### Detterman, Mark, Env. Health

From: Coleman, Heather < HColeman@sanleandro.org>
Sent: Wednesday, November 28, 2018 12:30 PM

**To:** Mogensen, Andrew; Stella, Michael; Chen, Reh-Lin; Richardson, Tonya; Barros, Sally;

Benabou, Isaac; Braun, Melanie; Miraftab, Matin; Jenson, Justin; Fluehr, Yvonne

Cc: Detterman, Mark, Env. Health; Khatri, Paresh, Env. Health

Subject: RE: PLN18-0080 AR Cozy Nest Adult Day Care Transmittal - 2125 Williams St

Attachments: PLN18-0080 Submittal 2 Internal Dist Pkg 11.28.18.pdf

I am sending a revised set of plans that we just received for PLN18-0080, the Administrative Review application to create an adult day care at 2125 Williams Street. In the consolidated .pdf document attached to this email, I'm also including the Planning Division's incompleteness letter dated 11/15 and a letter from Alameda County Department of Environmental Health about the need for vapor testing.

I'll be routing hard copies of the revised plan set to Building (Melanie), Engineering (Michael Stella), and Fire (Yvonne). If anyone else needs a hard copy, please let me know. (The applicant only provided us four large hard-copy revised sets, but I can ask them for more.)

Because of the City closure over the winter holiday and our 30-day completeness review timeframe, I'm asking for comments by 12/12, just two weeks from today.

Thanks!

### Heather

Heather Coleman, Planner I

(510) 577-3325 main | (510) 577-3387 direct

My hours: Mon. 8a – 5p, Tues. 8a – 5p, Weds. 8a – 12p

For general zoning information, please call (510) 577-3325 or email planner@sanleandro.org.

#### **City of San Leandro**

Planning Services, Community Development Department 835 East 14th Street, San Leandro, CA 94577 www.sanleandro.org | Zoning | Projects

From: Mogensen, Andrew

Sent: Wednesday, October 17, 2018 2:31 PM

**To:** Stella, Michael <MStella@sanleandro.org>; Chen, Reh-Lin <RChen@sanleandro.org>; Richardson, Tonya <TRichardson@sanleandro.org>; Barros, Sally <SBarros@sanleandro.org>; Benabou, Isaac <IBenabou@sanleandro.org>; Snodgrass, Robert <Robert.Snodgrass@acgov.org>; Terra, Bonnie <bonnie.terra@acgov.org>; Snodgrass, Robert <rsnodgrass@sanleandro.org>; Braun, Melanie <MelanieBraun@sanleandro.org>; Miraftab, Matin <MMiraftab@sanleandro.org>; Treece, Tiffany <TTreece@sanleandro.org>; Jenson, Justin <JJenson@sanleandro.org>

**Cc:** Coleman, Heather <HColeman@sanleandro.org> **Subject:** PLN18-0080 AR Cozy Nest Adult Day Care Transmittal - 2125 Williams St

Good Afternoon,

Attached with this email is a transmittal of an Administrative Review Permit for the proposed Cozy Nest Adult Day Care at 2125 Williams Street. If you have any comments, please respond to Heather Coleman, Planner I, no later than November 6, 2018. If no comments are received it is assumed there are none. Please be aware that Heather is part time and only in the office on Monday, Tuesday and Wednesday mornings.

Certain departments will receive a paper copy of the attached plans following this email transmittal.

Thank You,

## Andrew J. Mogensen, AICP Planning Manager



City of San Leandro
Community Development Department
835 East 14<sup>th</sup> Street, San Leandro, CA 94577
(510) 577-3325 Main | (510) 577-3458 Direct | (510) 577-6007 Fax
www.sanleandro.org | www.qcode.us/codes/sanleandro-zoning/



### Submittal #2

### 2125 Williams St. | Cozy Nest Adult Day Care

### **COMMENTS DUE Wednesday, December 12, 2018**

**DISTRIBUTION SHEET** INTERDEPARTMENTAL DEVELOPMENT REVIEW

PROJECT	PLN18-0080			DATE	Wednesday 2018	y, November 28,	
TO	<ul> <li>(No Associate Engineer Selected)</li> <li>☑ Reh-Lin Chen, Transportation Engineering</li> <li>☑ Tonya Richardson, Public Works</li> <li>☑ Sally Barros, Sustainability Manager (PDF set)</li> </ul>			<ul> <li>☑ Alameda County Fire Departmen</li> <li>☑ Melanie Braun, Building</li> <li>☑ Matin Miraftab, Building Enginee</li> <li>☐ Maryann Sargent, Housing</li> <li>☐ Tiffany Treece, Environmental</li> <li>☑ Justin Jenson, Water Pollution Company</li> </ul>			
PLANNER	Heather Coleman,	510-577-3387, h	coleman@sanleandro	o.org			
FEE	\$3,055.00	☐ Fixed Fee	□ Direct Cost	ZONING	G: IG	LOT SIZE: 364,324sf	
ADDRESS	2125 Williams St.			APN #:	077A-0645-005	5-01	
☐ Accessory [	Dwelling Unit (ADU)	☐ Major Si	te Plan Review (MaSPR)	) [	☐ Planned Deve	lopment (PD)	
☐ Administrati	ive Exception (AE)	☐ Minor Si	te Plan Review (MiSPR)	[	☐ Site Plan Revi	ew (SPR)	
□ Administration     □ Administration	ive Review (AR)	□ Major Vi	ew Preservation (MaVP)	[	☐ Temporary Us	e Permit (TUP)	
☐ Conditional	Use Permit (CUP)	☐ Outdoor	Facilities Permit (OFP)	[	☐ Tentative Map	(TM)	
☐ Fence Modi	ification (FM)	☐ Parking	Exception (PE)	[	☐ Other:		
Owner Address	Randy Jones, 2010 2228 Livingston St.			Phone Email	510-261-5500 randy@jones	0 x104 developers.com	
Applicant Address	Hanh Giang, Cozy 2638 Ranier Ct., Ur		37	Phone Email	408-300-2367 Cozynest.adh	7 nc@yahoo.com	

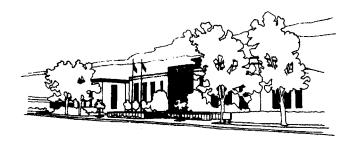
Please respond with Comments or Formal Conditions of Approval through Accela or by email by 12/12/2018.

### **Project Description:**

Administrative Review permit application or an adult day care facility at 2125 Williams Street.

### City of San Leandro

Civic Center, 835 E. 14th Street San Leandro, California 94577 www.sanleandro.org



November 15, 2018

[Emailed to cozynest.adhc@yahoo.com on 11/15/2018]

CANL

Hanh Giang 2638 Rainier Court Union City, CA 94587

SUBJECT:

INCOMPLETE LETTER 1: PLN18-0080, Administrative Review for an Adult Day Care at 2125 Williams Street, San Leandro, CA (APN 077A-0645-005-01)

Dear Hanh Giang,

In accordance with California Government Code Section 65943 and the San Leandro Zoning Code, this letter serves as notification that your application submitted on **October 17, 2018** has been determined by this office to be **incomplete**. The following corrections and information are necessary to continue an evaluation of your Administrative Review application.

#### PLANNING: HEATHER COLEMAN, 510-577-3387, HCOLEMAN@SANLEANDRO.ORG

1.	submittal che required.) If	rawings. Provide existing and proposed elevation drawings. (See the information sheet and ecklist for Administrative Review attached to this letter. Elevation drawings are typically certain elevations of the building will have no exterior changes, you may substitute for elevation drawings of those sides of the building.
	RESPONSE	

### 2. Description of Operations.

- a. Explain the number of clients, staff, and other people who will be at the site at different times throughout the day, including at the peak period of operations.
- b. Clearly state the proposed hours of operation of the daycare center. The "Transportation Operations" sheet submitted with the application describes the times when participants are picked up and dropped off, but it's not clear what the hours of the center will be.
- c. Describe the amount of time that individual participants will spend at the site.
- d. Identify if buses/vans will be parked at the site when not in use.
- e. On the "Transportation Operations" sheet, please clarify whether all clients will be transported by the buses/vans or whether some will be transported to the day care center by other parties such as family members/caregivers.

Pauline Russo Cutter, Mayor	·			5
City Council:	Pete Ballew	Deborah Cox	Ed Hernandez	ICORPORATED 1817
	Renny Lee	Corina N. Lónez	Lee Thomas	J. J

RESP	ONSE	
Plan") this br	has a eak-d	quirements and Parking Demand. The table on Sheet A090 ("Existing Site Plan/Parcel calculation of parking required by the San Leandro Zoning Code. Thank you for providing own of required parking by land use category. Please clarify the following items:
a.		ify the number of parking spaces required for existing tenants between Sheet A090 and the submitted by Jones Development Company.
b. с.	You class the a requirection of terms. If you off-state to the second of	have calculated required parking for the building at 2101 Williams St. based on the land use ification "Offices, Business and Professional." However, the correct land us classification for idult day care facility you are proposing is "Day Care, General," for which the parking rement is one parking space per six children. Although the requirement is stated in terms of dren," and the facility is proposed to serve adults, the parking ratio is intended to be applied in a sof clients. Please include a calculation of the required parking based on the number of clients, u are not able to accommodate the parking spaces required by Zoning Code Section 4-1704, Street Parking and Loading Spaces Required, on the site but believe that your operation has reparking demand characteristics, you could apply for a Conditional Use Permit pursuant to
	Secti Uses	on 4-1706, Collective Provision of Parking, or Section 4-1707, Reduced Parking for Other
RESP	ONSE	
of Enconcer warranto AC	vironr ntratio nted. F DEH'	ntal Health Data. As described in the attached letter from the Alameda County Department nental Health (ACDEH), ACDEH requests that you conduct a study of PCE vapor ns in indoor air and subslab vapors at the building in order to see if vapor mitigation is Please undertake such an investigation with ACDEH oversight using appropriate standards a satisfaction and inform the City of San Leandro Planning Services Division when the is complete.

### ENGINEERING LAND USE: VIBHA DESHMUKH, 510-577-3411, VDESHMUKH@SANLEANDRO.ORG

### **Recommended Conditions of Approval**

The Engineering and Transportation Department recommends the following conditions of approval for the project. (Note that most of these conditions will need to be met before approval of a building permit, not before the Administrative Review application can be considered complete.)

**RESPONSE** 

- 1. Pursuant to Government Code Section 66020, including Section 66020 (d) (1), the City HEREBY NOTIFIES the applicant for this Project that the 90-day approval period (in which the applicant may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) will begin on the date of the conditional approval of this Project. If the applicant fails to file a protest within this 90-day period, complying with all of the requirements of Government Code Section 66020, the applicant will be legally barred from later challenging any such fees, dedications, reservations or other exactions.
- 2. The proposed development shall comply with City ordinances, policies and regulations. All improvements shall be in accordance with the City's Design Standards, Specifications and Standard Plans unless otherwise specifically approved by the Principal Engineer.
- 3. Building Permit Plans shall include the following notes:
  - a. The applicant shall obtain an Encroachment Permit from the Engineering and Transportation Department for any work within the public right-of-way including the use of lifting equipment or the staging of materials. Barricades, traffic cones, and/or caution ribbon shall be positioned around any equipment or materials within the right-of-way to provide a barrier to public access and assure public safety. Any damage to the right-of-way improvements must be promptly repaired by the applicant according to City adopted standards.
  - b. Driveway and sidewalk construction shall be in compliance with the City of San Leandro Standard plans Dwg. No. 102, case 3101 and Dwg. No. 100, case 3101.
  - c. The applicant shall comply with the following high standards for sanitation during construction of improvements: garbage cans, construction dumpsters, and debris piles shall be removed on a minimum weekly basis. All food related trash items such as wrappers, cans, bottles, and food scraps shall be disposed of in closed containers only and shall be regularly removed from the site. Inspections, conducted as part of the regular construction compliance, will be conducted to ensure compliance of the Applicant and contractors with this requirement.
  - d. The applicant shall implement construction best management practices during construction to control erosion, keep sediment from leaving the project site and prevent storm water pollution. The applicant shall protect existing storm drain inlets and conveyances within the project area to prevent sediment from construction activities entering the storm drain system.

#### **Impact Fees**

The following information is advisory. Please note that these are estimated amounts. These fees are subject to change at the start of each fiscal year and will not be vested until issuance of building permit.

- 4. A Development Fee for Street Improvements (DFSI) shall be assessed for the proposed "Personal Care" land use approximately in the amount of \$17,205 which is calculated at \$2.39 per gross square foot area of the building and credit is considered for the existing "General Industrial" use which is calculated at \$1.28 per gross square foot area of the building. This fee shall be paid prior to issuance of the building permit. These fees are subject to change each fiscal year and shall not be vested until issuance of building permit.
- 5. Marina Boulevard/Interstate I-880 Interchange Traffic Impact Fee shall be assessed for the proposed "Personal Care" land use approximately in the amount of \$23,405 which is calculated at \$2.45 per gross square foot area of the building and credit is considered for the existing "General Industrial" use which is calculated at \$0.94 per gross square area foot of the building. This fee shall be paid prior to issuance of the building permit. These fees are subject to change each fiscal year and shall not be vested until issuance of building permit.

Incomplete Letter
PLN18-0080 2125 Williams Street

6. Davis Street/Doolittle Drive Intersection Traffic Impact Fee for Zone 8 shall be assessed for the proposed "Personal Care" land use approximately in the amount of \$5,735 which is calculated at \$0.75 per gross square foot area of the building and credit is considered for the existing "General Industrial" use which is calculated at \$0.38 per gross square foot area of the building. This fee shall be paid prior to issuance of the building permit. These fees are subject to change each fiscal year and shall not be vested until issuance of building permit.

### BUILDING: MELANIE BRAUN, 510-577-3420, MELANIEBRAUN@SANLEANDRO.ORG

Please note that these comments and conditions do not constitute a complete building plan review. A formal plan check review will be completed at time of building permit submittal to the Building Division.

The following items requested by the Building and Safety Division need to be submitted in order to continue review of the Administrative Review application:

	Clarify if sh	uttles will be stored on site after hours.
	RESPONSE	
3.	Clarify if me	edication will be dispensed on site.
	RESPONSE	
) <u>.</u>	Clarify if me	emory care patients will be part of the program.
	RESPONSE	

The following items requested by the Building and Safety Division are simply advisory for the preparation of a future building permit application:

- 10. MEP must be included at time of building submittal.
- 11. Title 24 will be required.
- 12. Construction and demolition per CalGreen will be required.
- 13. ADA restroom, parking and path of travel details, must be include at time of building submittal.

### FIRE DEPARTMENT: YVONNE FLUEHR, 510-632-3473X1160, YVONNE.FLUEHR@ACGOV.ORG

Please note that these comments and conditions do not constitute a complete fire and building code review. A formal plan check review will be completed at time of building permit submittal. The building will need to comply with all building and fire code requirements in affect at time of building permit submittal.

14. On the plans please clarify the address of the project. The plans show the address as 2101 Williams Street. The Planning routing sheet shows the address as 2125 Williams Street.

RESPONSE		

vith a Grou	
RESPONSE	
-	ion 907.2.6 of the 2016 California Fire Code, a manual fire alarm system that activates the tification system is required.
RESPONSE	
	1000, provide a deferred approval heading for fire alarm, fire sprinklers, fire service d as these will require separate submittals, permits, plan reviews, inspections and fees.
RESPONSE	
	300 there is a note stating: Smoke Detector- all rooms to be provided with smoke detectors Provide the code section requiring the smoke detectors.
IL Listed.  RESPONSE  On sheet A3 he number	
IL Listed.  RESPONSE  On sheet A3 he number	Provide the code section requiring the smoke detectors.  310 provide an exit analysis clearly showing how egress is achieved for all occupants. Show of occupants for each exit. Clearly show how the assembly exiting meets the requirements
RESPONSE  On sheet A3 the number of Section 1  RESPONSE	Provide the code section requiring the smoke detectors.  310 provide an exit analysis clearly showing how egress is achieved for all occupants. Show of occupants for each exit. Clearly show how the assembly exiting meets the requirements 029.2 of the 2016 California Building Code.
Dn sheet A3 he number of Section 1  RESPONSE  JBMITTAL owing revision.	Provide the code section requiring the smoke detectors.  310 provide an exit analysis clearly showing how egress is achieved for all occupants. Show of occupants for each exit. Clearly show how the assembly exiting meets the requirements 029.2 of the 2016 California Building Code.  NEXT STEPS
On sheet A3 he number of Section 1  RESPONSE  JEMITTAL owing revisione proces	Provide the code section requiring the smoke detectors.  310 provide an exit analysis clearly showing how egress is achieved for all occupants. Show of occupants for each exit. Clearly show how the assembly exiting meets the requirements 029.2 of the 2016 California Building Code.  NEXT STEPS  sions per the comments noted in this letter, please submit the following in order for Staff to
On sheet Ashe number of Section 1  RESPONSE  JBMITTAL owing revisionue proces  Hard-c	Provide the code section requiring the smoke detectors.  310 provide an exit analysis clearly showing how egress is achieved for all occupants. Show of occupants for each exit. Clearly show how the assembly exiting meets the requirements 029.2 of the 2016 California Building Code.  NEXT STEPS  sions per the comments noted in this letter, please submit the following in order for Staff to sing your application:

If you have any questions or need more information, I may be reached directly at (510) 577-3387 or hcoleman@sanleandro.org. You may also contact each Department directly for specific questions related to their comments.

Sincerely,

Heather Coleman, Planner I

Community Development Department

CC: Hafsa Burt, HB+A Architects

### Attachments:

- A. Administrative Review and Exception Info Sheet
- B. Letter from Alameda County Department of Environmental Health

## ALAMEDA COUNTY HEALTH CARE SERVICES AGENCY

DEPARTMENT OF ENVIRONMENTAL HEALTH LOCAL OVERSIGHT PROGRAM (LOP) For Hazardous Materials Releases 1131 HARBOR BAY PARKWAY, SUITE 250 ALAMEDA, CA 94502 (510) 567-6700 FAX (510) 337-9335

COLLEEN CHAWLA, Director

November 9, 2018

Mr. Andrew Mogensen
San Leandro Community Development Dept.
835 East 14<sup>th</sup> Street
San Leandro, CA 94577
(Sent via electronic mail to:
AMogensen@sanleandro.org)

Ms. Heather Coleman
San Leandro Community Development Dept.
835 East 14<sup>th</sup> Street
San Leandro, CA 94577
(Sent via electronic mail to:
HColeman@sanleandro.org)

Subject:

Potential Occupation of 2125 Williams Street by Cozy Nest Adult Day Health Care; SLIC Case RO0002468 and Geotracker Global ID T06019771096, James River Corporation, 2101 Williams Street, San Leandro, CA 94577

Dear Mr. Mogensen and Ms. Coleman:

The Alameda County Department of Environmental Health (ACDEH) is actively overseeing the investigation of a portion of a large regional tetrachlorethene (PCE) groundwater plume on the parcel associated with the address. The building the subject of this redevelopment has not been assessed for the risk of vapor intrusion to indoor air yet; however, based on existing data there is a potential for the intrusion of subsurface PCE vapors into the interior air space. The adjacent building to the south has been assessed for the risk of vapor intrusions from PCE, and concentrations in indoor air at that building are above the Environmental Screening Levels (ESLs) for PCE for a commercial facility.

Because this appears to be a regional PCE plume and the property owner does not have control of the source of the contamination which remains at an unknown location further upgradient, the building to the south is currently installing a vapor barrier to prevent PCE vapor intrusion in portions of the building (and potentially eventually the whole building). The current work is being prioritized to allow a new tenant to occupy a portion of that building. Redevelopment of a building is an ideal time to address potential vapor intrusion. Similar actions may be warranted at the adult care facility. This would require investigation of PCE vapor concentrations in indoor air, and in subslab vapors, at the building to see if vapor mitigation is warranted. This has not been done.

As was discussed in the meeting at City Hall on October 30, 2018, current data can suggest that PCE vapor concentrations may decrease towards the north; however, this has not been demonstrated by the collection of data for the building to the north that is the subject of this letter.

If an investigation, and potentially vapor mitigation, is undertaken with ACDEH oversight, ACDEH would generally not object to the occupation of the building by an adult care facility. It is the understanding of ACDEH that services for approximately 4 hours have been proposed, and as such ACDEH would regard it commercial use of a space. If however, longer stays are contemplated in the future, a residential use scenario may be more appropriate. For chemical risk exposure analysis, this difference can make a potentially substantial difference in the concentration levels that are generally considered acceptable at a site.

ACDEH works with redevelopment situations in many communities in the East Bay places, and expedites work responses, with the intent of meeting redevelopment schedules. However, until an investigation or mitigation is undertaken, ACDEH does have a concern for potential unassessed health risks associated with PCE vapor contamination in indoor air at the subject building.

Should you have any questions, please contact me at (510) 567-6876 or send me an electronic mail message at mark.detterman@acgov.org.

Sincerely,

Mark E. Detterman, PG 4799, CEG 1788

Senior Geologist

Senior Hazardous Materials Specialist

Mr. Mogensen and Ms. Coleman RO0002468 November 9, 2018, Page 2

cc: Ms. Carey Andre, 2101 Williams Associates LLC, 2228 Livingston Street, Oakland, CA 94606 (Sent via electronic mail to: <a href="mailto:carey@jonesdevelopers.com">carey@jonesdevelopers.com</a>)

Tom Graff, GrafCon, P.O. Box 1105, Tiburon, CA 94920, (Sent via electronic mail to: Tom@grafcon.us)

Dilan Roe, ACDEH, (Sent via electronic mail to: <a href="mailto:dilan.roe@acgov.org">dilan.roe@acgov.org</a>)

Paresh Khatri, ACDEH; (Sent via electronic mail to: <a href="mailto:paresh.khatri@acgov.org">paresh.khatri@acgov.org</a>)

Mark Detterman, ACDEH, (Sent via electronic mail to: <a href="mailto:mark.detterman@acgov.org">mark.detterman@acgov.org</a>)

Electronic File; GeoTracker

### hb+a Architects

November 26, 2018

City of San Leandro Civic Center, 835 E. 14<sup>th</sup> Street San Leandro, CA. 94577

File No:

Agency App No.

Address: 2125 Williams Street, San Leandro, CA.

Department: Planning Department Reviewer: Heather Coleman

Plan Check Date: 11/15/18

Plan Check Response

Comment No.

#### **Planning Comments:**

- 1. **Elevation Drawings**. There is NO change to Existing elevations for the proposed use. Existing Elevations have been added to Sheet A311. We are only adding a fence around the patio in the rear to create an outdoor gathering space for the seniors and that change has been clearly reflected in the floor plans and elevations.
- 2. **Description of Operations.** ADHC's explanation of their Operations is included here along with this Response.
- 3. Parking Requirements and Parking Demand.
  - a. Calculation on A090 has been updated to reflect the information provided by the Property owner.
  - b. Calculation has been updated to reflect 1 space / 6 occupants, with 545 occupants we are required to provide 91 parking spaces.
  - c. Please see response above.
- 4. **Environmental Health Data.** According to the property owner the vapor study has been ordered. The environmental company will be drilling into the floor and monitoring any vapors that may arise. Once a testing date is scheduled the study will take 2 weeks. The property

owner is willing to work with the study once the results are known and to provide all necessary remediation per the City's recommendations.

#### **Engineering Comments:**

The Conditions for Approval have been relayed to the Building tenant and included on the plans, The tenants have been notified that they're General Contractor will have to comply with 3(a), 3(c), 3(d). And the tenant will need to engage a Civil Engineer to provide responses to 3(b). The tenants are aware of all Impact Fees as noted under Engineering Comments.

### **Building Comments:**

- 7. Yes. All Shuttles will be stored on site after hours (All vehicles will be installed with security alarms & motion sensors, and we will install onsite security cameras)
- 8. No. medication will not be dispensed on site. Most of the participants will take medication at home. If some participants take it at center, then our onsite registered nurses will monitor them while taking and will remind them to put the medication in their bags to bring home.
- 9. Yes. Memory care patients will be part of the program.
- 10. The project involves no upgrades to the existing mechanical systems. There is minor work involved upgrading the lighting, controls and outlets where new walls are being proposed. MEP will be design-build given the minor nature of the scope.
- 11. Noted.
- 12. Noted
- 13. Please refer to Sheet A310, a clear Path of Travel has been included.

