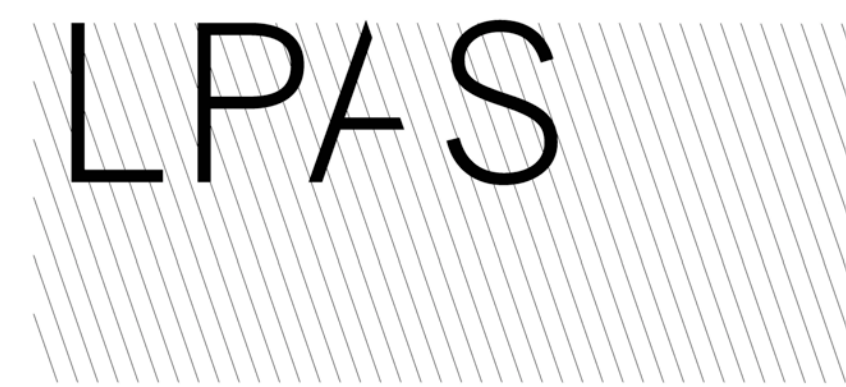
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GROUND FLOOR PLAN WEST - BELOW SLAB PIPING 1/8"=1'-0" 1



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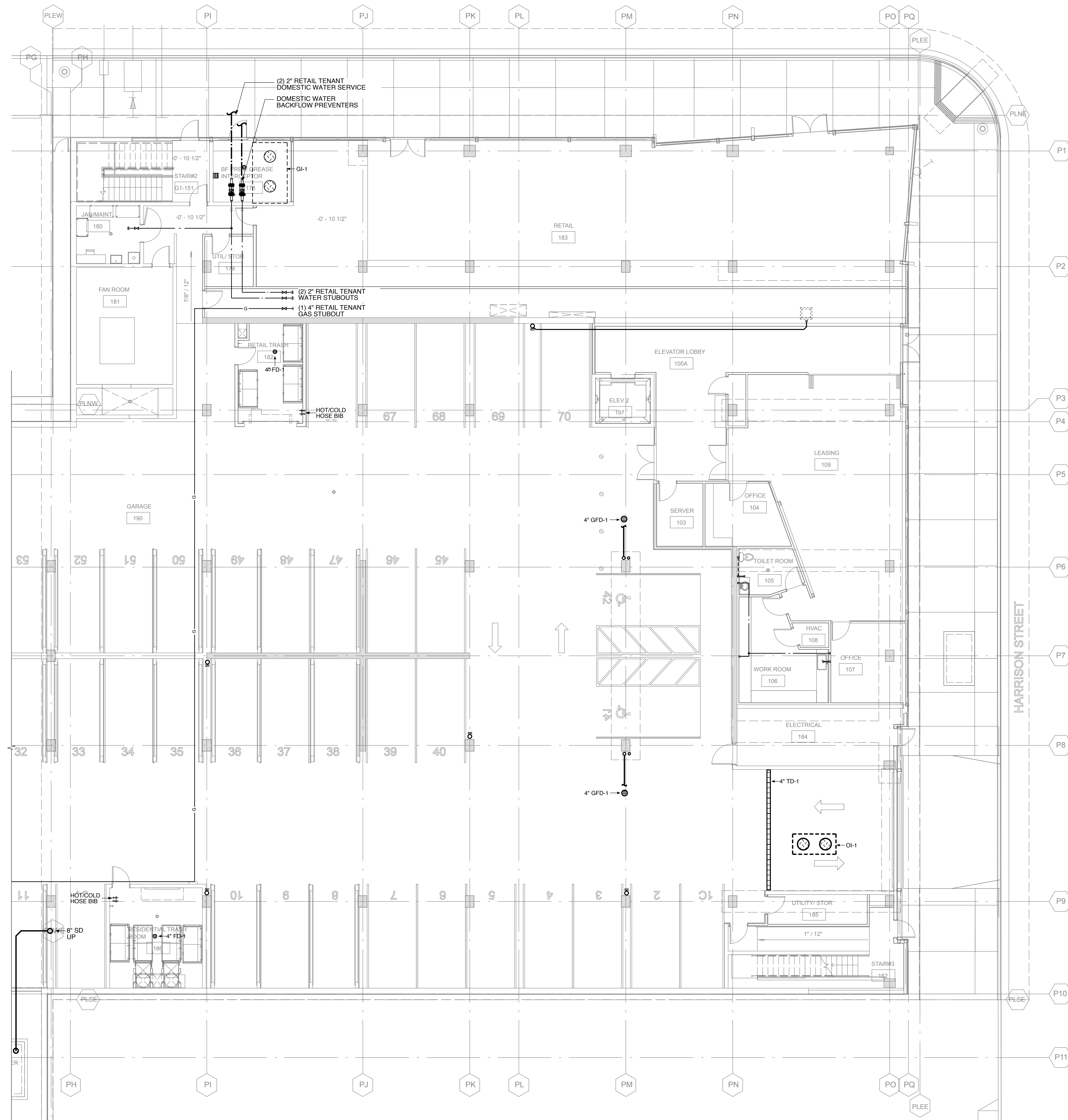