#### Fire Comments:

- 14. Correct address is 2125 William Street, as noted on the Cover Sheet.
- 15. The Building is fully Sprinklered, note has been revised on the Cover Sheet.
- 16. The building has Fire alarm system.
- 17. Note has been revised on the Cover Sheet, the building is fully sprinklered and has fully functioning Fire alarm system.
- 18. Floor Plans have been updated.
- 19. Exit analysis has been clearly shown on Sheet A310.

Please feel free to contact me at **510 – 830 -4797**, any time, if you have any questions or comments. Thank you,

Regards, Hafsa Burt, AIA

## **Description of Services**

November 26, 2018 City of San Leandro Civic Center, 835 E. 14th Street San Leandro, CA. 94577

Cozy Nest ADHC

Reviewer: Administrator Hanh Giang

Address: 2125 Williams Street, San Leandro, CA

Department: Planning Department

Plan Check Date: 11/15/18
Plan Check Comment No. Response

### **Planning Comments:**

- 2. Description Operation:
  - a. 200 participants will be at the center daily from Monday-Friday during operation hours from 8:30AM-2:30PM. Staff will stay at the center daily from Monday-Friday from 8:30AM-4:30PM. After 4:30PM, no one will be at the center.
  - b. Operation hours of the Adult Day Health Care center are from Monday-Friday 8:30AM-2:30PM.
  - c. Generally, individual participant will spend 4 hours daily at the site.
  - d. Buses/vans will be parked at the site parking lot when not in use.
  - e. 85% participants will be transported by our center buses/vans, 10% participants will be transported by their family members/caregivers. 5% are from outreach vehicles.

3. b.

- In addition, participants' caregivers and outreach's drop-off time and pick-up time are very quick, less than 5 minutes because they only take them to the center front desk. Our scheduled vehicle attendants will assist participants to their seats. Their drop-off time is only from 8:30AM-9:45AM. Pick-up time is from 1:00PM-2:30PM.
- As a result, our center surely has sufficient parking spaces to everyone. Plus, our peak period
  of transportation operations are only from: 8:30AM-9:30AM (1hour) and 1:00PM-2:30PM
  (1hour&30minutes).
- 19. Center will conduct Fire Drill every 3 months with participants and all employees.

### PROCEDURE OF FIRE DRILL

- 1. Sound the building's alarm to alert all individuals to evacuate.
- 2. Employees help to evacuate all individuals through all the exits from the building.
- 3. Gather around the pre-arranged meeting place: Front Parking Lot
- 4. All individuals will be accounted for with "Head Count" per
  - a. Participant Log
  - b. Visitor Log
  - c. Employee List
- 5. After head counting all individuals are present at the parking lot, then return to the building.

### **Create Assignment List To Employees For Duties Of Evacuation Coordination:**

Clearly assign individual evacuation coordinator to be responsible for which participants during the fire drill, such as assisting participants who have poor vision, mobility impairment or memory impairment to evacuate in a timely manner. Also, designated evacuation coordinators will be responsible for making certain that all individuals within their assigned area have evacuated from the building. The coordinators should personally check their assigned area/room to ensure that all individuals have left and each door is closed after exit.

#### Remarks:

- The front desk will make the initial call for help via phone
- Nurses will be in charge of First Aid equipment and First Aid Responders
- All roll call records should be consolidated by Fire Drill Master
- Fire Drill Master: Office Manager.

## Procedure and remarks for designated Evacuation Coordinator during the fire drill as following:

- 1. Ensure and confirm that individuals in your assigned area are all evacuated from the building
- 2. Guide all these individuals to the summit point
- 3. Conduct roll call
- 4. Submit the roll call record and head count to Fire Drill Master
- 5. Guide all individuals back to the building

#### **ABBREVIATIONS ANCHOR BOLT** AIR CONDITIONING MED. ASPHALTIC CONCRETE MET. MFG. ACOUSTIC CEILING TILE **AMERICANS WITH DISABILITIES** M.H ABOVE FINISHED FLOOR MIN MISC. M.O. A.H. ALT. AIR HANDLER **ALTERNATE** MOD. M.R. ALUM. ANOD. ALUMINUM ANODIZED ARCH. **ARCHITECTURAL** BOARD **BUILDING INFORMATION MODEL** N/A BLOCKING NOM. BUILDING BLOCKING OC O.D. O.H. OPG. **BACK OF HOUSE** BOTTOM BEARING BRZ. OPP. BRONZE O.R.D BUIT-UP CAB. CAT 5 CABINET **CATEGORY 5 CABLE CUBIC FOOT CUBIC FEET PER MINUTE CAST IN PLACE CIRCUMFERENCE** PCF CONTROL JOINT CLR. CMU C.O. COL. CONC. PLBG. PLF PLYWD. CLEAR(ANCE) CONCRETE MASONRY UNIT CLEAN OUT COLUMN PREFAB CONCRETE COND. CONDENSER (CONDENSATE) CONT. CONTINUOUS PSI PT PTD P.T.D. CONST CONSTRUCTION CONTR CONTRACT(OR) CORR. CORRUGATED CTR. CENTER P.T.R. COLD WATER **PVMT CUBIC YARD** PVC DETAIL DIAMETER DIFFUSER RAD. RAG R.B. DIMENSION DEAD LOAD DOWN R.D. REF. DAMPER DOWNSPOU REG. DRAWER REINF DRAWING REQ'D ELECTRIC DRINKING FOUNTAIN EXTERIOR INSULATION & FINISH R.O.W **EXPANSION JOINT** ELECTRIC(AL) ELEV. ELEVATION (ÉLEVATOR) SBO SC **EMERGENCY** EMERG **EMERGENCY ENGINEER** SEC. S.F. **ENCLOSURE** SHR. SHWR SHT. **ELECTRIC WATER COOLER FXHAUST EXPANSION** EXTERIOR SPEC(S) **FIBERBOARD** FURNISHED BY OTHERS FLOOR DRAIN (FIRE DAMPER) STD. FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET STRUCT. FINISH(ED) FINISH FLOOR SUS. FINISH FLOOR ELEVATION F.F. & E. FURNITURE, FIXTURES & SYM. SYS. EQUIPMEN<sup>\*</sup> **FOUNDATION** T & B FACE OF CONCRETE T & G T.B. TBAR T.C. TDD FACE OF FINISH FACE OF MASONRY FACE OF STUDS F.S. FT. **FACE OF SHEATHING** FOOT (FEET) FTG. FOOTING GA. GALV. G.B. GUAGE (GAGE) GALVANIZED GYPSUM BOARD G.C. GLB GENERAL CONTRACTOR GLUE LAMINATED BEAM GPM **GALLONS PER MINUTE** GSN GENERAL STRUCTURAL NOTES GYPSUM WALL BOARD GYP. BD. GYPSUM BOARD HOSE BIBB **HOLLOW CORE** HEADER HARDWARE TYP. U.N.O. **HOLLOW METAL** HOR. **VPAC** HORIZONTAL VCP VCT VERT. **HORSEPOWER** HOUR HEATING HVAC HEATING / VENTILATION / AIR CONDITIONING HOT WATER HWD. HARDWOOD INTERIOR DESIGN(ER) W/O **INSIDE DIAMETER** W.B. WC WD. W.G. INSULATION INTERIOR JBOX JUNCTION BOX WH KNOCK OUT W.I. LAB. LAM. W.PT. **LABORATORY**

## **OWNERS REVIEW**

MAXIMUM

MEDIUM

MANHOLE

MODULAR

NORTH

NATURAL

NOMINAL

NUMBER

ON CENTER

OVERHEAD

OPENING

OPPOSITE

PARALLEL

PRE-CAST

PLUMBING

PLYWOOD

PAINTED

PAVEMENT

RADIUS RETURN AIR

RADIUS

PLATE

MINIMUM

MECHANICAL

MANUFACTURER

**MANUFACTURER** 

MISCELLANEOUS

NOT APPLICABLE

NOT IN CONTRACT

OUTSIDE DIAMETER

OWNER-SUPPLIED.

PACKAGE TERMINAL

PARCTICLE BOARD

PROPERTY LINE

PREFABRICATED

OVERFLOW ROOF DRAIN

CONTRACTOR-INSTALLED

AIR CONDITIONING UNIT

POUNDS PER CUBIC FOOT

POUNDS PER LINEAL FOOT

PRESSURE-REDUCING VALVE

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

PAPER TOWEL DISPENSER

POLYVINYL CHLORIDE

RETURN AIR GRILLE

REVISED (REVISION

ROUGH OPENING

SELECTED BY OWNER

RIGHT OF WAY

**ROUGH SAWN** 

SOLID CORE

SECTION SQUARE FEET

SHOWER

SHOWER

SHEET

SIMII AR

STORM DRAIN

SPECIFICATION(S)

STAINLESS STEE

THERMOSTAT

STANDARD

STORAGE

SUPPLY

SWITCH

SUSPENDED

SYMMETRICAL SYSTEM

TOP OF BEAM

TOWEL BAR

THE DEAF

THREAD

TOP OF

TELEPHONE

TOP OF LINTEL

TOP OF PLATE

TOP OF STEEL

TOP OF SLAB

THE DEAF

TYPICAL

VERTICAL

VINYL TILE

WITH

WITHOUT

WOOD

WOOD BASE

WATER CLOSET

WIRED GLASS

WATER HEATER

**WORK POINT** 

WAINSCOT

WROUGHT IRON

WATER-RESISTANT

WELDED WIRE FABRIC

**TELEVISION** 

TOP OF WALL

VERTICAL PTAC

**VERIFY IN FIELD** 

VITRIFIED CLAY PIPE

VINYL COMPOSITION TILE

VINYL WALL COVERING

TOP OF CURB

TOP AND BOTTOM

TONGUE-AND-GROOVE

THICKNESS (THICK)

RUBBER BASE

**ROOF DRAIN** 

REGISTER(ED)

REFERENCE

REQUIRED

ROOFING

ROOM

SOUTH

PAPER TOWEL RECEPTACLE

REINFORCING (REINFORCED)

POINT (PRESSURE-TREATED)

MASONRY OPENING

MOISTURE-RESISTANT

THE CONSTRUCTION CONTRACT FOR THIS PROJECT IS TO BE DIRECTLY NEGOTIATED BETWEEN THE OWNER AND THE CONTRACTOR, AND THEY WILL ACT IN UNISON TO PROPERLY EXECUTE THE INTENT OF THESE AND OTHER DESIGN AND

THIS SET OF DOCUMENTS (SHEETS LISTED IN DRAWING INDEX) COVERS GENERAL CONSTRUCTION ITEMS AND EXCLUDES ANY DESIGN OF SITE, MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLERS, LOCAL CODES, OR FIRE PROTECTION WORK. ALSO EXCLUDES ANY EQUIPMENT ITEMS. SUCH EXCLUSIONS ARE COVERED UNDER SEPARATE WORK BY DESIGNERS AND CONSULTANTS WORKING INDEPENDENTLY FOR THE CONTRACTOR AND/OR OWNER

BY USE OF THESE DOCUMENTS, THE OWNER AND THE CONTRACTOR CERTIFY THAT THEY HAVE REVIEWED THEM AND ARE IN AGREEMENT WITH THEIR CONTENT: FURTHERMORE. THE OWNER RECOGNIZES THAT IF ANY CHANGES ARE REQUIRED THEY WILL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND UNDER THE CONTRACTOR'S OR OWNER'S

PROJECTS WITH THESE DESIGN DOCUMENTS TO ASSURE CODE COMPLIANCE AND CORRECTNESS OF WORK. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING FINAL COMMENTS AND APPROVAL FROM ALL GOVERNING

### CODE

2016 California Building Standards Code:

2016 California Building Code (T24, Part 2)

2016 California Residential Code (T24, Part 2.5)

2016 California Electrical Code (T24, Part 3).

2016 California Plumbing Code (T24, Part 5).

2016 California Energy Code (T24, Part 6).

2016 California Fire Code (T24, Part 9)

2015 International Building Code (IBC)

2010 ADA Standards For Accessible Design

2016 California Historical Code (T24, Part 8)

2016 California Existing Building Code (T24, Part 10)

2016 California Green Building Code (T24, Part 11).

2016 International Existing Building Code (IEBC)

The Adoption and Amendments of California Building Standards Code.

2016 California Mechanical Code (T24, Part 4)

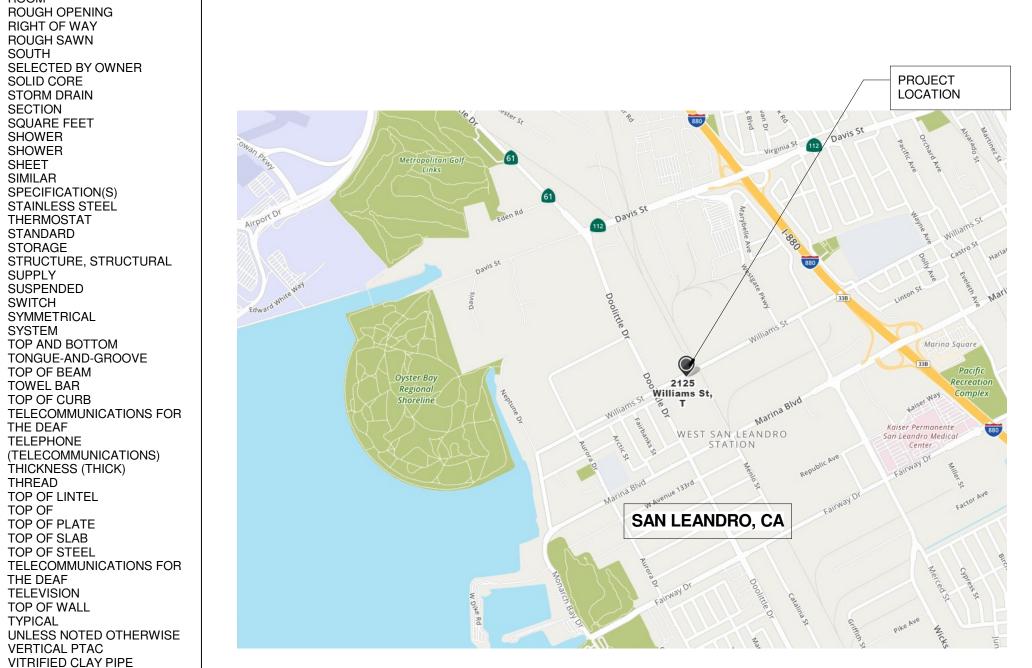
### SAN LEANDRO DIRECTORY

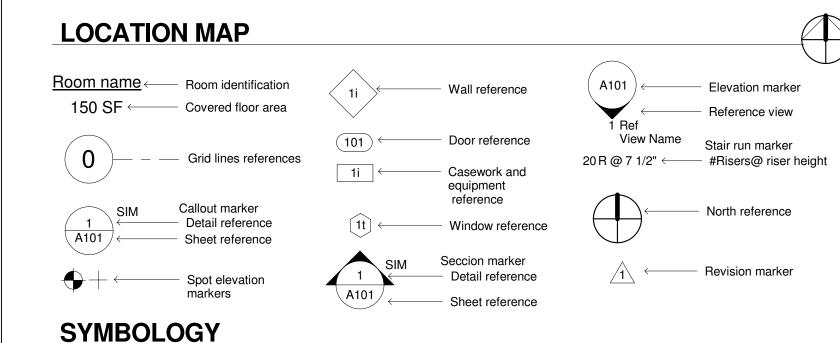
City of San Leandro: (www.sanleandro.org) Building & Safety Services -- (510) 577-3405 Building Inspections Requests -- (510) 577-3426 Office of Business Development/Redevelopment -- (510) 577-3311 Planning Services -- (510) 577-3325 Housing Division -- (510) 577-6004 Engineering / Transportation -- (510) 577-3428 Environmental Services -- (510) 577-3401 A/C Fire Department -- (510) 618-3468 Hazardous Material Coordinator. -- (510) 577-3331 Police Department -- (510) 577-3253 Refuse Services -- (510) 577-3452 San Leandro Unified School District -- (510) 667-3500 (www.sanleandro.k12.ca.us) San Lorenzo Unified School District -- (510) 317-4600 (www.slzusd.org)

830.6 Institutional Group I-4, day care facilities. This group shall include buildings and structures occupied bymore than six clients of any age who receive custodial carefor fewer than 24 hours per day by persons other than parentsor guardians, relatives by blood, marriage or adoption, and ina place other than the home of the clients cared for. This group shall include, but not be limited to, the following:

### Adult day care\* Child day care

\*\*As defined by CBC: Adult care facilities that provide accommodations for six or fewer clients of any age for less than 24 hours. Licensing categories that may use this classification include adult day care programs







EXTERIOR BUILDING VIEW

**AREA OF WORK** 

THE PROJECT IS TENANT IMPROVEMENT AND CONSIST OF AN OFFICE RENOVATION OF AN EXISTING BUILDING LOCATED AT 2125 WILLIAMS STREET, SAN LEANDRO, CALIFORNIA, 94577

MINOR DEMOLITION WILL INCLUDE INTERIOR WALLS AND DOORS, FLOORING AND CEILINGS.

MINOR RENOVATION WILL INCLUDE THE CONSTRUCTION OF NEW PARTITION WALLS, INSTALLATION OF NEW INTERIOR DOORS, THE RENOVATION OF A EXISTING KITCHEN, AND THE CONSTRUCTION OF NEW ACCESSIBLE RESTROMS

PLUMBING, MECHANICAL AND ELECTRICAL NUMBER OF STORIES: (1) SINGLE STORY PROJECTS UNDER SEPARATE APPROVAL AND PERMIT. NO CHANGE TO MECHANICAL EXISTING BUILDING AREA: 15,500 SF APPROX SYSTEMS WILL BE PART OF THIS PROJECT

THE EXISTING BUILDING ENVELOPE / SHELL IS TO REMAIN AS EXISTING.

THIS RENOVATION PROJECT WILL PROVIDE A FULLY ACCESSIBLE TENANT SPACE TO **CONFORM UNDER COMPLIANCE AND** LICENCE OF LOCAL/STATE AUTHORITIES HAVING JURISDICTION

THIS CONSTRUCTION BUDGET OF THIS PROJECT IS UNDER \$100,000 ( CAL GREEN **NOT APPLICABLE)** 

## **BUILDING DATA**

ADDRESS: 2125 WILLIAMS ST, SAN LEANDRO, CALIFORNIA, 94577

**EXISTING OCCUPANCY GROUP: B** 

PROPOSED OCCUPANCY GROUP 1-4

**TYPE OF CONSTRUCTION: TYPE V-B 1HR** 

**PARKING**: EXISTING

**SPRINKLERED**: FULLY SPRINKLERED WITH **ALARM SYSTEM INSTALLED** 

**COUNTY:** SAN LEANDRO, CALIFORNIA

PROPERTY AREA: 364,324 SF APROX

**APN**: 0077A-0645-005-01

**ZONNING CLASSIFICATION**. IG INDUSTRIAL GENERAL

ADULT DAY CARE

## PROJECT DIRECTORY

COZY NEST ADULT DAY HEALTH CARE, LLC 527 POMONA ST SAN LORENZO, CA. 94580

### **ARCHITECT**

HB+A ARCHITECTS 2811 CASTRO VALLEY BLVD, SUITE 109, CASTRO VALLEY, CA. 94546 510-830-4797 OFF

**ENGINEERING** (PLUMBING -MECHANICAL - ELECTRICAL) DESIGN-BUILD UNDER SEPARATE PERMIT

PLUMBING F	IXTURE	S CALCU	LATIONS		2016 CALI TABLE 422	FORNIA PLUMB 2.1	ING CODE		NET ASSIGNABLE AREA = 14,864 TOTAL OCCUPANTS = 545 PE MINIMUM EXIT REQUIRED =3
PERSONS	,	WC	URINALS	LAV	/ATORY	DRINKING FOUNTAIN	OTHER	OTHER	EXITS PROVIDED =5 EXIT WIDTH REQUIRED (INCHES)=109.0
	MALE	FEMALE	MALE	MALE	FEMALE				EXIT WIDTH PER DOOR =109.0/5 = 21.8  MIN. EXIT WIDTH PROVIDED = 32 INC
273 MALE	1: 1-15 2: 16-35 3: 36-55	1: 1-15 3: 16-35 4: 36-55	-	1 per 40	1 per 40	1 PER 150	1 service sink or laundry	ACCESSIBLE SHOWER	FOR EXIT AREA ANALYSIS SEE
273 FEMALE		add 1 fixture dditional 40					tray	COMPARTMENT	SAFETY AND ACCESSIBILITY PLAN SHEET
MINIMUN REQUIRED	8	10	0	8	8	4	1	0	FOR PARKING CALCULATIONS SEE EXISTING SITE PLAN SHEET A090
(E) EXISTING (N) NEW	2 (E) 2 (N)	4(E) 6(N)	2(E) 2(N)	2(E) 3(N)	4(E) 3(N)	1(E) 3(N)	1(E)	0	
PROVIDED	8**	10	4	5	7	4	1	0	FOR FIRE EXTINGUISHER CALCULATION PROPOSED LOCATIONS SEE SAFETY AND ACCESSIBILITY PLAN SHEE

**AREA** 

BASED ON OCCUPANT LOAD CALCULATION OF (545 OCCUPANTS) 545 / 2 = 273 273 MALE 273 FEMALE NOTE: \*\*ALL FIXTURES COUNT INCLUDES WC + URINALS

NEW WOMEN RESTROOM 267 SF (none)

RM

C106

STORAGE

ALL PLUMBING FIXTURE TO BE ACCESSIBLE PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

### REVIEW SET FOR TENANT IMPROVEMENT

## ADULT DAY HEALTH CARE CENTER

2125 WILLIAMS STREET, SAN LEANDRO, CALIFORNIA, 94577

SHEET NUMBER	SHEET NAME	DISCIPLINE
A000	COVER SHEET	ARCHITECTUR
A001	GENERAL NOTES	ARCHITECTUR
A090	EXISTING SITE PLAN / PARCEL PLAN	ARCHITECTUR
A095	SITE PLAN (PROPOSED UPGRADES)	ARCHITECTUR
A100	EXISTING/DEMO PLAN	ARCHITECTUR
A300	PROPOSED PLAN	ARCHITECTUR
A310	SAFETY AND ACCESSIBILITY PLAN	ARCHITECTUR
A311	EXTERIOR ELEVATIONS	ARCHITECTUR
A400	EXISTING / DEMO REFLECTED CEILING PLAN	ARCHITECTUR
A410	PROPOSED REFLECTED CEILING PLAN	ARCHITECTUR
A550	PROPOSED RESTROOMS ENLARGED PLAN AND ELEVATIONS	ARCHITECTUR
A600	FINISH AND ACCESSORY SCHEDULE	ARCHITECTUR
A700	ACCESSIBILITY DETAILS (FOR REFERENCE ONLY)	ARCHITECTUR
A710	SITE DETAILS	ARCHITECTUR
A720	STANDARD SITE DETAILS ( FOR REFERENCE ONLY)	ARCHITECTUR
A800	WALL TYPES, CEILING DETAILS, MOUNTING DETAILS	ARCHITECTUR
ENL.1	T-24 COMPLIANCE	ARCHITECTUP

Α	CORRIDOR	136 SF	(none)			
A101	DINING AND ACTIVITY AREA	4,089 SF	ASSEMBLY W/O FIXED SEATS UNCONCENTRATED (TABLES AND CHAIRS)	15 NET	273	54.6
A102	RN ROOM	429 SF	BUSINESS AREAS	100 GROSS	5	1.0
A103	OFFICE	333 SF	BUSINESS AREAS	100 GROSS	4	0.8
A105	KITCHEN	442 SF	KITCHENS, COMMERCIAL	200 GROSS	3	0.6
A106	QUIET ROOM	136 SF	BUSINESS AREAS	100 GROSS	2	0.4
A107	MAHONG ROOM	874 SF	ASSEMBLY W/O FIXED SEATS UNCONCENTRATED (TABLES AND CHAIRS)	15 NET	59	11.8
A108	CONFERENCE ROOM	260 SF	ASSEMBLY W/O FIXED SEATS UNCONCENTRATED (TABLES AND CHAIRS)	15 NET	18	3.6
A109	PROGRAM MANAGER	255 SF	BUSINESS AREAS	100 GROSS	3	0.6
A110	LOBBY A	419 SF	BUSINESS AREAS	100 GROSS	5	1.0
A111	ADMIN OFFICE	249 SF	BUSINESS AREAS	100 GROSS	3	0.6
A112	OFFICE MANAGER	150 SF	BUSINESS AREAS	100 GROSS	2	0.4
В	CORRIDOR	1,124 SF	(none)			
B102	PT/OT ROOM	1,434 SF	BUSINESS AREAS	100 GROSS	15	3.0
B103	EMPLOYEE ROOM	201 SF	ASSEMBLY W/O FIXED SEATS UNCONCENTRATED (TABLES AND CHAIRS)	15 NET	14	2.8
B104	QUIET ROOM	121 SF	BUSINESS AREAS	100 GROSS	2	0.4
B105	LAUNDRY	114 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 GROSS	1	0.2
B106	ACTIVITY ROOM	1,316 SF	ASSEMBLY W/O FIXED SEATS UNCONCENTRATED (TABLES AND CHAIRS)	15 NET	88	17.6
B107	SOCIAL WORKERS	286 SF	BUSINESS AREAS	100 GROSS	3	0.6
B108	OFFICE	152 SF	BUSINESS AREAS	100 GROSS	2	0.4
B109	KAREOKE ROOM	611 SF	ASSEMBLY W/O FIXED SEATS UNCONCENTRATED (TABLES AND CHAIRS)	15 NET	41	8.2
С	CORRIDOR	745 SF	(none)			
C101	(E) MEN RESTROOM	180 SF	(none)			
C102	JANITOR	26 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 GROSS	1	0.2
C103	(E) WOMEN RESTROOM	212 SF	(none)			
C104	NEW MEN RESTROOM	154 SF	(none)			

148 SF ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM

AREA OCCUPANCY CALCULATION

**FUNCTION SPACE** 

FOR PARKING CALCULATIONS SEE **EXISTING SITE PLAN** SHEET A090 FOR FIRE EXTINGUISHER CALCULATION AND

300 GROSS

MIN. EXIT WIDTH PROVIDED = 32 INCHES

**SAFETY AND ACCESSIBILITY PLAN SHEET A310** 

= 14,864 SF

= 545 PEOPLE

OCC/LOAD OCC/ EXIT

FACTOR LOAD WIDTH

PROPOSED LOCATIONS SEE SAFETY AND ACCESSIBILITY PLAN SHEET A310



LW

LAMINATED

LAVATORY

LEFT HAND

LIVE LOAD

LIGHTWEIGHT

LONG LEG HORIZONTAL

LONG LEG VERTICAL

POUNDS

ARCHITECT HB+A Architects 2811 CASTRO VALLEY BLVD, SUITE 109. 510-830-4797 OFF

WR

**WSCT** 

CASTRO VALLEY, CA. 94546 hb+a Archite

NO.	REVISION DESCRIPTION	BY:	DATE	APPR:	DATE	This o
F	REVIEW SET		OCT-2018			HB+A
F	PERMIT SET		NOV-26-2018			used direct
						drawi
						Burt,

This drawing is the property of	
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Burt, principal of HB+Architects.	

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DESIGN BY:	HB+A ARCHITECTS	
DRAWN BY:	MC	11/27/2018 1:25:00 AM
APPR. BY:		
ADDD DV		

## **A000**

**COVER SHEET** 

TITLE REVIEW SET FOR TENANT IMPROVEMENT **ADULT DAY HEALTH CARE** 

## **CENTER**

2125 WILLIAMS STREET. ADDRESS SAN LEANDRO, CALIFORNIA, 94577 CLIENT COZY NEST ADULT DAY HEALTH CARE, LLC

age that receives care for less than 24

- 1. THE CONTRACTOR SHALL BE GOVERNED BY ALL CONDITIONS AS INDICATED IN THE CONSTRUCTION DRAWINGS FOR THE BUILDING.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
- 3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER/ARCHITECT /ENGINEER HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERIY CAUSED BY THE NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES, OR SUBCONTRACTORS.
- 4. EACH CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND IS RESPONSIBLE FOR THE REPAIR OF SAID DAMAGE AT HIS
- 5. ALL WORK SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST RECOMUENDATIONS OR WRITTEN DIRECTIONS
- 6. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK
- 7. WHERE DEVICES OR ITEMS OR PARTS THEREOF ARE REFERRED TO IN SINGULAR, IT IS INTENDED THAT SUCH SHALL APPLY TO AS MANY SUCH DEVICES, ITEMS OR PARTS AS ARE REQUIRED TO PROPERLY COMPLETE THE WORK.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE BUILDING AND SITE WHILE JOB IS IN PROGRESS, AND UNTIL THE JOB IS COMPLIETED.
- 9. THE INTENT OF THESE DRAWINGS IS TO INDICATE THE SCOPE OF WORK REQUIRED IN ORDER TO CONSTRUCT COMPLIETE AND FINISHED SPACES READY FOR OCCUPANCY. THE CONTRACTOR AND SUB-CONTRACTORS ARE EXPECTED TO VISIT THE PROJECT SITE PRIOR TO SUBMISSION OF BIDS AND NOTIFY THE OWNER, PRIOR TO BIDDING, OF ANY DISCREPENCIES WITHIN THE DRAWINGS OR POSSIBLE CONFLICTS WHICH AFFECT THE PROGRESS OF THIS PROJECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS NOTIFYING THE OWNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE
- 10. THE CONTRACTOR SHALL ENSURE THAT THIS PROJECT AND ALL CONSTRUCTION ACTIVITIES RELATED THERETO, CONFORM WITH ALL LOCAL, REGIONAL, STATE, AND/OR FEDERAL REGULATIONS PERTAINING TO DISTURBING, DISPLACING, AND/OR REMOVAL OF ASBESTOS OR ASBESTOS CONTAINING
- 11. ALL ITEMS MARKED "N.I.C." ARE NOT PART OF THIS CONTRACT.
- 12. ALL WORK SfIALL BE GUARANTEED FOR A PERIOD OF (1) ONE YEAR AFTER COUPLETION, UNLESS OTHERWISE SPECIFIED, AND SHALL BE SO STATED IN CONTRACTOR'S WRITTEN PROPOSAL AND AGREEMENT. ALL REPAIRS, CORRECTIONS, DISCREPANCIES, ETC. MUST BE IAADE WITHOUT ANY ADDITIONAL COST TO THE OWNER, AND Wmf!IN (3) THREE DAYS AFTER NOTICE IS GIVEN.
- 13. THE CONTRACTOR SHALL COORDINATE ALL THE WORK OF ALL THE TRADES.

DESIGNER WILL ASSUME NO RESPONSIBILITY FOR

SUPPLIER, ETC. SHALL ASSUME FULL

ERRORS AT THEIR OWN EXPENSE. ALL

ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR,

RESPONSIBILITY FOR ANY ERRORS AND CORRECT

PERSONAL INJURY OR DAMAGE TO THE PROJECT

OR TO ADJACENT PROPERTIES AND OMISSIONS.

15. ALL WORK SHALL COMPLY WITH THE CALIFORNIA

DEVIATIONS, ETC. NOT MADE BY THE DESIGNER

RESPONSIBILITY, CLAIMS, OR LIABILITIES AGAINST

THE DESIGNER FOR CULPABILITY, ETC. FROM DATE

17. THE CONTRACTOR SHALL FAMILIAIRIZE HIMSELIF WITH

THE GOVERNING CODE IN ITS ENTIRETY AND BUILD

CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON

PUBLISHED INSTRUCTIONS OR, IF NO INSTRUCTIONS

IN ACCORDANCE WITH ALL PROVISIONS OF THIS

18. ALL LUMBER IN CONTACT WITH MASONRY OR

19. APPLY AND/OR INSTALL ALL PRODUCTS AND

EXIST. INSTALL PER STANDARD INDUSTRY

FROM THE 0'-0" FINISHED FLOOR. IF NOT

21. ALL INFORMATION SHOW ON THE DRAWINGS

MATERIALS ACCORDING TO MANUFACTURERS

20. ALL VERTICAL ELEVATION DATUM FOLLOWED BY

"AFF" (ABOVE FINISHED FLOOR) IS REFERENCED

FOLLOWED BY "AFF" THE VERTICAL ELEVATION

RELATIVE TO EXISTING CONDITIONS IS GIVEN AS

DATUM IS REFERENCED FROM THAT ROOM'S FLOOR

**GENERAL CONSTRUCTION NOTES** 

ARCHITECT

HB+A Architects

510-830-4797 OFF

SUITE 109.

2811 CASTRO VALLEY BLVD.

CONCRETE TO BE PRESSURE TREATED.

WILL FULLY, UNCONDITIONALLY AND TOTALLY

SHOWN ON PLANS ORIGIN UNTIL THE END OF

RELEASE THE DESIGNER FROM ANY AND ALL

BUILDING CODE AND AMMENDMENTS, LATEST

16. ANY CHANGES, REVISIONS, ALTERATIONS,

THE PLANS AND NOTES.

ELEVATION.

C 30584

REN. 7/31/19

CONTRACTORS AND SUBCONTRACTORS SHALL

HOLD HARMLESS THE DESIGNER FOR ANY

- 35. THE CONTRACTOR SHALL SUBMIT IN WRITING ALL 14. THE CONTRACTOR, SUBCONTRACTOR, SUPPLIER PROPOSALS FOR ADDITIONAL WORK TO TH ETC., SHALL VERIFY ALL DIMENSIONS, PLANS, ARCHITECT'S OFFICE FOR REVIEW AND APPROVAL. SPECIFICATIONS, CONDITIONS AT JOBSITE, ETC. NO ADDITIONAL WORK IS TO PROCEED UNTIL A PRIOR TO STARTING ANY WORK AND WITHIN (7) SIGNED AUTHORIZATION TO PROCEED IS RETURNED TO THE GENERAL CONTRACTOR. SEVEN CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY THE DESIGNER (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES 36. THE CONTRACTOR SHALL SCHEDULE ALL WORK TO WHETHER DISCREPANCIES ARE ERRORS OF COMMISION OR OMISSION OR NOT) OTHERWISE THE
  - CONFORM TO THE GENERAL CONSTRUCTION SCHEDULE AND SHALL COOPERATE Wmfl OTHER CONTRACTORS IN THE REQUIRED SEQUENTIAL INSTALLATION SCHEDULE AS APPROVED BY THE ARCHITECT

ANY DESCREPANCIES OR CONDITIONS ADVERSELY

AFFECTING THE DESIGN PRIOR TO PROCEEDING

22. DIMESIONS ON THE PLANS ARE TYPICALLY TO THE

FINISH FACE OF PARTITIONS OR TO THE CENTER

LINE OF COLUMNS, UNLESS OTHERWISE NOTED.

SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS

AND ACTUAL FIELD MEASUREMENT. NOTIFY THE

ARCHITECT IF ANY DESCREPANCIES ARE FOUND.

24. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL

ANY AND ALL REGULATORY AGENCIES, INCLIUDING,

BUT NOT LIMITED TO, OSHA, ETC. GENERAL NOTES

"CONTRACTOR" SHALL BE UNDERSTOOD TO BE THE

SAME UNLIESS SPECIFICALLY NOTED OTHERWISE.

CONDITIONS, DIMENSIONS AND DETAILS PRIOR TO

CONSTRUCTION, AND AS ANTICIPATED OR INFERRED

INTERFERE WITH THE SATISIFACTORY COMPLIETION

AND MUNICIPAL BUILDING CODES, AS WELL AS

SHALL APPLY TO ALL DRAWINGS.

25. THE TERMS "CONSTRUCTION CONTRACTOR,"

"GENERAL CONTRACTOR," "G.C." AND

26. THE CONTRACTOR SHALL VERIFY ALL JOB

27. THE ARCHITECT SHALL BE NOTIFIED OF ANY

DISCREPANCIES OR OMISSIONS WHICH WOULD

OF THE WORK, PRIOR TO THE START OF ANY AND

28. THE CONTRACTOR SHALL HAVE HAD EXPERIENCE

QUALITIES AND COMPLEXITIES AT LEAST EQUAL TO

THOSE REQUIRED UNDER ALL DMSIONS DETAILED

SHALL BE SKILILED WORKMEN IN THEIR RESPECTIVE

SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED

ON AT LEAST THREE PROJECTS INVOLVING

29. ALL WORKMEN PERFORMING UNDER THIS WORK

30. ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS

FULLY UNDERSTOOD IN ALL RESPECTS BY THE

RESPONSIBLE FOR ANY MISINTERPRETATIONS OR

CONSEQUENCES THEREOF FOR ALL WORK ON ALL

31. THE CONTRACTOR SHALL REVIEW AND FAMILAIRIZE

THEM SELVES WITH THE GENERAL NOTES &:

SPECIFICATIONS DWG. AND DETERMINE WHICH

EACH SUBTRADE WILL BE RESPONSIBLE FOR

32. SEE SPECIFICATIONS FOR PAYMENT OF PERMIT

33. THE CONTRACTOR SHALL PROVIDE ALL THE

FOR BUILDING DEPARTMENT APPROVAL.

DRAWINGS, COMPLETED PAPERWORK AND

NOTES APPLY DIRECTLY TO HIS RESPONSIBILITY

REVIEWING THE ENTIRE SET OF DRAWINGS AND

NOTING THEIR WORK AS APPLICABLE. ALL WORK

INDICATED OR INFERRED ON THE DRAWINGS WILL

BE DEEMED AND INCLUDED IN ALL CONTRACTORS'

CERTIFICATES OF INSPECTION AND SHALL PERFORM

ALL THE CONTROLLED INSPECTIONS AS REQUIRED

SHALL SUBMIT CERTIFICATES OF INSPECTION AND

34. UPON COMPLETION OF THE JOB, THE CONTRACTOR

A CERTIFICATE OF SUBSTANTIAL COMPLETION.

GENERAL CONTRACTOR, AND HE WILL BE

PRIOR TO PRICING OR BIDDING.

IN THESE DRAWINGS.

TRADES.

23. DO NOT SCALE DRAWINGS. THE CONTRACTOR

WITH THE ITEM OF WORK AFFECTED.

- 37. ALL WORK IS TO CONFORM TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AND SHALL BE NEW AND BEST QUALITY OF THE KINDS
- 38. NO MATERIAL SUBSTITUTIONS SHALL BE MADE. ARCHITECT WILL CONSIDER MATERIAL CHANGE REQUESTS ON AN INDIVIDUAL BASIS. CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WIRITTEN APPROVAL BY ARCHITECT PRIOR TO THE START OF ANY WORK.
- 39. ALL SUBCONTRACTORS' SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL THROUGH THE GENERAL CONTRACTOR PRIOR TO WORK BEING PERFORMED, UNLIESS OTHERWISE NOTED. GENERAL CONTRACTOR SHALL STAMP, SIGN AND APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO THE ARCHITECT.
- 40. THE CONTRACTOR WILL PROVIDE TOILET FACILITIES AND WILL BE RESPONSIBLE FOR CLEANING, MAINTAINING, AND UPON COMPLETION OF THE WORK, RESTORING TO ITS ORIGINAL CONDITION.
- 41. CONSTRUCTION PERSONNEL MUST CARRY PROPER IDENTIFICATION AT ALL TIUES.
- 42. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL, AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS PRIOR TO DRIWNG OR CUTTING OF SLABS OR STRUCTURAL MEMBERS, NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO BEGINNING WORK.
- 43. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HERE ON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR

REPLACEMENT OF UTILITIES OR OTHER PROPERTY

- THE BEST PRESENT KNOWLIEGGE BUT WITHOUT DAUAGED BY OPERATIONS IN CONJUNCTION WITH GUARANTEE OF ACCURACY. CONTRACTOR SHALL THE EXECUTION OF HIS WORK. FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT OF
  - 44. ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL TIMES.
  - 45. THE CONTRACTOR SHALL VERIFY ALL DOOR/WINDOW ROUGH OPENING DIMENSIONS WITH MANUFACTURERS.
  - 46. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
  - 47. PROVIDE FIRE PROTECTION AT ALL PENETRATION OF FIRE RATED ELEMENTS AS REQUIRED BY THE FIRE OFFICIAL
  - 48. ALL REQUIRED FIRE DOORS SHALL BEAR A LABEL FROM A RECOGNIZED AGENCY SHOWING SPECIFIC 49. BUILDING FIRE DETECTION/ALARM SYSTEM SHALL
  - BE MODIFIED AS NECESSARY TO MAINTAIN DESIGN EFFECTIVENESS. GENERAL CONTRACTOR SHALL PROVIDE SEPARATE PERMIT OR DOCUMENTATION AS REQUIRED TO COMPLY WITH THE MOST UPDATED CALIFORNIA BUILDING CODE.
  - 50. ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES. IN CASE OF ANY CONFLICT WHERE THE METHODS OR STANDARDS OF INSTALLATION OR THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE OWNER OR ARCHITECT OF ALL CONFLICTS.

### **DEMOLITION**

- G.C. SHALL SURVEY THIS PROJECT AND BECOME THOROUGHLY FAMILIAR WITH ALL ASPECTS OF THE WORK REQUIRED. ANY DISCOVERED VARIANCE FROM THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR A SOLUTION BEFORE FINAL PRICING IS GIVEN TO THE OWNER
- 2. G.C. SHALL MAKE ARRANGEMENTS FOR ALL REQUIRED TEMPORARY PROTECTION (PRIOR TO START OF DEMOUTION).
- 3. G.C. SHALL COORDINATE ALL TRADES AND DISCIPLINES INVOLVED WITH DEMOLITION.
- 4. TEMPORARY WORK SHALL INCLUDE (BUT NOT BE LIMITED TO) THE FOLLOWING: TEMPORARY LIGHT -TEMPORARY WALLS AND/OR FLOORING. -PLASTIC PROTECTION (FIN. AND FURN.). -TEMPORARY CEILING/HVAC.
- 5. G.C. SHALL KEEP THE AFFECTED AREAS CLEAR AT ALL TIMES AND SHALL BE RESPONSIBLE FOR DAILY
- 6. G.C. SHALL PROVIDE TEMPORARY BARRIERS TO PROTECT ADJACENT AREAS OR PROPERIY.
- 7. THE DRAWINGS DO NOT SURPORT TO SHOW ALL OBJECTS EXISTING AT THE SITE. G.C. MUST VERIFY AT SITE ALL OBJECTS TO BE PRESERVED AND REPORT TO OWNER ANY DISCREPANCY OR QUESTIONABLE ITEMS.
- 8. G.C. SHALL USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO MEET THE APPROVAL OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- 9. G.C. SHALL NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF DEMOLITION
- 10. G. C. SHALL COORDINATE DEMOLITION AND REMOVALS WITH OWNER'S REPRESENTATIVE.
- 11. PATCH AND REPAIR FLOOR, WALL. AND CEILINGS AS REQUIRED FOR NEW FINISH MATERIALS.
- 12. CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES REQUIRED BY ANY PORTION OF THE WORK, BOTH DURING DEMOLITION AND CONSTRUCTION.
- 13. WHERE DEMOLITION OCCURS ADJACENT TO EXISTING TO REMAIN, PATCH AND REPAIR TO MATCH ADJACENT CONDITIONS FOR A UNIFORM

### **FINISHES**

- 1. ALL WALLS (NEW AND EXISTING) SHALL BE PROPERLY PREPARED (SPACKLED, SANDED, ETC.) FOR PAINTING AS PER PLANS AND MANUFACTURER'S SPECIFICATIONS.
- 2. ALL PAINTS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE.
- 3. ALL DRYWALL SURFACES WHICH ARE TO BE PAINTED SHALL RECEIVE (1) COAT OF P.V.A. PRIMER AND (2) COATS OF FINISH PAINT. (3) COATS TOTAL.
- A PUNCHLIST ITEM, SHALL BE REPAINTED ENTIRELY BETWEEN THE (2) CLOSEST BREAK POINTS. 5. GENERAL CONTRACTOR SHALL FLASH PATCH AND PREPARE ALL FLOORS AS REQUIRED TO RECEIVE

4. ALL WALLS WHICH HAVE BEEN PAINTED. THAT HAVE

SPECIFIED FLOORING MATERIAL. 6. FLOORING CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY UNACCEPTABLE FINISH WORK CAUSED BY SUB-FLOOR CONDITIONS.

- 7. GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL METAL ANGLES AND/OR MARBLE REDUCING SADDLES, IN ADDITION TO ANY FLOOR LEVELING AS MAY BE REQUIRED FOR SMOOTH TRANSITION AT ALL TILE FLOORING/MATERIAL TRANSITION
- 8. SAMPLES OF ALL FINISHES SPECIFIED SHALL BE SUBMITIED TO ARCHITECT FOR APPROVAL, IN TRIPLICATE, PRIOR TO COMMENCEMENT OF THE WORK. FINISH SAUPLIES TO BE A MIN. 12" X 12". PAINT SAMPLES FOR GYP. BD. SURFACES TO BE PROVIDED ON 12" X 12" PIECES OF GYP. BD.
- 9. ALL DOORS AND FRAMES TO BE PAINTED THE SAME COLOR AND TYPE OF PAINT ON BOTH SIDES, UNLESS OTHERWISE NOTED. TOPS, EDGES, AND BOTIOMS SHALL BE SEALED AND PAINTED.
- 10. FLOORS MUST BE FREE OF DUST, OIL AND ALL FOREIGN MATTER. BUILDING MUST BE FULLY SEALED AND AIR CONDITIONNED FOR 48 HOURS PRIOR TO INSTALLATION OF FLOOR COVERING. CRACKS 1/16" OR MORE, HOLES, AND OTHER UNEVENNESS MUST BE FILLED WITH A LATEX BASE FLOOR FILLER; HIGH SPOTS MUST BE LEVELLED. FLOOR MUST BE SWEPT CLEAN, WET MOPPED WITH WARM WATER AND SWEPT AGAIN, IF SWEEPING LEAVES A RESIDUE, FLOORS SHALL BE VACUUMED

### WOODWORK / CASEWORK

- ALL ITEMS OF WOODWORK INDICATED ON THE DRAWINGS AND/OR SPECIFICATIONS SHALL BE PERFORMED BY SKILLED MECHANICS USING THE BEST TECHNIQUES KNOWN TO THE TRADE AND IN CONFORMANCE WITH ALL TRADE STANDARDS. SPECIFICALLY THE "PREMIUM GRADE" QUALITY STANDARDS AND THE GUIDELINES FOR "HIGH PRESSURE LAMINATE" OF THE ARCHITECTURAL WOODWORK INSTITUTE.
- 2. WOODWORK CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SCHEDULING HIS WORK WITH THE GENERAL CONTRACTOR.
- 3. WOODWORK CONTRACTOR SHOULD INSPECT THE ALIGNMENT OF ALL GYP. BD. CONSTRUCTION AND SHOULD NOTIFY THE ARCHITECT OF ANY CONDITION THAT WOULD PREVENT HIM FROM COMPLETING HIS
- 4. ALL HIGH-PRESSURE PLASTIC LAMINATE WORK SHALL BE SOLID, IN ONE PIECE AND WITHOUT SPLICE JOINTS (EXCEPT WHERE PROHIBITED BY THE MAXIMUM AVAILABLE SIZE OF THE MANUFACTURED PLASTIC LAMINATE MATERIALS) AND SHALL BE BONDED TO THE CORESTOCK USING THE "HOT PLATE" PRESS METHOD. ALL EDGES AND EXPOSED CORNERS TO BE FINELY JOINED; UNSIGHTLY JOINTS NICKS. SCRATCHES, CHOPS, DEFECTS, WAVEY OR UNEVEN LAMINATION WILL BE REJECTED. IF JOINTS ARE REQUIRED DUE TO LENGTH OF UNIT, JOINTS TO BE CENTERED SYMMETRICALLY OVER THE LENGTH OF THE UNIT.
- 5. ALL SURFACES TO BE LAMINATED (PL LAM. OR VENEERED) SHALL BE LAMINATED WITH THE SAME TYPE OF MATERIAL ON THE BOTH SIDES (BACKING) WHETHER VISIBLE OR NOT. PANEL AND PLYWOOD BACKS NOT EXPOSED TO VIEW SHALL BE VENEERED WITH THE SAME SPECIES AND THICKNESS OF VENEER USED FOR THE FACES, FOR BALANCED CONSTRUCTION. HOWEVER, THE VENEERED SURFACES NOT EXPOSED TO VIEW NEED NOT BE MATCHED.
- WOODWORK CONTRACTOR SHALL COORDINATE Wmfl Tf!E GENERAL CONTRACTOR ON Tf!E LOCATION AND INSTALILATION OF ALL GROUNDS AND BLOCKING INSIDE THE WALL CONSTRUCTION RELATED TO CABINETWORK.
- 7. WHERE ELECTRICAL WORK IS SPECIFIED IN CABINETS, LAMPS AND FIXTURES ARE TO BE PROVIDED BY THE GENERAL CONTRACTOR. CUTOUTS FOR SWITCHES, OUTLETS, AND WIRING DEVICES TO BE INSTALLED IN CABINETRY IN THE FIELD ARE BY THE WOODWORK CONTRACTOR AND ARE TO BE COORDINATED BY THE GENERAL CONTRACTOR.
- 8. WOODWORK CONTRACTOR SHALL PROVIDE ALL HARDWARE REQUIRED FOR FINISHED INSTALILATION OF CABINETS.
- 9. WOODWORK SUBCONTRACTOR SHALL SHIM AND LEVEL ALL COUNTERS TO BE LOCATED OVER FILIES. AND PROVIDE A STABLE TEMPORARY SUPPORT UNTIL FILES ARE DELIVERED FOR INSTALILATION. CONTRACTOR TO PROVIDE FILILER STRIPS AS REQUIRED BETWEEN FILE CARINETS AND COUNTERTOPS, AND BETWEEN CABINETS AND SURROUNDING WALLS AND CEILINGS.
- 10. WOODWORK CONTRACTOR IS RESPONSIBLE TO CLEAN AND POLISH AND TOUCH-UP AS REQUIRED ALL WOODWORK AFTER THE INSTALLATION IS
- 11. ALL CABINETRY SHALL HAVE PLYWOOD CORE PARTICLE AND FIBER BOARD IS NOT ACCEPTABLE.