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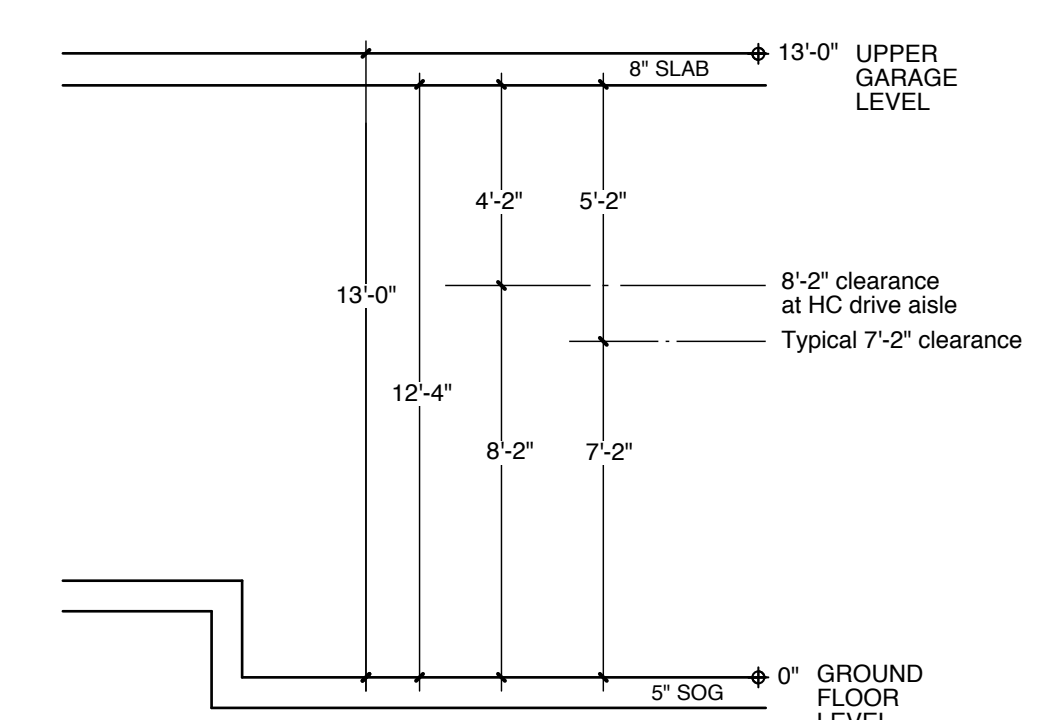
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GROUND FLOOR PLAN - EAST 1/8"=1'-0" 1