### **ELECTRICAL**

- 1. GENERAL CONTRACTOR SHALL VERIFY THE AVAILABLE ELECTRIC SERVICE AND ADVISE THE ARCHITECT OF HIS FINDINGS PRIOR TO SUBMITTING
- 2. ELECTRICAL CONTRACTOR SHALL DISCONNECT CONNECT, AND PROVIDE NECESSARY ELECTRIC RUNS IN ORDER TO CONFORM WITH NEW PLAN.
- 3. SWITCHES, DUPLEX OUTLETS, COVER PLATES SHALL BE INSTALLED BY COUPETENT MECHANICS IN A FIRST CLASS MANNER.

- 4. THE ELECTRICAL CONTRACTOR SHALL INCLIUDE AND COORDINATE ELECTRICAL REQUIREMENTS FOR ALL HVAC EQUIPMENT, EXHAUST FANS, AND ~ ~EC~ EQUIPMENT, ETC.
- 5. ALLNEW TELEPHONE AND ELECTRICAL OUTLETS TO BE INSTALLED ON AN EXISTING WALL SHOULD BE FLUSH MOUNTED WITH THE FINISHED WALL SURFACE. CUT OUT THE WALL AS REQUIRED TO RECESS THE JUNCTION BOX AND CONDUIT. AND PATCH THE WALL AS REQUIRED.
- 6. GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED CONDUIT, COAXIAL CABLE AND TELEPHONE WRING COMPLETELY FROU AREAS IN SCOPE OF THIS CONTRACT.
- 7. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO COMPLETE CORE DRILLING AND ELECTRICAL HOOK-UP, PATCHING, ETC. ALL CORE DRILLING SHALL BE ACCOMPLISHED DURING STATED BUILDING APPROVED WORKING HOURS. CONTRACTOR SHALL VERIFY AND CONFORM TO THOSE HOURS WHEN WORK IS REQUIRED.
- 8. GENERAL CONTRACTOR SHALL REVISE AND UPDATE LABELS FOR ALL CIRCUIT BREAKERS
- 9. TELEPHONE FLOOR AND WALL OUTLET BOXES SHALL BE CAPABLE OF FULLY HOUSING THE TELEPHONE COMPANY'S PRE-WIRED AMPHENOL CONNECTORS, BOTH FOR SINGLE -LINE EXTENSIONS AND FOR CALL DIRECTORS. CONTRACTROR COORDINATE WITH CITY I.T. DEPARTMENT PRIOR TO ROUGH-IN.
- 10. WHERE EXPOSED CONDUIT OR SURFACE MOUNTED WIREMOLD CONDUIT HAS BEEN SPECIFIED. THE CONDUIT SHALL BE RUN IN CORNERS OR ON SIDE OF COLUMNS IN A NEAT AND ORDERLY WAY USING 90" CORNERS RUNNING PARALLEL TO WALLS, COLUUNS, BEAMS, tS AND OTHER CONDUITS TO ABOVE HIGHEST POINT OF BASEBOARD, AT WHICH POINT CONDUIT IS TO RUN HORIZONTALLY TO ACTUAL LOCATION OF OUTLET AS DIMENSIONED
- 11. ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C. AND LOCAL CODES.
- 12. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTED BY ENGINEER/ARCHITECT.
- 13. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. DEVICES, FOR ALL OUTLETS AS INDICATED.
- 14. PROVIDE AND INSTALL CONDUIT, CONDUCTORS PULL WIRES, BOXES, COVER PLATES, AND WIRING DEVICES, FOR ALL OUTLETS AS INDICATED.
- 15. MATERIALS, PRODUCTS, AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SUCH AS APPEAR ON THE UL LIST OF APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF NEC, NEMA, AND IECE
- 16. ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK. ENCLOSURES. SHALL BE NEMA-1 FOR INDOOR LOCATIONS, NEMA 3R FOR OUTDOOR LOCATIONS OR AS OTHERWISE NOTED.
- 17. ALL PRODUCT SHALL BE UL APPROVED AND BEAR

INVESTIGATE FIELD CONDITIONS AND ASCERTAIN THAT WORK IS FEASIBLE AS CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND

PLANS OR OTHERWISE REQUIRED.

- REPORT ANY DISCREPANCIES TO THE ARCHITECT. ANALYZE CONTRACT DOCUMENTS FORTHWITH AND REPORT IN WRITING TO THE ARCHITECT ANY INCONSISTENCIES DISCOVERED THEREIN. CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR
- CONFORMANCE WITH ANY AND ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO U.B.C., N.E.C., N.C.P., FIRE AND SAFETY CODES, LATEST EDITIONS CONTRACTOR SHALL OBTAIN ALL PERMITS AND NOTICES AUTHORIZING CONSTRUCTION, PAY FOR ALL FEES FOR PERMITS, AND CHECK GOVERNING AUTHORITIES SPECIFICATIONS FOR DESIGN BUILD SYSTEMS REMOVAL AND/OR
- PROVIDE ALL ITEMS NOT SPECIFIED BUT REQUIRED FOR A COMPLETE AND VERIFY EXTENT OF WORK FOR EXACT QUANTITIES, LOCATIONS AND TYPES OF ITEMS. REFER TO OWNER EQUIPMENT AND FURNITURE DRAWINGS FOR LOCATION OF THEIR RELATED UTILITIES, FIXTURES, CONDUITS, OUTLETS, ETC.
- "TYPICAL" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED.
- VERIFY DIMENSIONS AND ORIENTATIONS ON PLANS AND ELEVATIONS; AMONG OTHER THINGS, DETERMINE DERIVATIVE SIZES. "V.I.F." MEANS VERIFY IN FIELD.
- "V.W.A." MEANS VERIFY WITH ARCHITECT "ALIGN," MEANS ACCURATELY LOCATE FINISHES IN THE SAME PLANE VERIFY PARTITION THICKNESS AND CAVITY FOR INTERNAL INCLUSIONS, SUCH AS PLUMBING, AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS,
- BOXES AND THE LIKE. PARTITIONS ARE DIMENSIONED TO FACE OF STUD, UNLESS OTHERWISE
- HEIGHTS ARE DIMENSIONED FROM TOP OF FINISH FLOOR, UNLESS OTHERWISE DO NOT DETERMINE DIMENSIONS FROM SCALING DRAWINGS
- DIMENSIONS NOTED "CLEAR" OR "CLR." ARE MINIMUM REQUIREMENTS AND CLEARANCES MUST BE ACCURATELY MAINTAINED. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID
- BLOCKING AND BACKING AS REQUIRED FOR CONNECTION FOR ALL INTERIOR AND EXTERIOR TRIM AND FINISHES THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS
- DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY LIABILITY. REAL OR ALLEGED. IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT,
- PROFESSIONAL THE CONTRACTOR SHALL VERIFY ALL WINDOW ROUGH OPENINGS PRIOR TO PLACEMENT OF ORDER + INSTALLATION.

EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN

### **GENERAL NOTES**

- ALL EXISTING STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO COLUMNS, WALLS, TO REMAIN.
- ALL EXISTING GYP. BD. PANELS THAT ARE DAMAGED ARE TO BE DEMOLISHED AND REPLACED WITH NEW BOARDS FREE OF MOLD
- AND CONTAMINANTS ALL EXISTING BASEBOARDS TO REMAIN, REPLACE AS NECESSARY. GENERAL CONTRACTOR TO MATCH NEW TO EXISTING
- BASEBOARDS. PATCH AND REPAIR ALL EXISTING WALLS IN AREA OF WORK TO
- REMAIN FOR LIKE NEW FINISH CONTRACTOR TO MAINTAIN BUILDING IN A WATERTIGHT AND
- SECURE CONDITION AT ALL TIMES G.C. MUST COORDINATE WITH OWNER'S REPRESENTATIVE FOR PROCEDURES REGARDING HANDLING OF DEBRIS, CONSTRUCTION
- MATERIALS AND EQUIPMENT.
- CONTRACTOR TO PROVIDE TEMPORARY BARRICADES TO MITIGATE

### ADDITIONAL CONTRACTOR NOTES

150 SF ROOM AREA SEE COVER SHEET FOR ROOM OCCUPANCY AND EXIT CALCULATIONS EQUIP/ FIXTURE / LUMINAIRE . SEE SHEET A-600 FOR EQUIPMENT AND ACCESORY DETAILS RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON DOOR TYPE. SEE SHEET A-600 FOR DOOR SCHEDULE AND DETAILS WINDOW TYPE. (NOT APPLICABLE) WALL TYPE. SEE SHEET A-800 FOR PROPOSED WALL TYPES MATERIAL TYPE. SEE SHEET A-600 FOR FINISH SCHEDULE AND DETAILS

SHEET LEGEND

### PROJECT KEYNOTES

(SEE SHEET A-001 FOR GENERAL & ADDITIONAL CONTRACTOR NOTES)

### **NOTES** AA-01 | NEW UNLOADING ACCESSIBLE AISLE AND ADA PARKING IS MARKED BY 4" BLUE PAINTED BORDER. AISLE DIAGONAL LINES @ MAX. 3FT O.C PAINTED WHITE AA-03 ACCESSIBLE PATH OF TRAVEL, FREE BARRIER 36" WIDE MIN.ALL WALKABLE PATH FROM ACCESSIBLE PARKING TO ENTRANCE/EXIT OF THE BUILDING SHALL BE LEVELED, MAX. RUNNING SLOPE NO TO EXCEED 1:20 GRADIENT AND 2% MAX. FOR CROSS SLOPE CLEARANCE AA-05 | NEW TACTILE EXIT AND EXIT ROUTE SIGNAGE IN ACCORDANCE WITH CBC SECTION AA-06 NEW ACCESSIBLE BENCH TO COMPLY WITH CBC 11B.903 AA-08 | ENTRY DOORS TO BE FIRE RATED, MAX PUSH/PULL FORCE 5 LBS.NOT TO EXCEED 15

- LBS. PER 11B-404-2-9 SELF CLOSING & SELF LATCHING AA-10 DRINKING FOUNTAIN GRAB BAR. THE PROTECTED AREA WITHIN WHICH A DRINKING FOUNTAIN IS LOCATED SHALL BE 32 INCHES WIDE MINIMUM AND 18 INCHES DEEP MINIMUM, AND SHALL COMPLY WITH SECTION 11B-305.7. WHEN USED, WING WALLS OR BARRIERS SHALLPROJECT HORIZONTALLY AT LEAST AS FAR AS THE DRINKING FOUNTAIN AND TO WITHIN 6 INCHES VERTICALLY FROM THE FLOOR OR GROUND
- AA-14 TOW AWAY SIGN TO BE LOCATED AT ENTRY OF PARKING LOT AA-17 THRESHOLD TO COMPLY WITH ADA STANDARDS FOR ACCESSIBLE DESIGN 2010 CHAPTER 404.2.5 THRESHOLDS. IF PROVIDED AT DOORWAYS, SHALL BE 1/2 INCH (13 MM) HIGH MAXIMUM RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH 302 AND 303
- AC-29 IN-FILL EXISTING WALL OPENNING WITH NEW WALL MATCHING EXISTING |CONDITIONS, ALIGN TO FLUSH WITH ADJACEND CONDITIONS IN A SEAMLESS MANNER AC-30 | NEW 6'-0" PREFABRICATED WOOD FENCE, INSTALL PER MANUFACTURERS RECOMENDATIONS
- AD-05 | REMOVE PORTION OF EXISTING WALL ASSEMBLY AS SHOWN, INCLUDING FRAME, BOTTOM/TOP PLATES, STUDS, INSULATION, WALL FINISH, WALL BASE AD-06 | RELOCATE (E) DOOR
- AE-02 NEW EMERGENCY EXIT LIGHT, SEE REFLECTED CEILING PLAN FOR DETAILS AF-06 NEW LOCKERS WITH ACCESSIBLE UNIT(S) PER CBC 11 B-222.1

AC-01 ALIGN TO EXISTING WALL TYP

- AP-01 | NEW ACCESSIBLE LAVATORY, WALL MOUNTED. SEE SCHEDULE FOR DETAILS AP-03 | NEW BI-LEVEL ACCESSIBLE DRINKING FOUNTAIN WITH WATER BOTTLE REFILL
- AP-04 INSULATE PIPES WITH SPLIT FOAM APPLICATION. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORY
- AP-07 | EXISTING BI-LEVEL ACCESSIBLE DRINKING FOUNTAIN, SEE SHEET 12/A-700 FOR AS-01 | FEC 2A 10B:C RATED FIRE EXTINGUISHER WALL MOUNTED IN WEATHERPROOF
- CABINET. MAX. 4" PROJECTION EX-03 PRIOR TO EXECUTE DEMOLITION WORK IN CLOSE PROXIMITY TO STRUCTURAL ELEMENTS, CONTRACTOR TO VERIFY IN FIELD EXACT LOCATION AND ASSES
- INTEGRITY OF ANY STRUCTURAL ELEMENTS ST-02 WHEN REQUIRED, WRAP-AROUND EXISTING COLUMN WITH GYPSUM BD "X" TYPE. (USE GYPSUM BD M.R. IN RESTROOMS AND OTHER WET LOCATIONS

### CITY OF SAN LEANDRO : Conditions of Approval by the Engineering Dept.

- The applicant shall obtain an Encroachment Permit from the Engineering and Transportation Department for any work within the public right-of-way including the use of lifting equipment or the staging of materials. Barricades, traffic cones, and/or caution ribbon shall be positioned around any equipment of materials within the right-of-way to provide a barrier to public access and assure public safety. Any damage to the right-of-way
- improvements must be promptly repaired by the applicant according to City adopted Driveway and sidewalk construction shall be in compliance with the city of San Leandro Standard plans Dwg. No 102, case 3101 and Dwg. No. 100, case 3101.
- The applicant shall comply with the following standards for sanitation during construction improvements: garbage cans, construction dumpsters, and debris piles shall be removed on a minimum weekly basis. All food related trash items such as wrappers, cans, bottles, and food scraps shall be disposed of in closed containers only and shall be regularly removed from the site. Inspection, conducted as part of the regular construction compliance, will be conducted to ensure compliance of the Applicant and contractors with this requirements.
- The Applicant shall implement construction best management practices during construction control erosion, keep sediments from leaving the project site a and prevent storm water pollution. The applicant shall protect existing storm drain inlets and conveyances within the project area to prevent sediment from construction activities entering the storm drains

### FIRE DEPARTMENT NOTES

- PROVIDE AT LEAST ONE 2 AIOBC PORTABLE FIRE EXTINGUISHER FOR EACH 3,000 S.F. OF FLOOR AREA IN BUSINESS AREAS AND 1,000 S.F. IN STORAGE AREAS TRAVEL DISTANCE TO AN EXTINGUISHER SHALL
- NOT EXCEED 75 FT. OF TRAVEL DISTANCE AND SHALL NOT BE BETWEEN FLOORS. THE LOCATION OF EACH EXTINGUISHER SHALL BE CONSPICUOUSLY POSTED WITH AN APPROVED SIGN. APPROVED ADDRESS NUMBERS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND

LEGIBLE FROM THE STREET FRONTING THE PROPERTY. SAID NUMBERS SHALL BE PLACED ON A CONTRASTING BACKGROUND.

TITLE REVIEW SET FOR TENANT IMPROVEMENT **ADULT DAY HEALTH CARE** 

**CENTER** 

ADDRESS

2125 WILLIAMS STREET, SAN LEANDRO, CALIFORNIA, 94577 COZY NEST ADULT DAY HEALTH CARE, LLC

**GENERAL NOTES** CLIENT

CASTRO VALLEY, CA. 94546 hb+a Architec

NO.

PERMIT SET

**REVIEW SET** 

NOV-26-2018

REVISION DESCRIPTION

HB+ARCHITECTS. The OCT-2018 information is confidential and is to be

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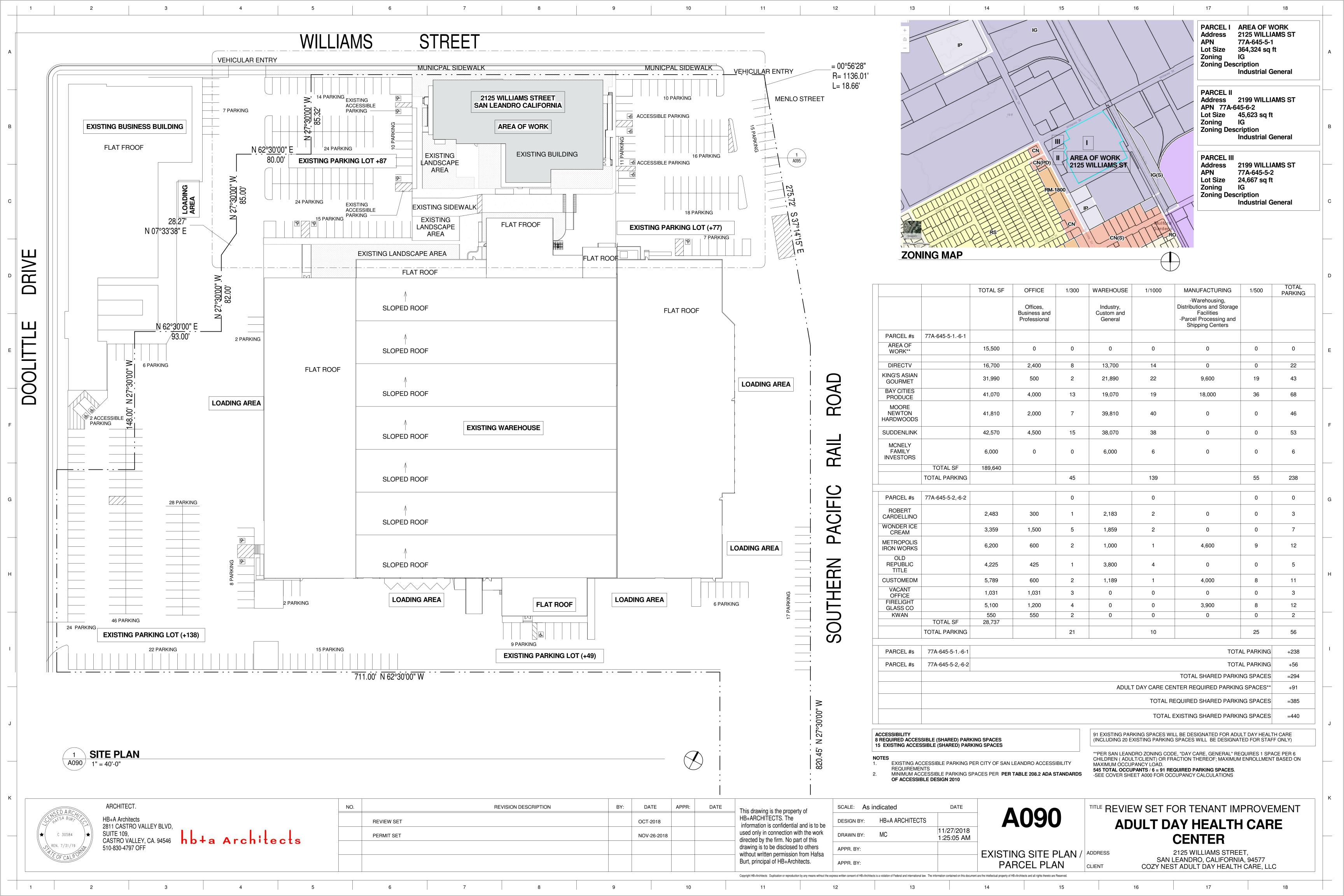
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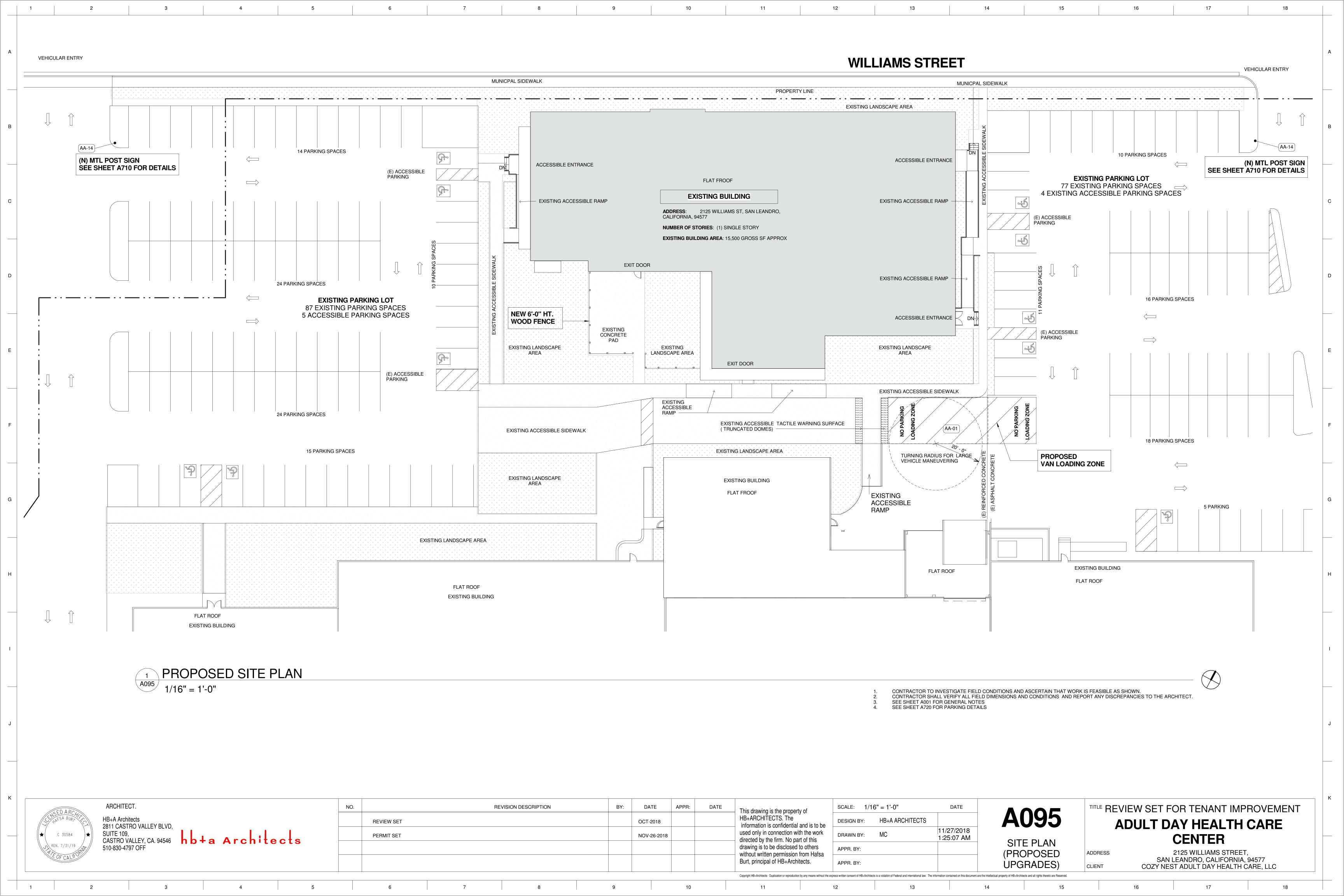
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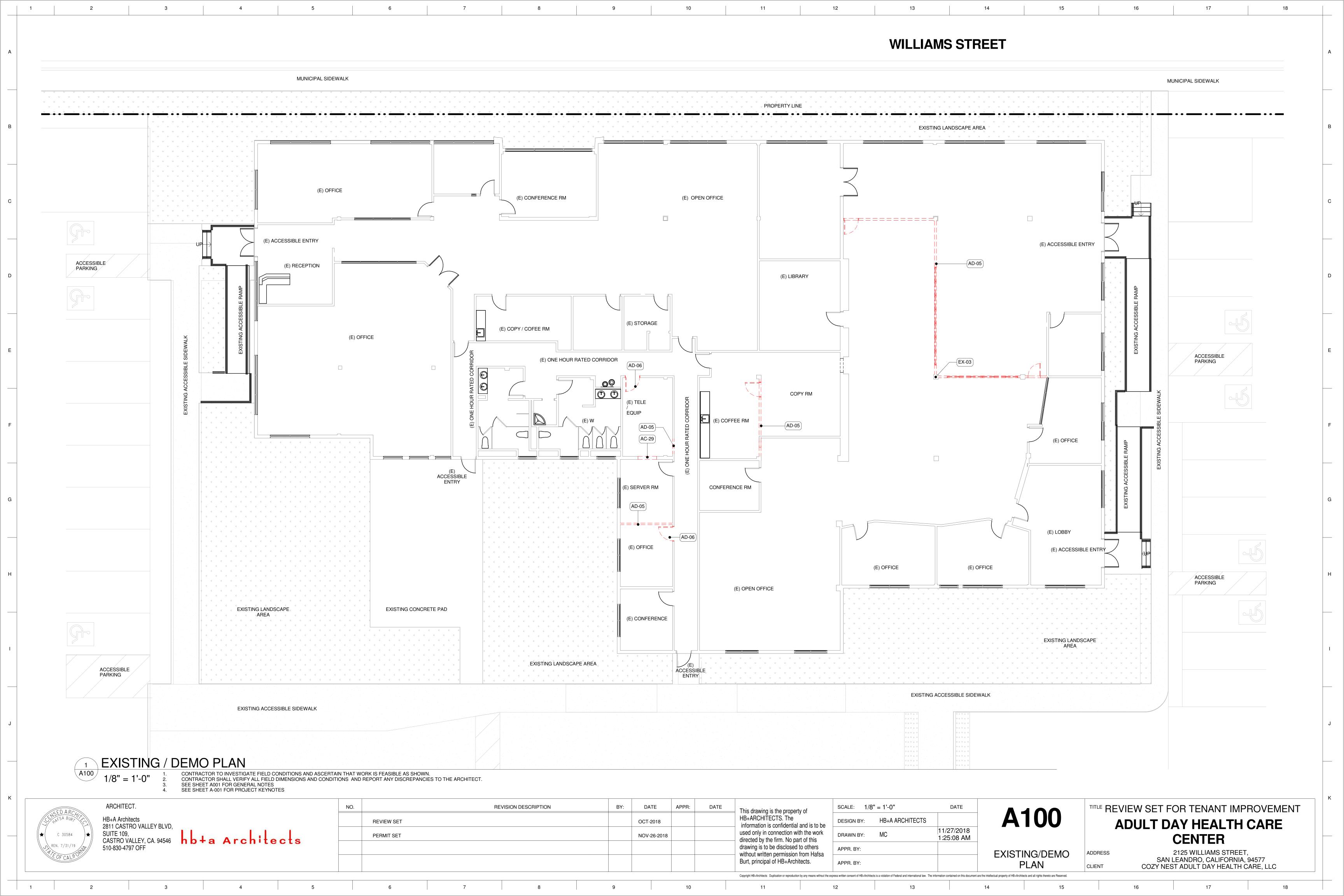
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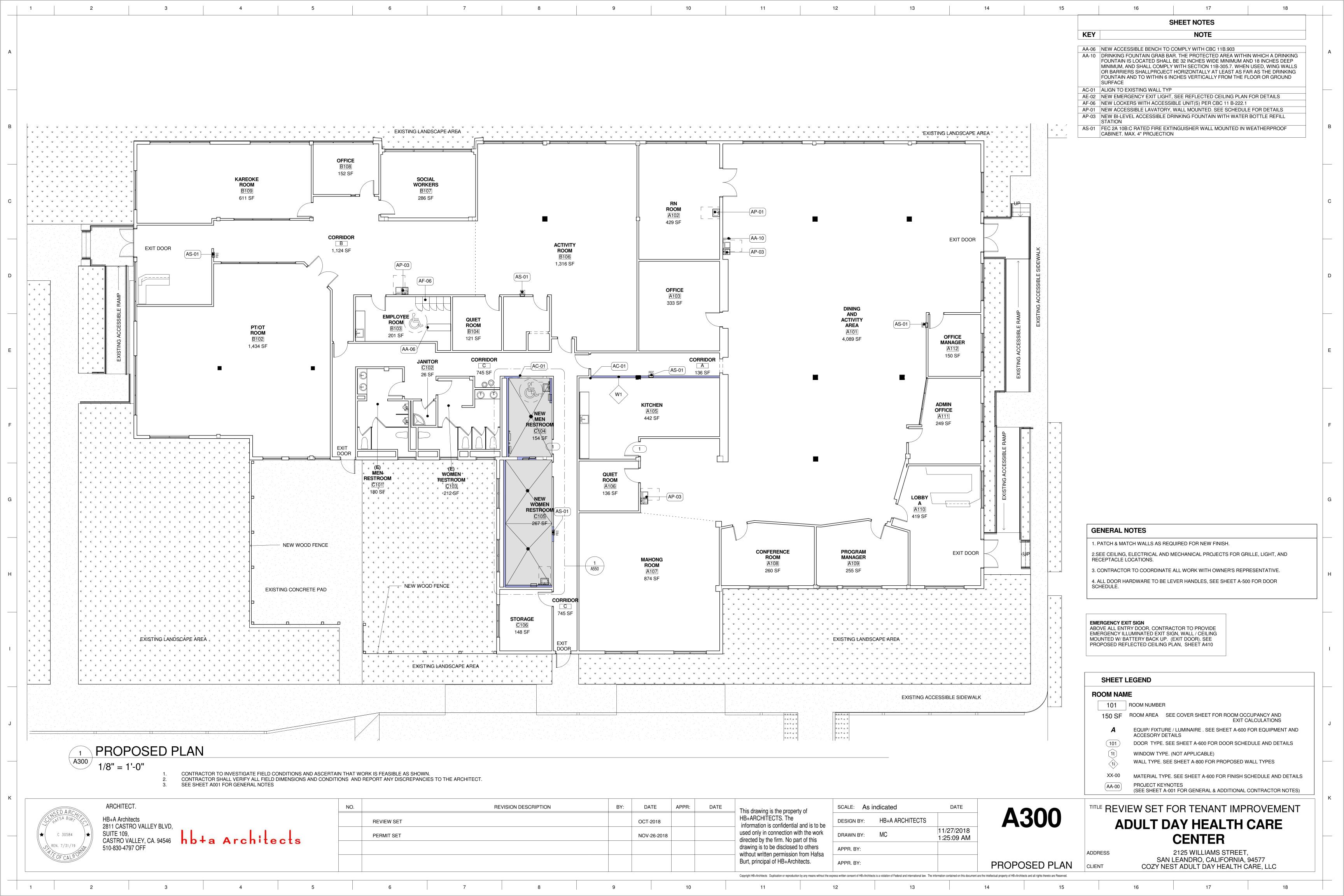
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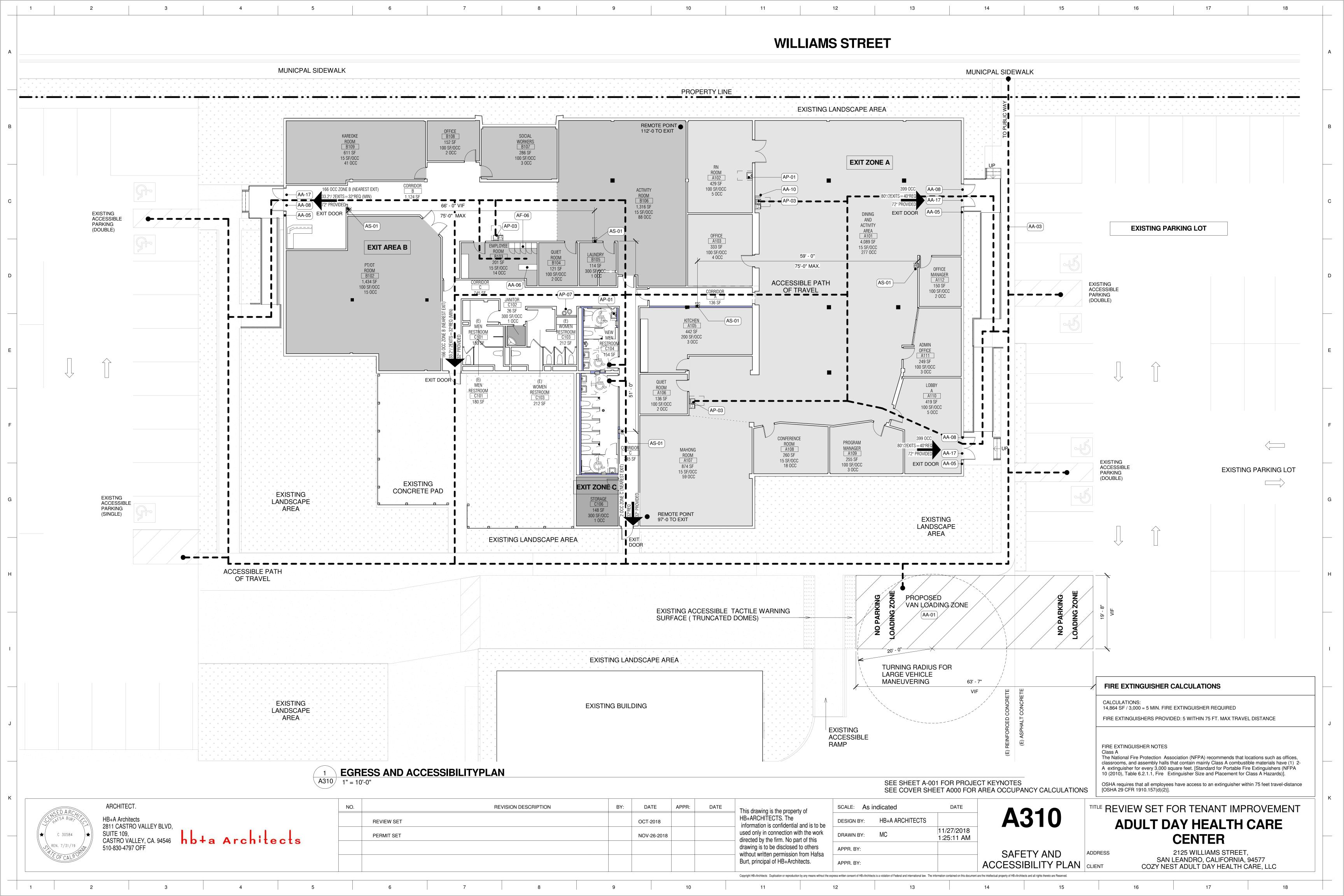
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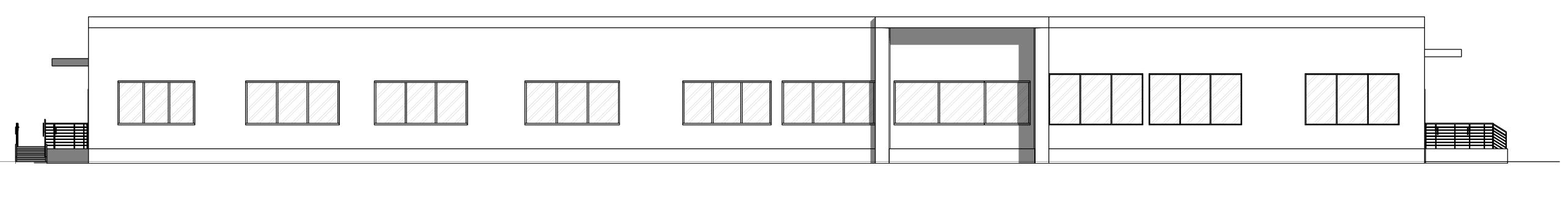




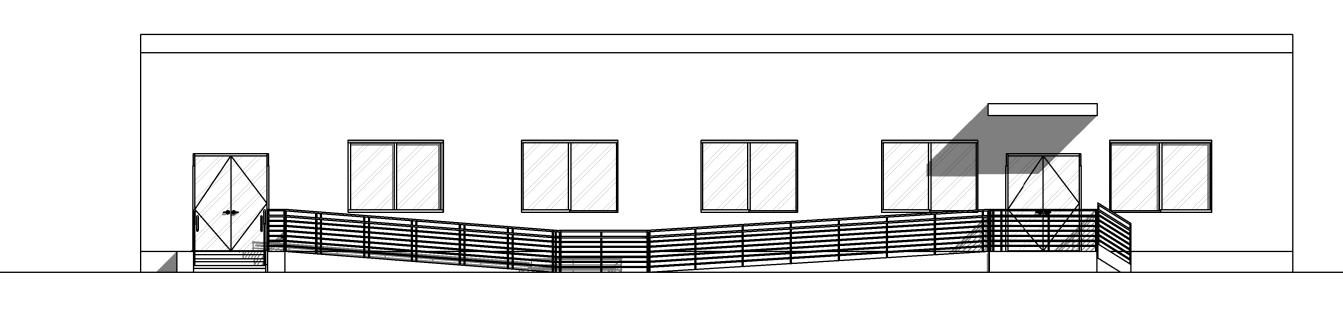






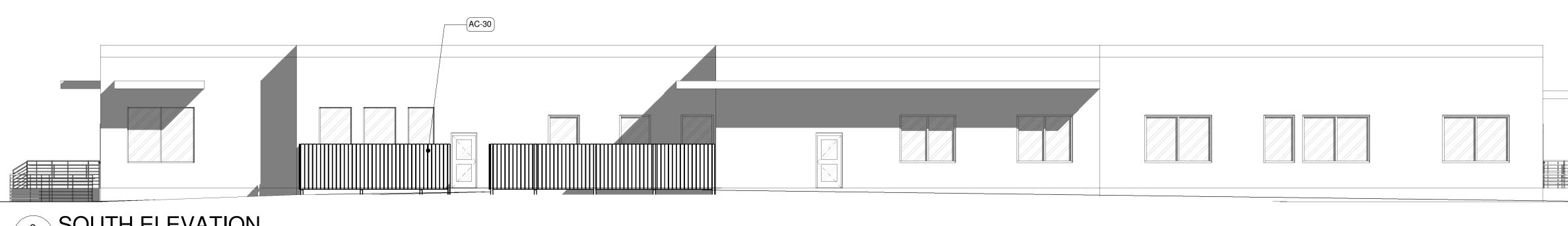


1 NORTH ELEVATION 1/8" = 1'-0"



4 WEST ELEVATION 1/8" = 1'-0"

2 EAST ELEVATION 1/8" = 1'-0"



3 SOUTH ELEVATION 1/8" = 1'-0"

OFD ARC	ARCHITECT.		
C 30584  C 30584  C 30584  C 30584  C 30584  C 30584	HB+A Architects 2811 CASTRO VALLEY BLVD, SUITE 109, CASTRO VALLEY, CA. 94546 510-830-4797 OFF	hb+a	Archilects

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:ALE: 1/8"	= 1'-0"	DATE	
SIGN BY:	HB+A ARCHITECTS		А
RAWN BY:	MC	11/27/2018 1:25:31 AM	<b>_</b> 
PR. BY:			
-			▎

<b>A 94 4</b>	TITLE REVIEW SET FOR TENANT IMPROVEMENT
A311	ADULT DAY HEALTH CARE
	OFNITED

EXTERIOR **ELEVATIONS**  NOTE: ALL EXTERIOR CONDITIONS TO REMAIN AS EXISTING, NO EXTERIOR BUILDING RENOVATIONS ARE PART OF THE SCOPE OF WORK OF THIS PROJECT

## **ADULT DAY HEALTH CARE CENTER**

2125 WILLIAMS STREET, SAN LEANDRO, CALIFORNIA, 94577 COZY NEST ADULT DAY HEALTH CARE, LLC



EXISTING CEILING PLAN

1/8" = 1'-0"

CONTRACTOR TO INVESTIGATE FIELD CONDITIONS AND ASCERTAIN THAT WORK IS FEASIBLE AS SHOWN. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. SEE SHEET A001 FOR GENERAL NOTES SEE SHEET A-001 FOR PROJECT KEYNOTES

ARCHITECT. HB+A Architects 2811 CASTRO VALLEY BLVD, SUITE 109, C 30584 CASTRO VALLEY, CA. 94546 hb+a Architects REN. 7/31/19 510-830-4797 OFF

Ю.		REVISION DESCRIPTION	BY:	DATE	APPR:	DATE	This drawing is the property of
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	SCALE: As in	DATE	
1	DESIGN BY:	HB+A ARCHITECTS	
,	DRAWN BY:	MC	11/27/2018 1:25:33 AM
	APPR. BY:		
	APPR BY:		

**A400** 

**LEGEND** 

(E) 24"X48" LIGHT FIXTURE RECESSED

(E) 24"X24" LIGHT FIXTURE RECESSED

(E) INDIRECT LIGHT FIXTURE MOUNTED

21 INCH BELOW CEILING

(E) SPRINKLER HEAD

(E) AIR SUPPLY TERMINAL

(E) AIR RETURN TERMINAL

(E) AIR EXHAUST FAN

— — DEMOLISH / REMOVE / RELOCATE

DEMOLISH / REMOVE

**EMERGENCY EXIT SIGN** 

Precise® Edge-Lit Exits with LED Lamps

ILLUMINATED EXIT SIGN, WALL / CEILING MOUNTED W/ BATTERY BACK UP.

ILLUMINATED EXIT SIGN, WALL / CEILING MOUNTED W/ BATTERY BACK UP. (DIRECTION OF TRAVEL)

MAXIMUN EXIT SIGNS MUST BE NOT MORE THAN 100 FT APART

REPLACE EXISTING FLUORESCENTE FIXTURE WITH LED 3000 K

EMERGENCY ILLUMINATION SHALL BE PROVIDED FOR NOT LESS THAN 1 HOUR IN THE EVENT OF

FAILURE OF NORMAL LIGHTING. LIGHTING SHALL BE ARRANGED TO PROVIDE AN INITIAL ILLUMINATION THAT IS NOT LESS THAN AVERAGE OF 1FT- CANDLE (10.8 LUX) AND, AT ANY POINT, NOT LESS THAN 0.1 FT CANDLE (1.1 LUX) MEASURED ALONG THE PATH OF EGRESS AT ANY

150 SF ROOM AREA SEE COVER SHEET FOR ROOM OCCUPANCY AND EXIT CALCULATIONS

ACCESORY DETAILS

PROJECT KEYNOTES

WINDOW TYPE. (NOT APPLICABLE)

EQUIP/ FIXTURE / LUMINAIRE . SEE SHEET A-600 FOR EQUIPMENT AND

MATERIAL TYPE. SEE SHEET A-600 FOR FINISH SCHEDULE AND DETAILS

(SEE SHEET A-001 FOR GENERAL & ADDITIONAL CONTRACTOR NOTES)

DOOR TYPE. SEE SHEET A-600 FOR DOOR SCHEDULE AND DETAILS

WALL TYPE. SEE SHEET A-800 FOR PROPOSED WALL TYPES

PROVIDE ALL CABINETRY (NOT SHOWN) WITH LED UNDERCABINET LIGHT ( LENGTH PER WALL CABINET)

ABOVE ENTRY DOOR PROVIDE EMERGENCY ILLUMINATED

EXIT SIGN, WALL / CEILING MOUNTED W/ BATTERY BACK UP.