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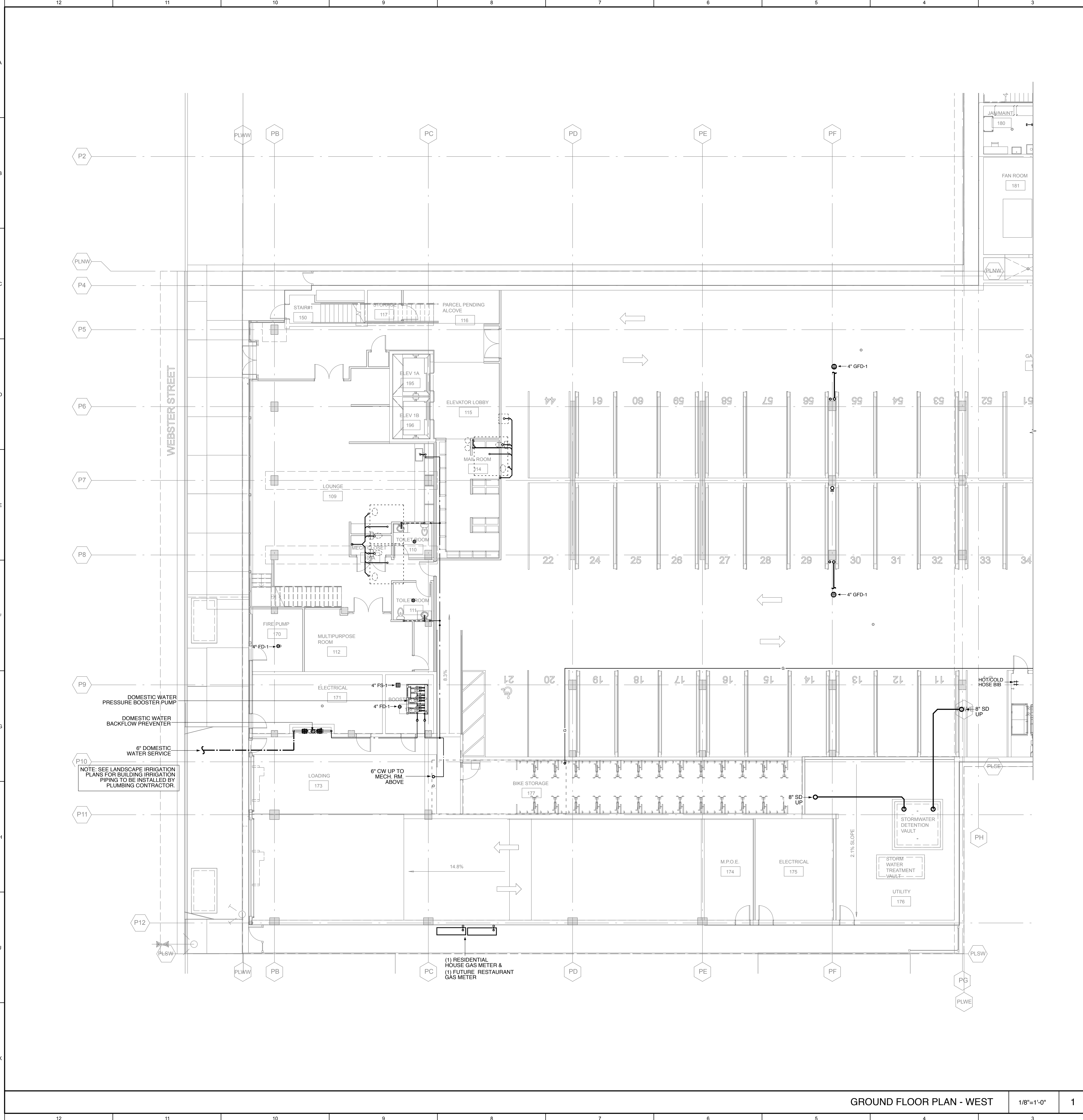
GROUND FLOOR PLAN EAST

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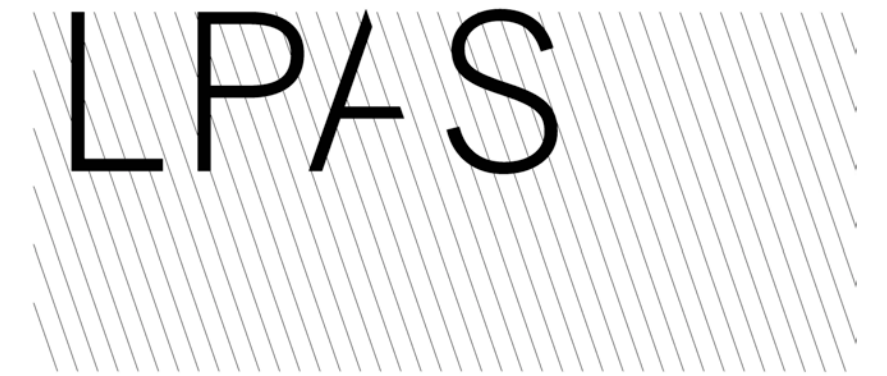
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SECTION

GROUND FLOOR PLAN WEST

1/8"=1'-0" 1



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