RE RELOCATE

E/E

(EXIT DOOR)

LITHONIA LRP

(EXIT DOOR)

(N) NEW

NOTES:

( OR UNDER)

LEVEL. (NFPA-101:7.9.2)

**ROOM NAME** 

**SHEET LEGEND** 

3 LAMP T8 ROUNDED CHANNEL

(E) SPEAKER SURFACE MOUNTED

TITLE REVIEW SET FOR TENANT IMPROVEMENT

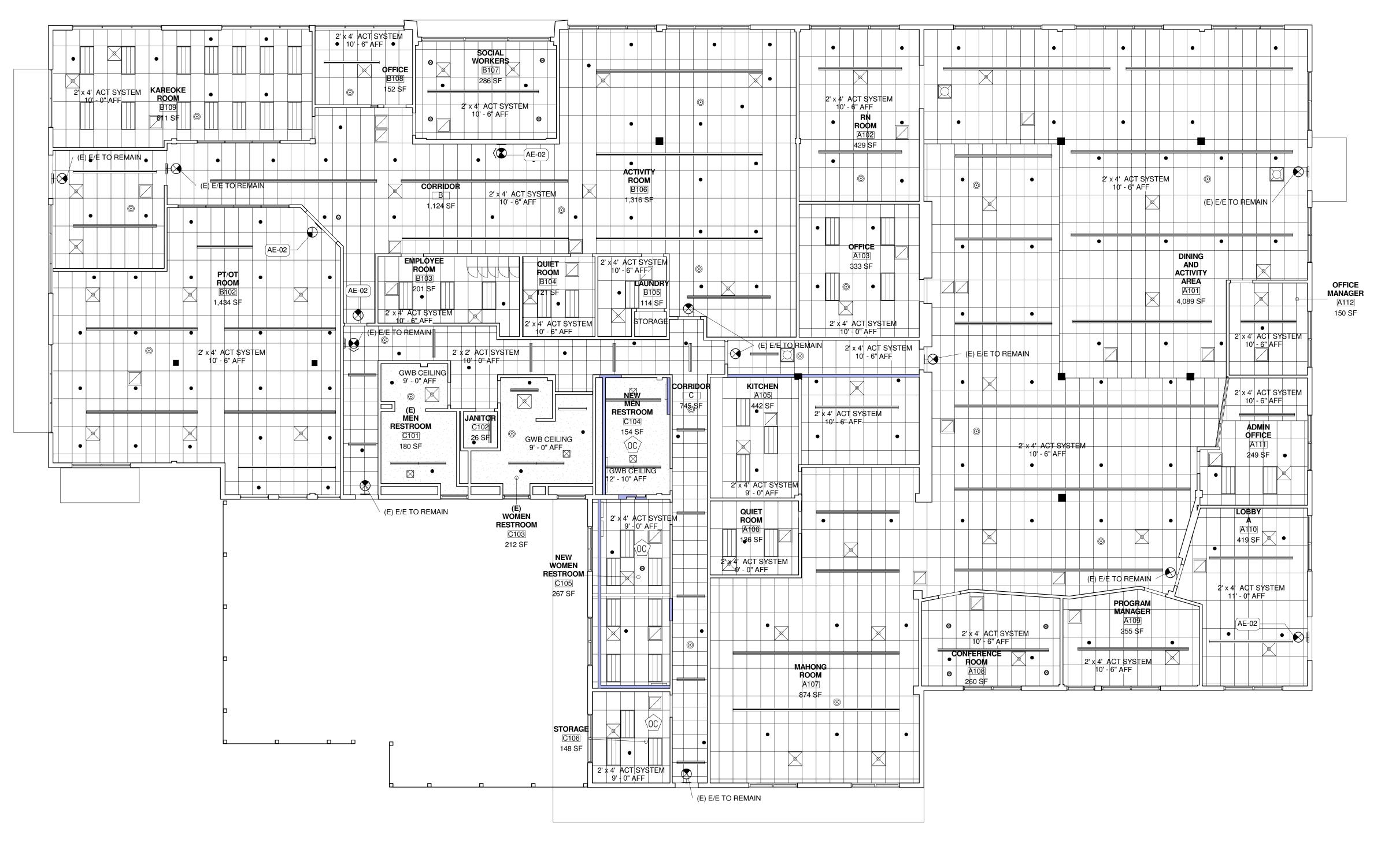
## ADULT DAY HEALTH CARE **CENTER**

2125 WILLIAMS STREET, SAN LEANDRO, CALIFORNIA, 94577 COZY NEST ADULT DAY HEALTH CARE, LLC

EXISTING / DEMO

REFLECTED CEILING | ADDRESS PLAN

the work of this others m Hafsa | APPR. BY:



PROPOSED CEILING PLAN

CONTRACTOR TO INVESTIGATE FIELD CONDITIONS AND ASCERTAIN THAT WORK IS FEASIBLE AS SHOWN. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

SEE SHEET A001 FOR GENERAL NOTES

ARCHITECT. HB+A Architects SUITE 109, CASTRO VALLEY, CA. 94546 hb+a Architects REN. 7/31/19 510-830-4797 OFF

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						drawing is to be disclosed to other without written permission from F
						Burt, principal of HB+Architects.

SCALE: As indicated HB+A ARCHITECTS DESIGN BY: 11/27/2018 DRAWN BY: 1:25:35 AM APPR. BY:

REFLECTED CEILING ADDRESS

**A410 PROPOSED** 

TITLE REVIEW SET FOR TENANT IMPROVEMENT

## **ADULT DAY HEALTH CARE**

2125 WILLIAMS STREET, SAN LEANDRO, CALIFORNIA, 94577 COZY NEST ADULT DAY HEALTH CARE, LLC

ential and is to be on with the work No part of this osed to others ssion from Hafsa Architects. APPR. BY:

ALL NEW LIGHTING CONTROL UPGRADES SHALL BE UL LISTED EMERGENCY ILLUMINATION SHALL BE PROVIDED FOR NOT LESS THAN 1 HOUR IN THE EVENT OF FAILURE OF NORMAL LIGHTING. LIGHTING SHALL BE ARRANGED TO PROVIDE AN INITIAL ILLUMINATION THAT IS NOT LESS THAN AVERAGE OF 1FT- CANDLE (10.8 LUX) AND, AT ANY POINT, NOT LESS THAN 0.1 FT CANDLE (1.1 LUX) MEASURED ALONG THE PATH OF EGRESS AT ANY LEVEL. (NFPA-101:7.9.2) SHEET LEGEND

## **ROOM NAME**

CONTRACTOR NOTES

THIS PROJECT.

**LEGEND** 

SWITCH WITH OCCUPANCY SENSOR

INFRARED SENSOR <NOT SHOWN>)

ALL EXISTING CEILINGS SYSTEMS TO REMAIN.

NO CEILING ALTERATIONS AND/OR REMODEL WILL BE PART OF

UPGRADES IN EXISTING/NEW ROOMS AS SHOWN IN PLAN AND

FIELD BY GENERAL CONTRACTOR TO BE FEASIBLE AS SHOWN

ALL NEW LIGHTING CONTROL TO COMPLY WITH CALIFORNIA T-24

LIGHTING UPGRADES NOT SHOWN IN RCP TO BE VERIFIED IN

GENERAL CONTRACTOR TO PROVIDE LIGHT CONTROLS

ALL NEW LIGHTING CONTROL UPGRADES TO BE ENERGY

(W/ AUTOMATIC SHUT-OFF)

(SWITCH O.C. COMBO OR CELING/WALL MOUNTED

150 SF ROOM AREA SEE COVER SHEET FOR ROOM OCCUPANCY AND EXIT CALCULATIONS

EQUIP/ FIXTURE / LUMINAIRE . SEE SHEET A-600 FOR EQUIPMENT AND

ACCESORY DETAILS

DOOR TYPE. SEE SHEET A-600 FOR DOOR SCHEDULE AND DETAILS

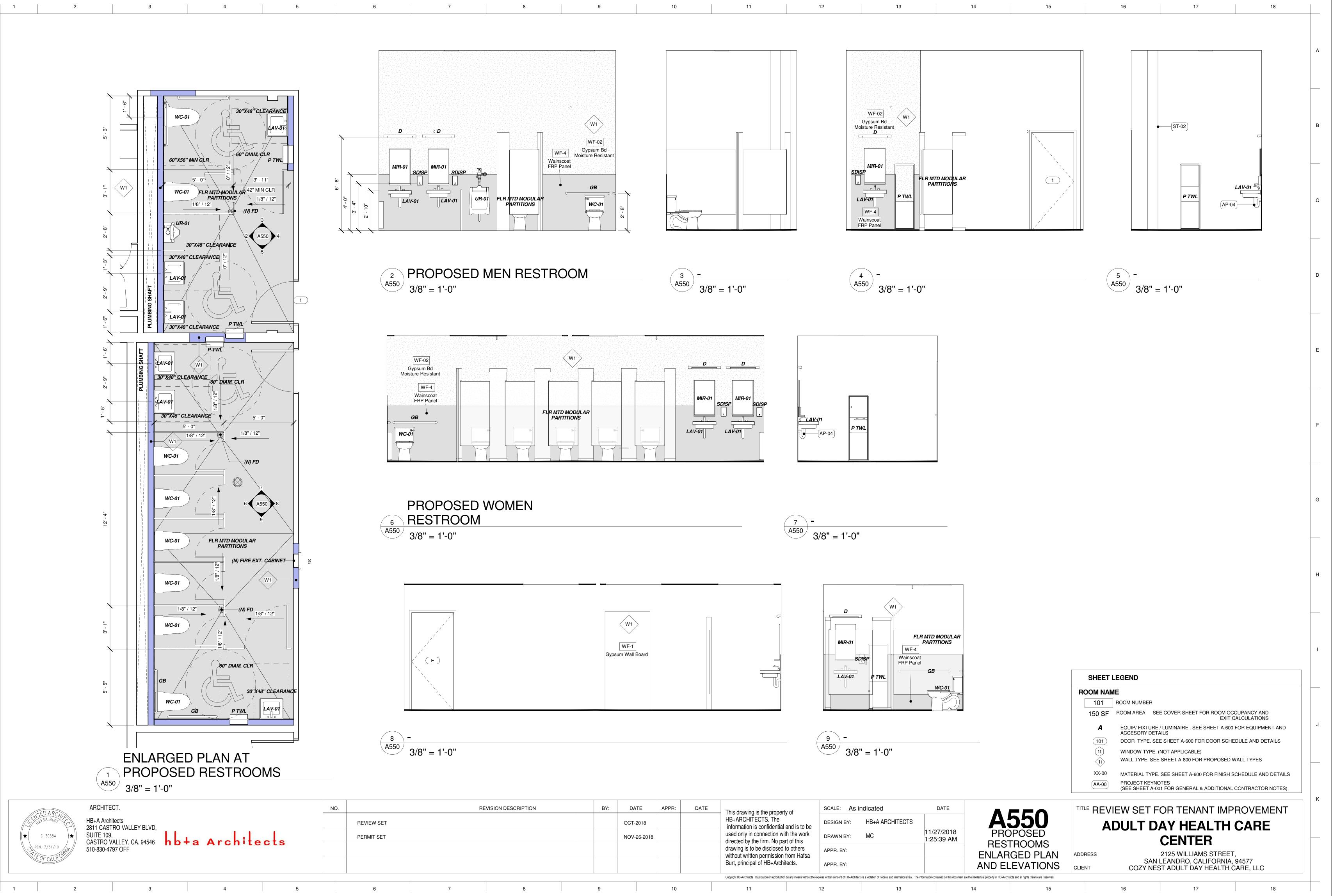
WINDOW TYPE. (NOT APPLICABLE)

WALL TYPE. SEE SHEET A-800 FOR PROPOSED WALL TYPES

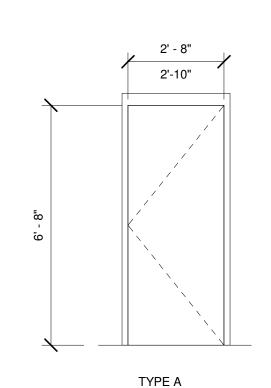
MATERIAL TYPE. SEE SHEET A-600 FOR FINISH SCHEDULE AND DETAILS

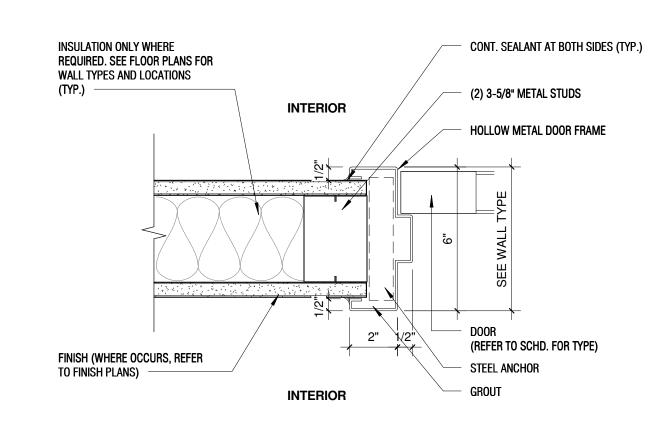
(SEE SHEET A-001 FOR GENERAL & ADDITIONAL CONTRACTOR NOTES)

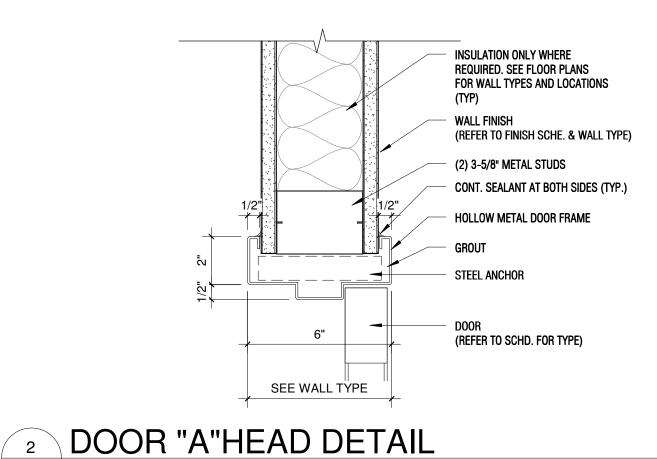
**CENTER** 



	DOOR SCHEDULE															
MARK	TYPE	DESCRIPTION	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	FIRE RATING	HARDWARE	HARDWARE TYPE	DOOR NOTES	FRAME MATERIAL JAM	B HEADER	FINISH	COMMENTS	OR APPROVED EQUAL
1	A	FLUSH SOLID CORE	3' - 0"	7' - 0"	0' - 1 3/4"	WD/ MTL SOLID CORE	PT	45 MIN.	LEVER HANDLE ACCESSIBLE	TYPE 3	2-4-6-7-8	HM HM	НМ	PT	NON LOCKABLE	Yes









3 DOOR "A" JAMB DETAIL

ADDITIONAL DOOR NOTES:

CONTRACTOR SHOULD MEASURE ALL OPENINGS PRIOR TO FABRICATE. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL. LATCH & HANDLE SHALL BE 54" (MAX.) ABOVE FLOOR.

LOCKS AND LATCHES MUST COMPLY W / N.F.P.A. 5-21.5 B (HARDWARE). PRIVACY LOCK.

**HARDWARE GROUP 1** 

HARDWARE GROUP 2

ADD SIGN ABOVE DOOR TO READ: "THESE DOORS MUST REMAIN UNLOCKED DURING BUSINESS HOURS." THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND. PROVIDE ACCESSIBLE SIGNAGE

3. FOR EXTERIOR DOORS - MAXIMUM DOOR OPENING EFFORT - 5.0 LBS 4. FOR INTERIOR DOORS - MAXIMUM DOOR OPENING EFFORT - 5.0 LBS

ALL EXTERIOR DOORS - PROVIDE HARDWARE TO ALLOW DOORS TO BE OPENED FROM INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT REQUIRED EXIT DOORS SHALL NOT BE PROVIDED WITH THUMB

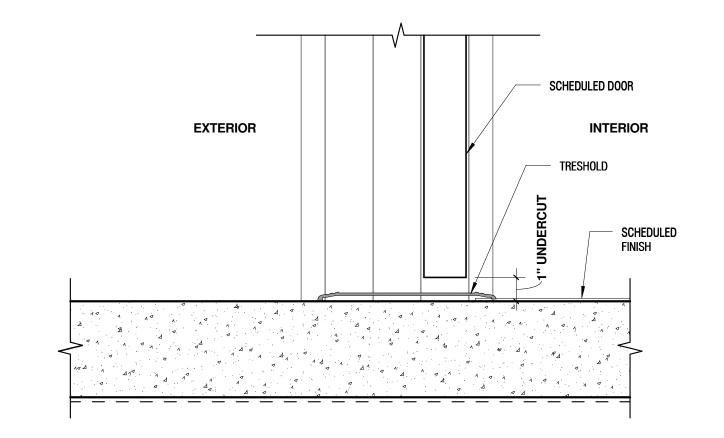
7. FIRE RATED, NOT TO EXCEED 15 LBS. PER 11B-404-2-9 SELF

8. ACCESSIBLE LISTED DOOR THROUGHOUT

CLOSING & SELF LATCHING

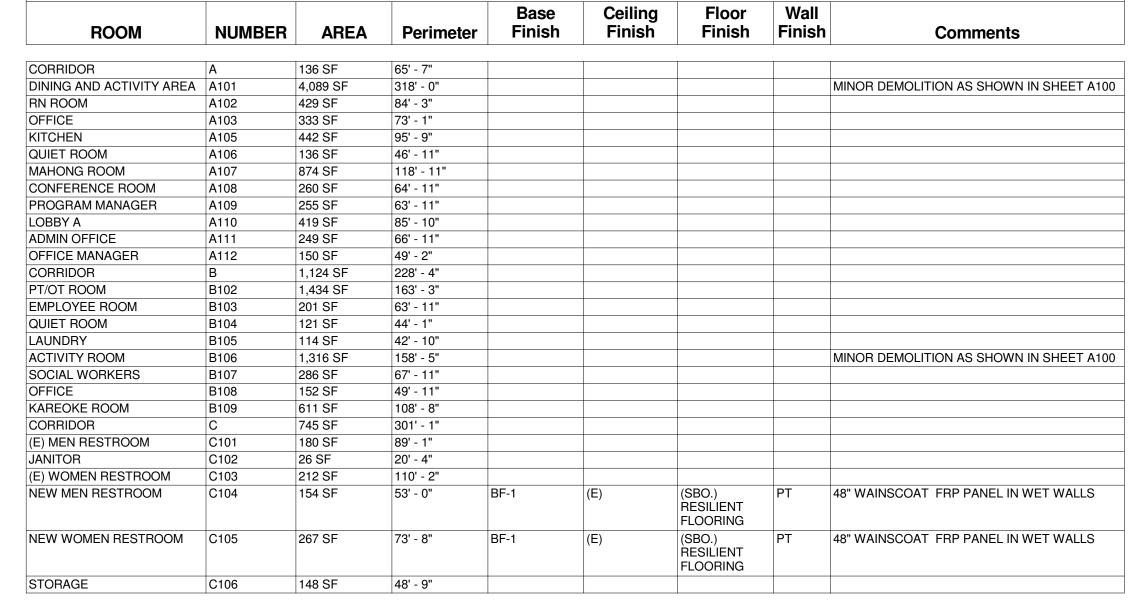
**HARDWARE GROUP 3** 

1 EA.	PRIVACY LOCKSET #D40S RHODES	SCHLAGE	613	OR APPROVED EQUA
1-1/2 PAIR	BUTTS 4-1/2"x4-1/2" #BB179	STANLEY	613	OR APPROVED EQUA
1 EA.	CLOSER #7500-DA	NORTON	US10B	OR APPROVED EQUA
1 EA.	WALL STOP #409-1/2	IVES	B10B	OR APPROVED EQUA
3 EA.	SILENCER #21	IVES	GRAY	OR APPROVED EQUA
1 EA.	COAT HOOK (AT RESTR. DOORS) #572 (MOUNT @ +6'-0" A.F.F.)	IVES	MB108	OR APPROVED EQUA
2 EA.	KICKPLATE 10" x 34" #8400	IVES	613	OR APPROVED EQUA





			PLUMBING FIXTURE SCHEDU	LE			
CODE	TYPE	REMARKS	ACCESSORY / COMMENTS	MANUFACTURER	MODEL	MATERIAL/ FINISH	APPROVEI EQUAL
DR-F-01	WALL MOUNTED DRINKING FOUNTAIN	ADA COMPLIANT	WITH WATTER BOTTLER FILLER STATION. PROVIDE 115 V ELECT. OUTLET	ELKAY	LZSTL8WSSP	S/S	Yes
_AV-01	WALL MOUNTED LAVATORY			BRADLEY	TL-18 Terreon- Imperial Wall-Mount Lavatory	WHITE	Yes
UR-01	WALL MOUNTED URINAL		0.125 gpf Flush Valve: Sensor-Operated	AMERICAN STANDARD	WASHBROOK - FloWise -UNIVERSAL URINAL	WHITE	Yes
WC-01	FLR MOUNTED TOILET		Townsend Vormax Right Height Elongated One-Piece Toilet With Seat	American Standard	2922A	WHITE	Yes



**ROOM FINISH SCHEDULE** 

(SBO) AS SELECTED BY OWNER

ÀLL BLANK ITEMS CORRESPOND TO ROOMS WITH EXISTING FINISHES TO REMAIN. CONTRACTOR TO EXECUTE PATCH AND PAINT WALLS AND REPAIR FLOORS AS NEEDED FOR THE INTENDED PURPOSE OF THE BUILDING AND USE OF ROOMS.

NO ADDITIONAL ALTERATION OR RENOVATION WILL BE PART OF THIS PROJECT.

### **INTERIOR WALL BOARD SPECIFICATION:**

GYPSUM WALL BOARD ULTRALIGHT TYPE C, 5/8" THK. TAPERED, FRAMING AT 16"O.C MIN- 24" O.C. MAX. FIRE RESIST. 4 HR MAX. ASTM C1396 GYPSUM WALL BOARD ULTRALIGHT FIRECODE TYPE X, 5/8" THK. TAPERED, FRAMING AT 16"O.C MIN-24" O.C. MAX. FIRE RESIST. 4 HR MAX. ASTM C1396

GYPSUM WALL BOARD TYPE M.R. (MOISTURE RESISTANT), 1/2" THK. TAPERED, FRAMING AT 16"O.C MIN- 24" O.C. MAX. FIRE RESIST. 4 HR MAX. ASTM C1396

**INTERIOR FINISH SPECIFICATION:** 

CONCRETE STAIN

BEECH NUT (WATER BASE STAIN- ECO STAIN)\ OR FINISH AS SELECTED BY OWNER

LAMINATED VYNIL COMMERCIAL FLOORING ARMSTRONG FINISH AS SELECTED BY OWNER

INTERIOR Ultra Spec® SCUFF-X BENJAMIN MOORE WHITE OPULENCE

OR FINISH AS SELECTED BY OWNER

COUNTERTOP

INDUSTRY STANDARD OR FINISH AS SELECTED BY OWNER

BASE WALL FINISH 4" VYNIL COMMERCIAL GRADE COLOR AS SELECTED BY OWNER

### FIRE PROTECTION PRODUCTS.

FIRE EXTINGUISHER CABINET (FEC) JL INDUSTRIES AMBASSADOR SERIES SEMI RECESSED CABINET. VERTICAL DUO STYLE DOOR WITH SAFETY GLASS AND VERTICAL DOOR PULL. STEEL CONSTRUCTION, COLOR WHITE. TUBE SIZE 10 1/2" X 24" X 5 1/2" WITH 1 1/2" SQUARE EDGE TRIM. ETCHED VERTICAL LETTERING ON GLASS PANEL. 1 HOUR FIRE RATED WHERE LOCATED IN 1 HOUR RATED WALLS. FIRE EXTINGUISHER AS SPECIFIED.

### ACCESSORY AND PRODUCT SCHEDULE

BOBRICK B-6806.99 SERIES PEENED SATIN STAINLESS STEEL FINISHED GRAB BARS FOR ACCESSIBLE TOILET AND SHOWER STALLS, SIZE VARIES. SEE INTERIOR ELEVATIONS

BOBRICK B-292 1830 SERIED WELDED SATIN STAINLESS STEEL FINISH FRAMED MIRROR WITH SHELF, 18"X 30".

BOBRICK B-2111 CLASSIC SERIES SURFACE MOUNTED WITH SATIN STAINLESS STEEL

**SND** - SANITARY NAPKIN DISPENSER

BOBRICK B-270 CONTURA SERIES SURFACE MOUNTED SATIN STAINLESS STEEL FINISH .

**TPH**- TOILET PAPER HOLDER

BRADLEY 5126 W/ ANTI THEFT. S/S/ SURFACE-MOUNTED **P-TWL**- PAPER TOWEL DISPENSER AND WASTE RECEPTACLE

BRADLEY . MODEL SEMI-RECESSED Model 225-10 —(recesses 4"; projects 3½".) STANDARD SERIES SATIN FINISH

ST-CD -SEAT COVER DISPENSER (TOILET) BOBRICK CLASSIC SERIES B-221 SURFACE-MOUNTED

CH-1- COAT HOOK BRADLEY MODEL 912 SURFACE-MOUNTED - CONCEALED MOUNTING CHROME-PLATED BRASS DOUBLE ROBE HOOK

**CH-ST** - CHANGING STATION BRADLEY 962 STAINLESS STEEL BABY CHANGING STATION HORIZONTAL SURFACE RECESSED MOUNTED

**DF-GB** DRINKING FOUNTAIN GRAB BARS **BREY-KRAUSE** D-7867-SS-P WALL TO FLOOR GRAB BAR

SHW CTR+HD SHOWER CONTROL + SHOWER HEAD BRADLEY SXWS9151 CHASE-MOUNTED ADA SX PANEL SHOWER

**CG-1** CORNER GUARD TYPE 1 BRADLEY MODEL 91 S/S 40" HT. INSTALL 8" AFF. TO 48" TOP HT.

BRADLEY MODEL LENOXLOCKER Lenox Locker - Solid Plastic 72" HT. 4" BASE /(4) TIER / DIMS. 15"W X15"D COLOR WHITE, STD DR /STD-HAS-LOCK / COAT

TCK-BD-1 TACKBOARD TYPE 1 STEELCASE OR APPROVED EQUAL 36"HX60"L CORK W/ ALUM TRIM, CLR ANODIZED FIN.

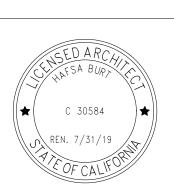
BENCH-01 BENCH WD FIN. AS SELECTED BY OWNER 48"LX20"DX20"HT ATTACHED TO WALL OR FLR

### **FAUCETS:**

BATHROOM: DELTA SERIES: 590LF-LGHGMHDF MODEL #BC12066862, CHROME FIN.

FONTAINE SERIES: BIANKE SINGLE PULL-DOWN SPRAY MODEL # SFF-BIAK 1-BN, BRUSHED NICKEL FIN.

NOTE: ACCESORIES AND PRODUCTS IN SCHEDULE TO BE "APPROVED EQUAL"



ARCHITECT. HB+A Architects 2811 CASTRO VALLEY BLVD, SUITE 109. CASTRO VALLEY, CA. 94546 hb+a Architects 510-830-4797 OFF

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	SCALE: As ir	ndicated	DATE
ho	DESIGN BY:	HB+A ARCHITECTS	
be rk	DRAWN BY:	MC	11/27/2018 1:25:39 AM
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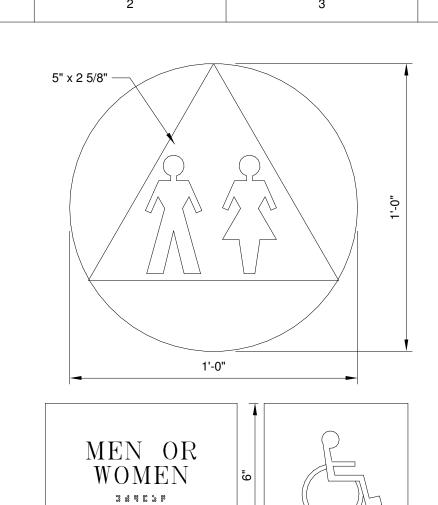
**A600** FINISH AND **ACCESSORY** 

SCHEDULE

TITLE REVIEW SET FOR TENANT IMPROVEMENT ADULT DAY HEALTH CARE

**CENTER** 2125 WILLIAMS STREET,

ADDRESS SAN LEANDRO, CALIFORNIA, 94577 COZY NEST ADULT DAY HEALTH CARE, LLC CLIENT



UNISEX TOILET ENTRY SIGN
3" = 1'-0"

MATERIAL: MENS OR WOMENS & WHL. CHR.SIGN PANELS TO BE 3mm SINTRA W/ SCOTT -ADA'S 1/32" THICK LETTERS & SYMBOLS HELVETICA MEDIUM UPPER CASE.

ALL LETTERS TO BE 1" HIGH BRAILLE LETTERS TO BE GRADE 2ADA APPROVED. BLACK TILES MOUNTED IN CHASE CIRCLE TO BE 3/16", #140 BLUE PLEXI W/ POLISHED EDGES FIGURE TO BE 3/16" WHITE PLEXI APPLIED TO BACKGROUND

COLOR: BACKGROUND-BENJAMIN MOORE #905 U.O.N. LETTERS-BENJAMIN MOORE #1470

**BRAILLE TILES & CHASE:** STOCK BLACK

BACK OF ALL SIGNS

/115\

– DOOR

HARDWARE

AS SPECIFIED

1/4" TH. CIRCLE, 12" DIA. W/ A 1/4" TH. TRIANGLE SUPERIMPOSED CIRCLE. TRIANGLE & CIRCLE TO BE #140 BLUE PLEXI W/ MEN/WOMEN PROVIDE VHB TAPE ON

> HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER ACCESSIBLE LAVATORIES AND SINKS.

1'-6"

MIRROR -

LEVER

CONTROL

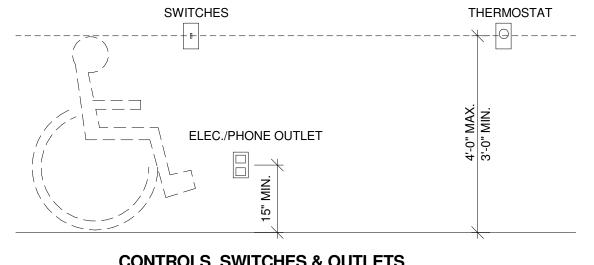
FAUCET W/-

INSUL. DRAIN-

& SUPPLY

PLUMBING

LINES



### **CONTROLS, SWITCHES & OUTLETS**

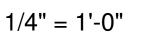
- 1. THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF CONTROLS OR SWITCHES INTENDED TO BE USED IN THE AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR H.V.A.C. EQUIPMENT SHALL NOT BE MORE THAN 48" A.F.F.
- 2. ELECT. CONVENIENCE WALL OUTLETS ARE TO BE CENTERED A MIN. 15" FROM THE FLOOR. EXCEPTION: HEIGHT LIMITATIONS DO NOT APPLY WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE OR WHERE ELECTRICAL RECEPTACLES ARE NOT NORMALLY INTENDED FOR USE BY BUILDING OCCUPANTS.

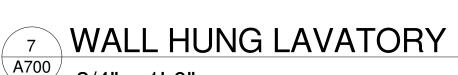
ACCESSIBLE MOUNTING HEIGHTS. CONTROLS SWITCHES & OUTLETS

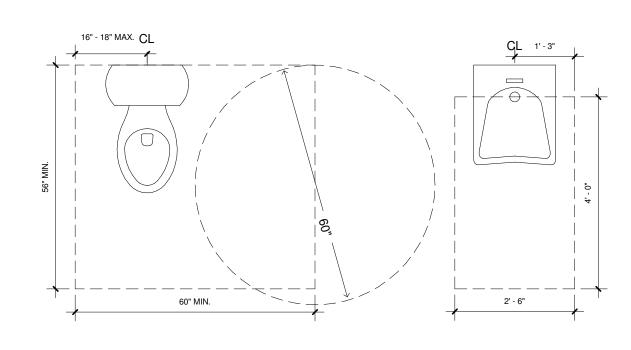
DETAIL. ACCESSIBLE GRAB

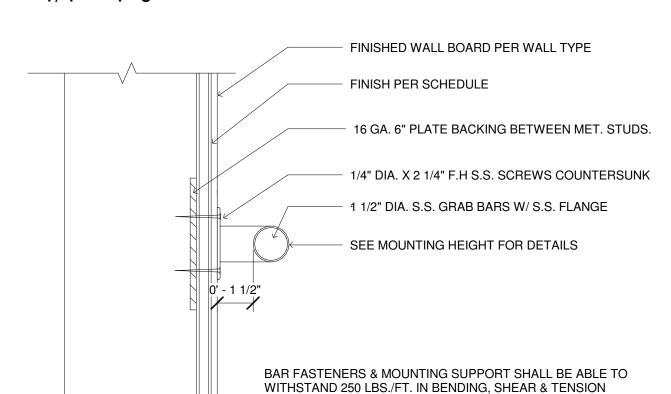
BAR SUPPORT

3" = 1'-0"









(Grab bars to comply w/ 609) GB //<sub>4"</sub> 56" 606.2 Clear Floor Space (604.3.1 Size) (604.3.1 Size) SIDE WALL REAR WALL **APPROACH DESCRIPTION TOILET / WATER CLOSETS ACCESIBLE** LAVATORY BASIN/ BATHROOMS SND- SANITARY NAPKIN DISPOSAL. PROVIDE AT UNISEX, & WOMEN'S NOTES: SEE PLAN FOR SPECIFIC LOCATION CONDITION. **SEE SHEET** PATIENT BATHROOMS ONLY. SDISP & PTC- BY OWNER, INSTALLED BY A-600 FOR GB - GRAB BARS. AT NON-ACCESSIBLE WATER CLOSETS OMIT GRAB CONTRACTOR. **ACCESSORY** ENSURE MIN. OF 27" X 8" DEEP KNEE SPACE EXPOSED HOT AND COLD WATER PIPES ARE TO BE AND PLUMBING FLUSH VALVE CONTROL MUST BE LOCATED ON THE OUTSIDE OR WIDE 4. **FIXTURE** SIDE OF THE TOILET. **INSULATED DETAILS** GB BLKG. TO BE DESIGNED FOR 250 LBS. LAT AND DEAD LOADS

DOORS IN A SERIES

12" MIN.\*

**BOTH DOORS OPEN OUT** 

COVER

SANITARY NAPKIN

FACE OF SIDE WALL

(604.5.2 Rear wall grab bar)

SHOWER

CONTROLS

CONTROL\$

LIGHT 4

TOWEL DISPENSER

DISPENSER

ACCESSIBLE MOUNTING

FACE OF BACK WALL

ACCESSIBLE RESTROOM

DETAILS

1/4" = 1'-0"

DOORS @ ADJACENT WALLS

DOORS @ OPPOSITE WALLS

WITH BOTH A LATCH AND CLOSER

\*PROVIDE THIS ADDTIONAL SPACE IF DOOR IS SECURED

ACCESSIBLE VESTIBULE

HEIGHTS. BATHROOM

ACCESSORIES

**TOWELS** 

WASTE

FACE OF SIDE WALL

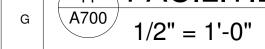
MIRROR

**GRAB BARS** 

## SYMBOLS FOR SANITARY 11 FACILITIES

ÉTTERING RAISED

—— 1/32"



**HEIGHT OF** 

LETTERING

5/8" TO 2" MAX.

UPPERCASE

CHARACTERS



CORRESPONDING GRADE II BRAILLE

DOOR SIGN -

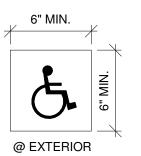


















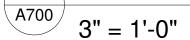


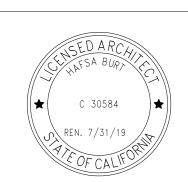
## TYPICAL PICTOGRAMS

### **PICTOGRAMS** PLACED DIRECTLY BELOW THE PICTOGRAM

- THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6" MINIMUM IN HEIGHT - CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND; EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARCTERS ON A LIGHT BACKGROUND

## INTERNATIONAL SYMBOLS OF ACCESSIBILITY

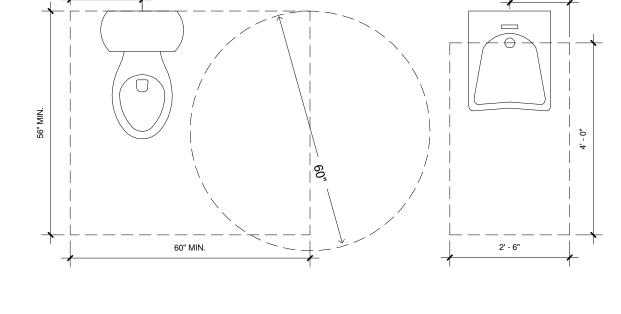




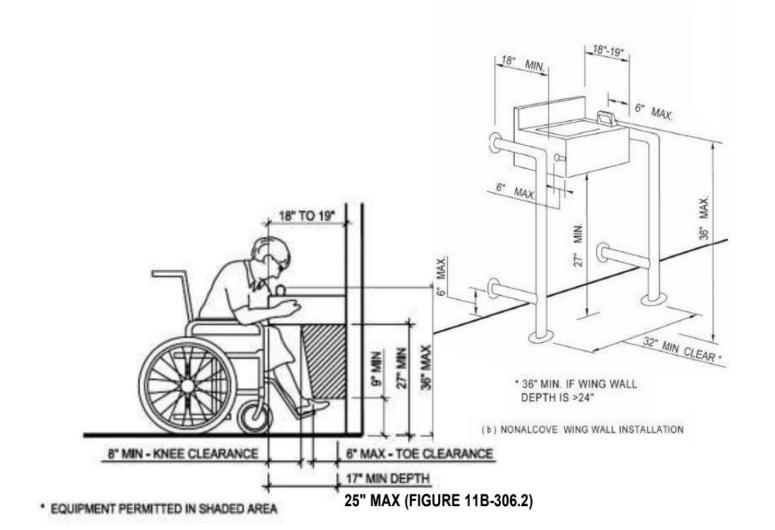
HB+A Architects SUITE 109, 510-830-4797 OFF

ARCHITECT.





## ACCESSIBLE TOILET AND 88 LAVATORY CLEARANCES

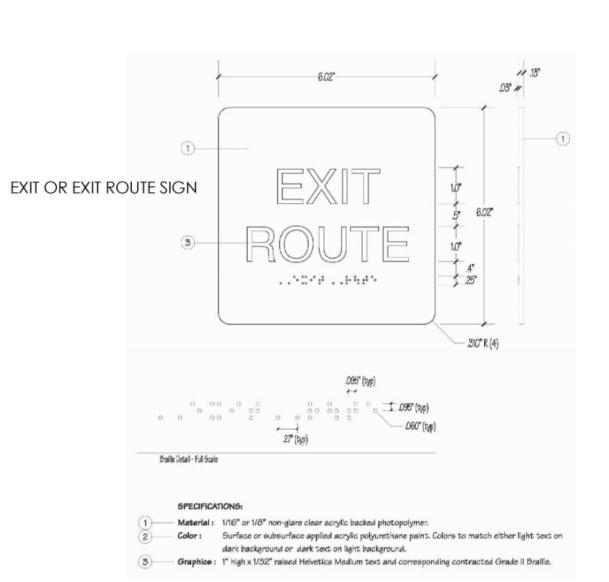


SPOUT HEIGHT AND KNEE CLEARANCE AT **DRINKING FOUNTAINS** 

## ACCESSIBLE DRINKING FOUNTAIN

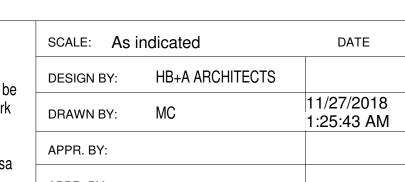
A700 3/8" = 1'-0"

NO.



## TACTILE EXIT SIGN

## 1" = NTS



A700

# **A700**

REFERENCE ONLY)

## TITLE REVIEW SET FOR TENANT IMPROVEMENT **ADULT DAY HEALTH CARE CENTER**

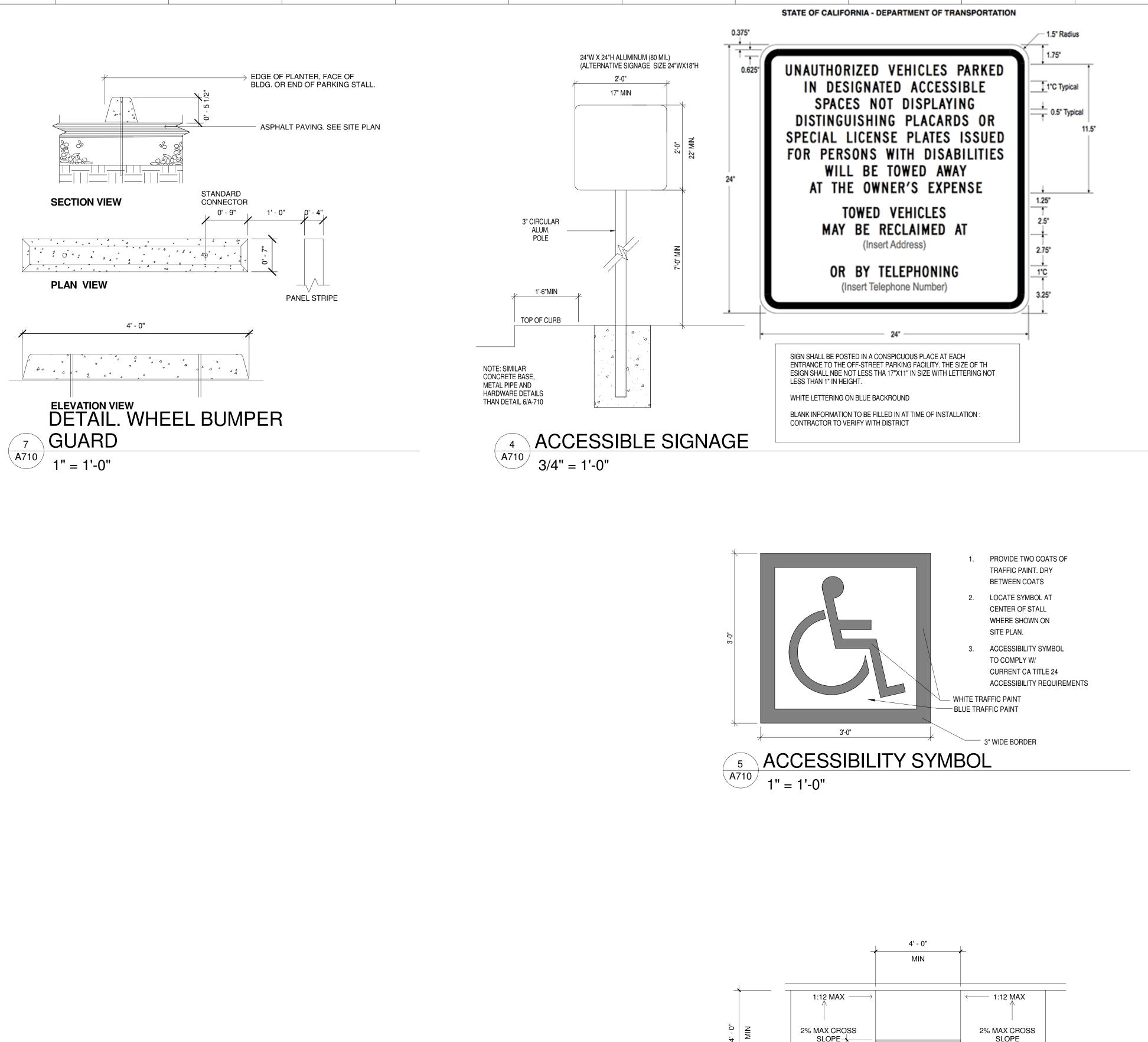
2125 WILLIAMS STREET, SAN LEANDRO, CALIFORNIA, 94577 COZY NEST ADULT DAY HEALTH CARE, LLC

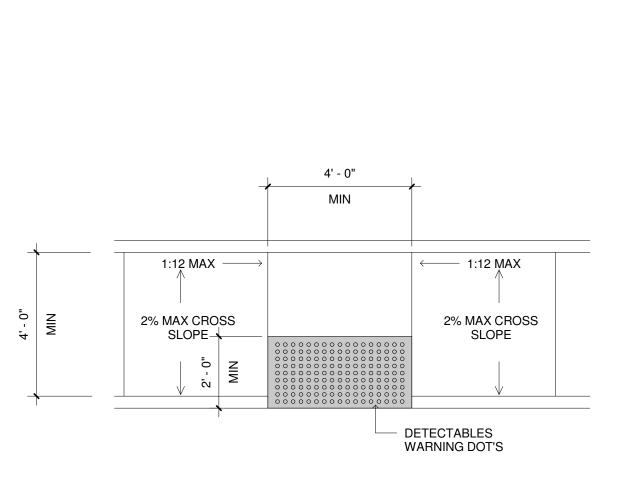
	SCALE: As in	dicated	DATE
e	DESIGN BY:	HB+A ARCHITECTS	
	DRAWN BY:	MC	11/27/2018 1:25:43 AM
1	APPR. BY:		
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1/4" = 1'-0"

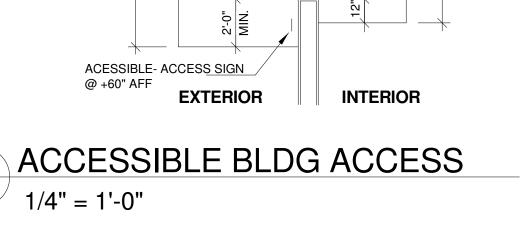
**ACCESSIBILITY** DETAILS (FOR

REVISION DESCRIPTION BY: DATE APPR: This drawing is the property of HB+ARCHITECTS. The **REVIEW SET** OCT-2018 information is confidential and is to be used only in connection with the work NOV-26-2018 PERMIT SET directed by the firm. No part of this drawing is to be disclosed to others without written permission from Hafsa Burt, principal of HB+Architects.









2% MAX. SLOPE 2% MAX. SLOPE IN ANY DIRECTION

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ork	DRAWN BY:	MC	11/27/2018 1:25:45 AM
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A710

A710

TITLE REVIEW SET FOR TENANT IMPROVEMENT **ADULT DAY HEALTH CARE** 

PREFAB G.S.M. SIGN

BACKGROUND & WHITE

REFLECTORIZED SYMBOL

CA TITLE 24 ACCESSIBILITY

SIGN EXTENSION FOR

VAN ACCESSIBLE STALLS ONLY PER

24 ACCESSIBILITY REQUIREMENTS.

3/8" DIA. M.B. W/ PEENED END

CBC 1129B.4, ADAAG 4.6.4, ADAAH 502.6 2" DIA. GALV. STL. PIPE

SLOPE UP

FINISH SURFACE

2 1/2" DIA. GALV. STL.

#4 X 6" ANCHOR THRU

CONC. FOOTING. SEE STRUCTURAL

PIPE SLEEVE

PIPE SLEEVE

DOOR CLOSER IF PROVIDED SHALL

CLOSING TIME PERIOD FROM 70° OPEN POSITION TO 3" FROM LATCH

ACCESSIBLE ENTRANCE SIGN

LEVER DOOR HANDLE/PANIC BAR

MAXIMUM OPERATING FORCE -

FIRE DOOR - 15 POUNDS UNDER DIRECTION OF AUTHORITY HAVING

SMOOTH, UNINTERRUPTED

INTERIOR - 5 POUNDS

EXTERIOR - 5 POUNDS

TYP. THIS LOCATION.

DURABLE SURFACE.

JURISDICTION

AT PRIMARY ENTRANCE. 'ISA' SIGN 6"XI

HAVE AT LEAST A 3-SECOND

ACCESSIBILITY PARKING

SIGNAGE

3'-0"

DOOR WIDTH

A. ENTRANCE

B. HARDWARE

1/4" = 1'-0"

ENTRANCE / EXIT DOOR

ALL PRIMARY ENTRANCES ACCESSIBLE.

ALLOWABLE CLOSER PRESSURE:

FIRE DOORS: 15 POUNDS

LEVEL SPACE @ OUTSWINGING DOORS: 5'-0"X 5'-0"

SPACE PROVIDED AT STRIKE SIDE OF OUTSWINGING DOOR: 2'-0" LEVEL SPACE WHEN DOOR SWINGS AWAY FROM APPROACH: 4'-0" NO REVOLVING DOORS ALLOWED FOR ACCESSIBLE DOORS. WIDTH: SINGLE DOOR: 2'-8" CLEAR OPENING (3'-0" DOOR) WIDTH: DOUBLE DOORS: ACTIVE LEAF 2'-8" CLEAR OPENING

OPERABLE BY A SINGLE EFFORT, NO GRASPING OR WRIST MOVEMENT

MIN.

EXTERIOR DOORS: 8.5 POUNDS. INTERIOR DOORS: 5 POUNDS

(LEVERS, PUSH-PULLS, OR PANIC DEVICES) HEIGHT OF LATCH: 2'-6" MIN./3'-8" MAX. FROM FINISH FLOOR

THRESHOLDS: MAXIMUM HEIGHT 1/2" WITH 45 DEGREE BEVEL

A710 1 1/2" = 1'-0"

PAINTED W/ BLUE

& LETTERS PER

REQUIREMENTS.

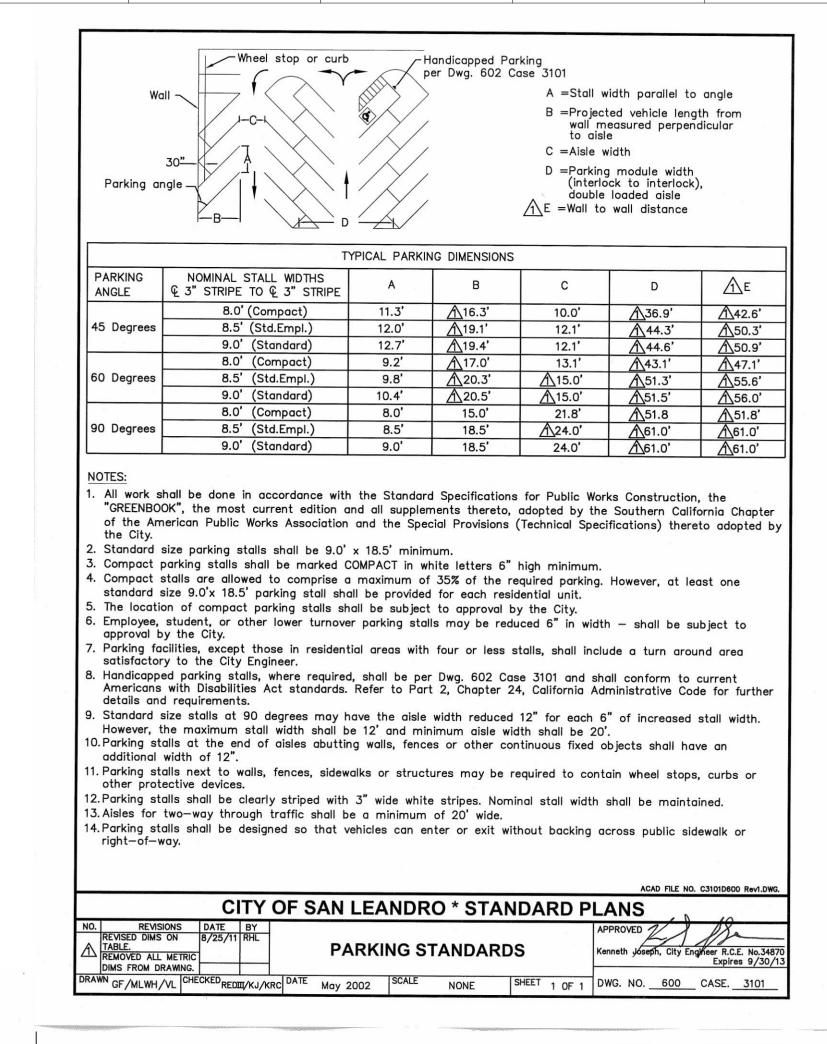
**CENTER** 2125 WILLIAMS STREET, SAN LEANDRO, CALIFORNIA, 94577 COZY NEST ADULT DAY HEALTH CARE, LLC

drawing is to be disclosed to others ADDRESS without written permission from Ha Burt, principal of HB+Architects. SITE DETAILS CLIENT

REN. 7/31/19

ARCHITECT.

HB+A Architects 2811 CASTRO VALLEY BLVD, SUITE 109, CASTRO VALLEY, CA. 94546 hb+a Architects 510-830-4797 OFF



. All work shall be done in accordance with the Standard Specifications for Public Works Construction, the "GREENBOOK",

the most current edition and all supplements thereto, adopted by the Southern California Chapter of the American

2. Concrete shall be 213-C-17 (470-C-2500, 5 sack, one inch maximum aggregate, 2500 psi). Aggregate base (AB)

5. Concrete for curb, gutter, sidewalk and driveway shall contain 0.45kg (one (1) pound) of lampblack per cu. yd. (at

4. Subgrade and Crushed Aggregate Base or Crushed Misc. Base shall be compacted to not less than 90% relative

5. Expansion joints shall be constructed at the EC and BC of curb returns, at each side of driveways and at 20'

compaction, as tested by a City approved lab at contractor's expense, except under Valley Gutter, which shall be

batch plant). 1.8kg (4 pounds) of lampblack to be used in the basket weave sidewalk. Decorative finish see note 20

nominal intervals. 1/4" bituminous impregnated felt, ASTM 994 shall be installed vertically, shall extend through the full

depth and width of the work and be installed perpendicular to the work. Weakened-plane joints, 2" deep for sidewalks,

at each side of curb ramps, mid-points of driveways with curb cuts exceeding 20'-0" and as directed by the City

7. Except as shown Dwg 100, all exposed edges, including at expansion joints and weakened-plane joints, shall be tooled

8. Sidewalk shall be score marked at 30" nominal intervals each way or to match existing score marks. Monolithic curb,

9. All concrete shall be cured by keeping continuously moist for three days after pouring either by sprinkling, covering

10. Extruded curb or gutter requires PRIOR approval by the City Engineer. Extruded sidewalks or driveways are prohibited.

11. For existing AC overlayed gutter, flow line of new concrete gutter shall match existing concrete gutter flow line. Curb

lip at driveways shall be increased to 1/2" higher than AC overlay. AC overlay shall be reinstated to establish flow

with a waterproof membrane, or applying TYPE I concrete curing compound. Decorative finish see note 20

A12. All gutter lips, sidewalk, curb ramp or driveway edges, or curbings constructed adjacent to AC, shall be formed,

6. Exposed surfaces of sidewalk, driveway, curb and gutter shall be steel trowled followed by a medium broom finish.

3" deep for 6" thick driveways, and 4" deep for (8" thick driveways), shall be spaced at 10'-0" nominal intervals, and

Public Works Association and the Special Provisions (Technical Specifications) thereto adopted by the City.

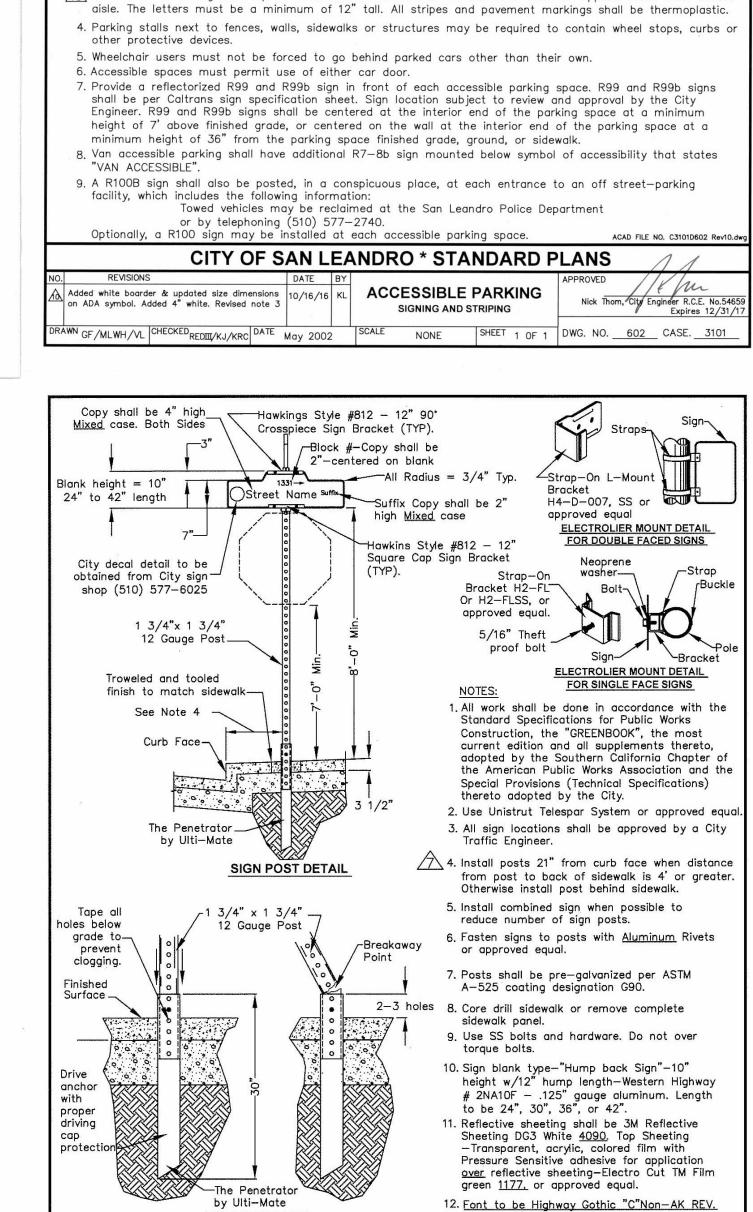
shall be Crushed AB (CAB) or Crushed Miscellaneous Base (CMB).

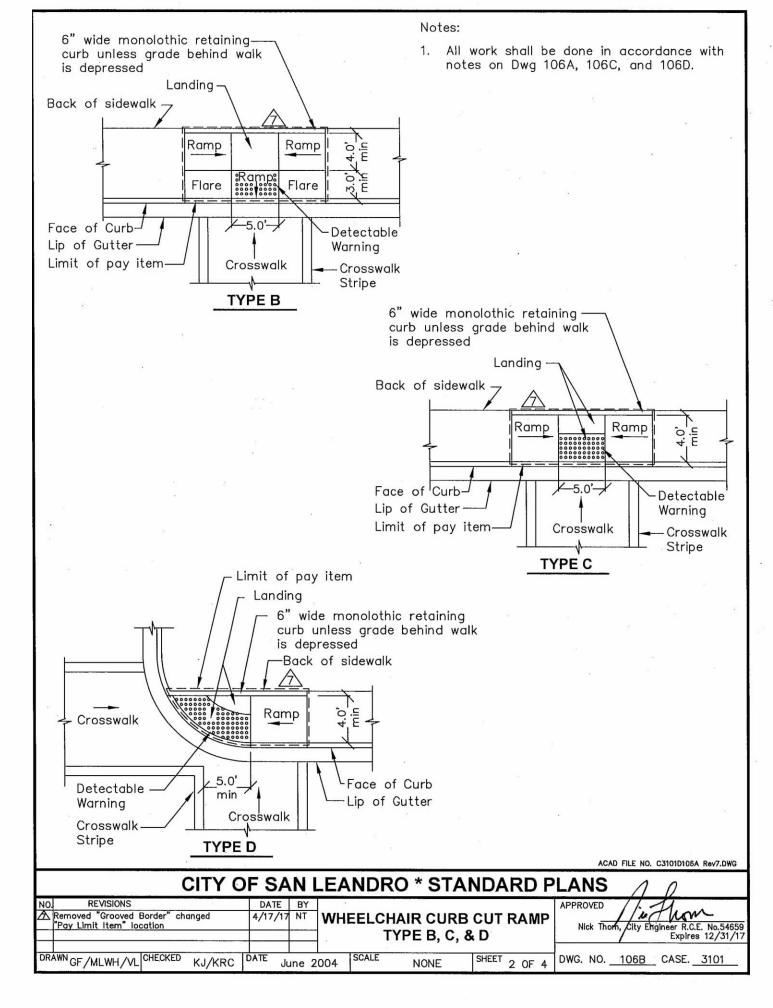
Engineer. All joints shall extend through the curb and gutter.

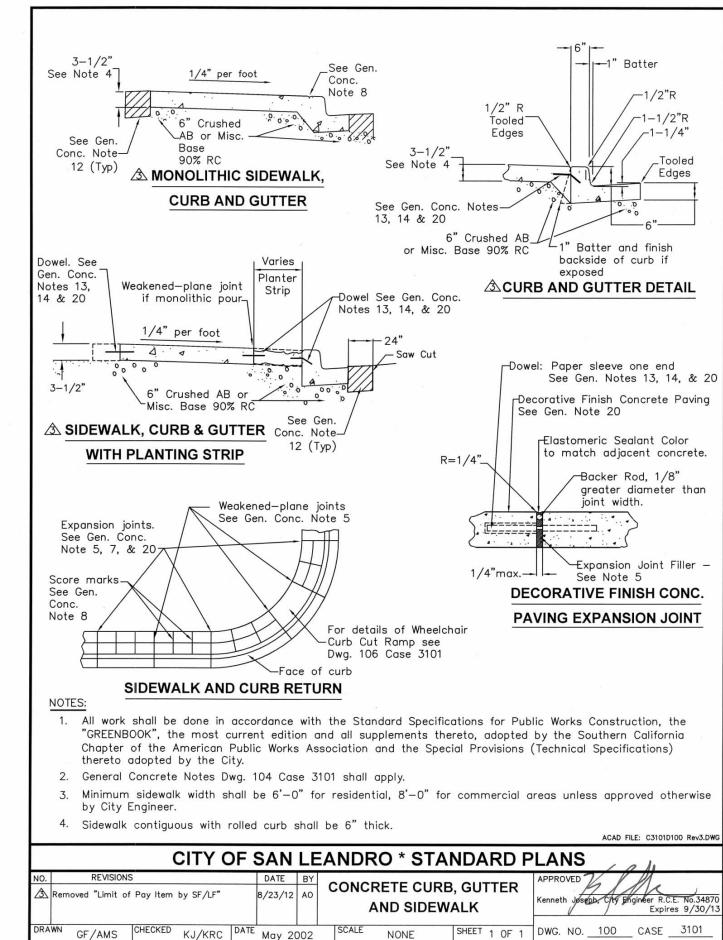
sidewalk and driveway shall have a continuous score mark 6" from curb face.

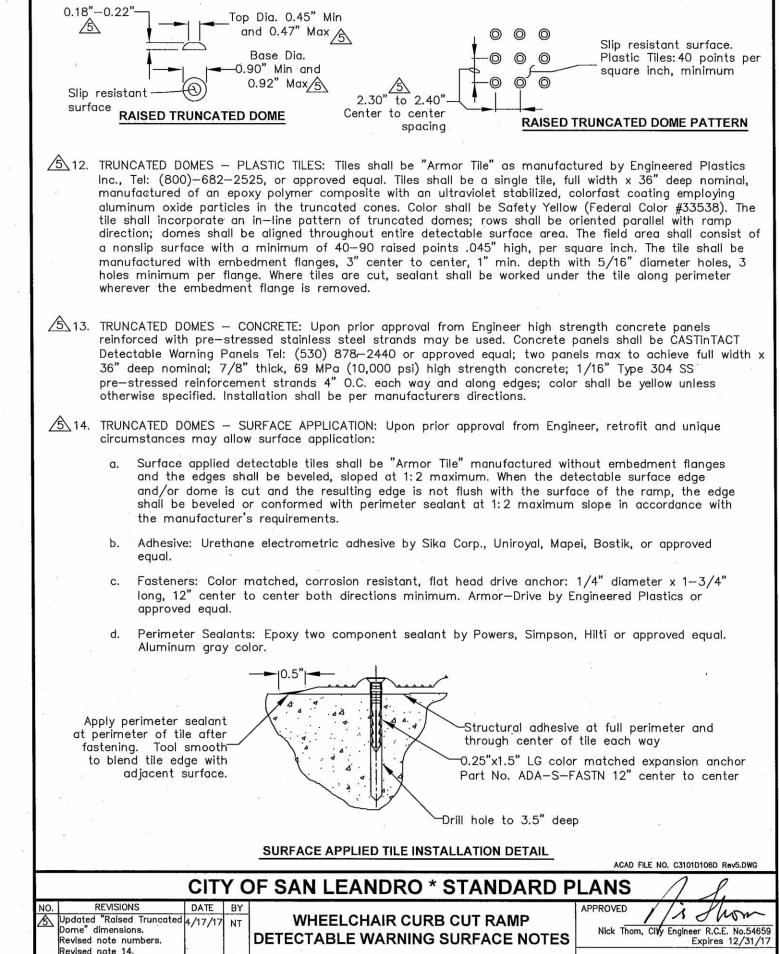
finished and tooled. Install AC pavement tie-in per Dwg 128 Case 3101

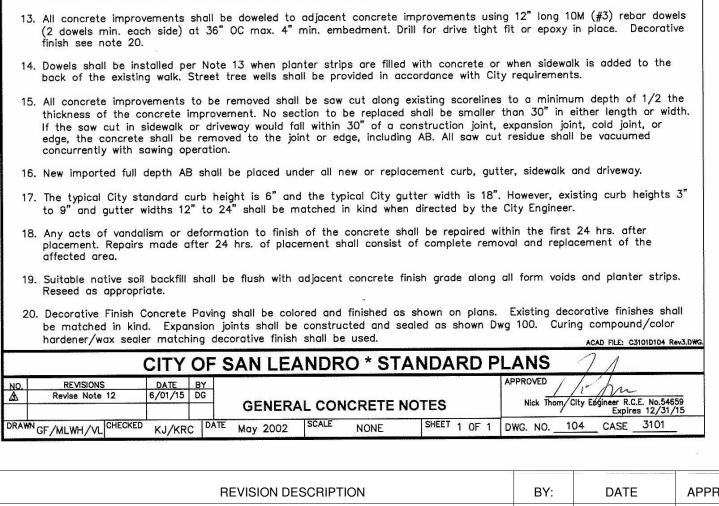
to 1/2" radius. Decorative finish see note 20.













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WN GF/MLWH/VL CHECKED KJ/KRC DATE June 2004 SCALE

NONE SHEET 4 0F 4 DWG. NO. 106D CASE. 3101

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Revised note 4

**FOOTING DETAIL** 

RAWN GF/MLWH/VL CHECKED KJ/KRC DATE May 2002 SCALE NONE

CITY OF SAN LEANDRO \* STANDARD PLANS

SIGN INSTALLATION AND

MOUNTING DETAIL

Curb-cut ramp required when

level than parking elevation.

See drawings 106A,B,C & D

Dwg. 600

ACCESSIBLE".

ccessible route is at different

Multiple spaces-

feet wide minimum and shall be designated as "VAN

One in every eight (8) required accessible spaces, but not less

ACCESSIBLE SPACES

2. Locations and quantity of accessible spaces subject to review and approval by City.

than one, shall be served by a passenger side access aisle 8

Single space and/or VAN ACCESSIBLE -

adopted by the City.

Standard Accessible

lettering

1. All work shall be done in accordance with the Standard Specifications for Public Works Construction, the

"GREENBOOK", the most current edition and all supplements thereto, adopted by the Southern California

Chapter of the American Public Works Association and the Special Provisions (Technical Specifications) thereto

"3. The parking stalls shall be marked with 4" stripes as shown and a white symbol of accessibility logo on a blue

10 3'-9" x 3'-9" background square in each stall. The words "NO PARKING" shall be applied within each access

Sian material

& installation

to be in

accordance

1. White symbol of accessibility logo shall be

Handicap Pavement Marking with ViziGRIP

WHEELCHAIR PAVEMENT LEGEND

6'-8" on private

, property. 7' on

public property.

fence.

May be 36" when

posted on wall or

per Caltrans specifications.

2. Legend shall be Flint Trading, Inc.

PARKING

ONLY

MINIMUM FINE \$250

ACCESSIBLE PARKING

SIGN INSTALLATION

See Notes 7, 8 & 9

"PreMark" Preformed Thermoplastic

336-475-6600 www.flinttrading.com

Parking Sign (R99)

SCALE: DATE HB+A ARCHITECTS **DESIGN BY:** 11/27/2018 DRAWN BY: 1:25:45 AM APPR. BY: APPR. BY:

ACAD FILE, C3101D136 Rev7.DWG

Nick Thorn, City Engineer R.C.E. No.5465

SHEET 1 OF 1 DWG. NO. 136 CASE. 3101

A720

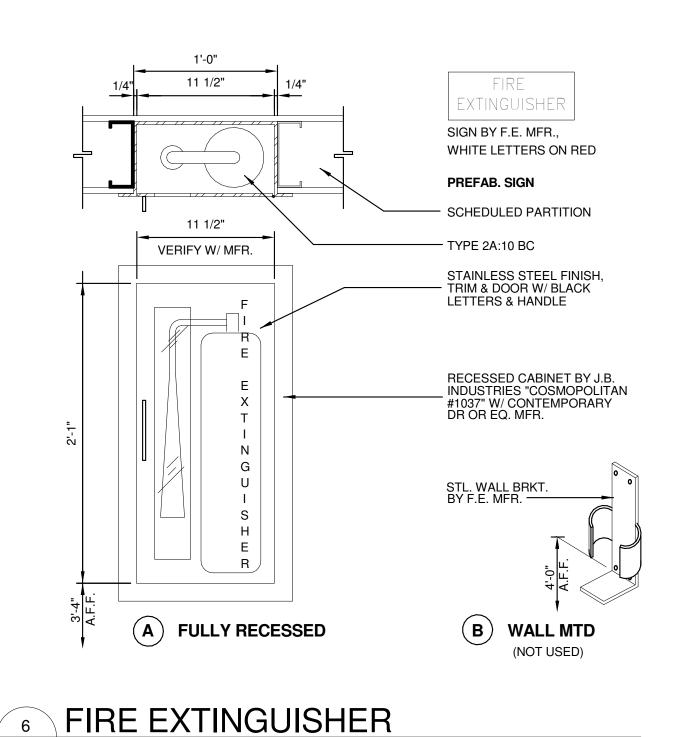
REFERENCE ONLY)

STANDARD SITE DETAILS (FOR

TITLE REVIEW SET FOR TENANT IMPROVEMENT

## **ADULT DAY HEALTH CARE**

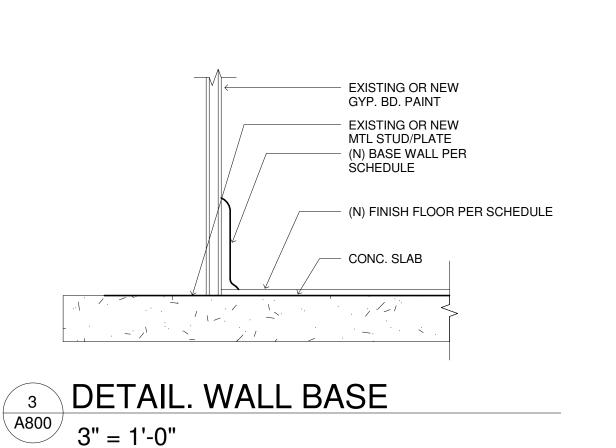
**CENTER** 2125 WILLIAMS STREET, SAN LEANDRO, CALIFORNIA, 94577 COZY NEST ADULT DAY HEALTH CARE, LLC

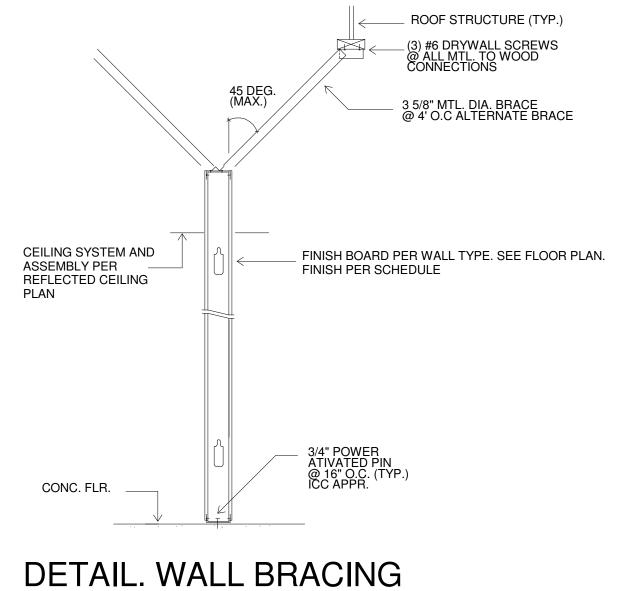


LIGHT GAGE INTERIOR

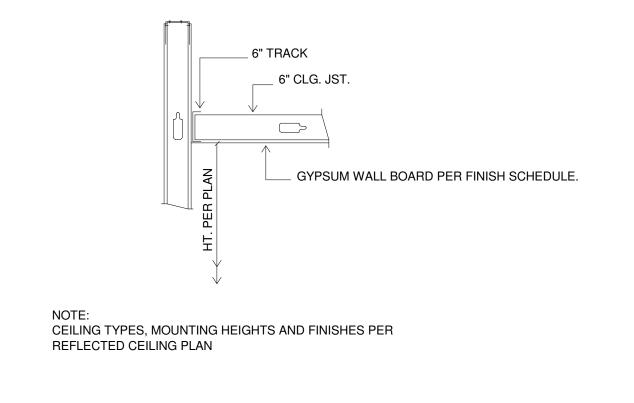
FRAMING TYPICAL DETAILS

1 1/2" = 1'-0"





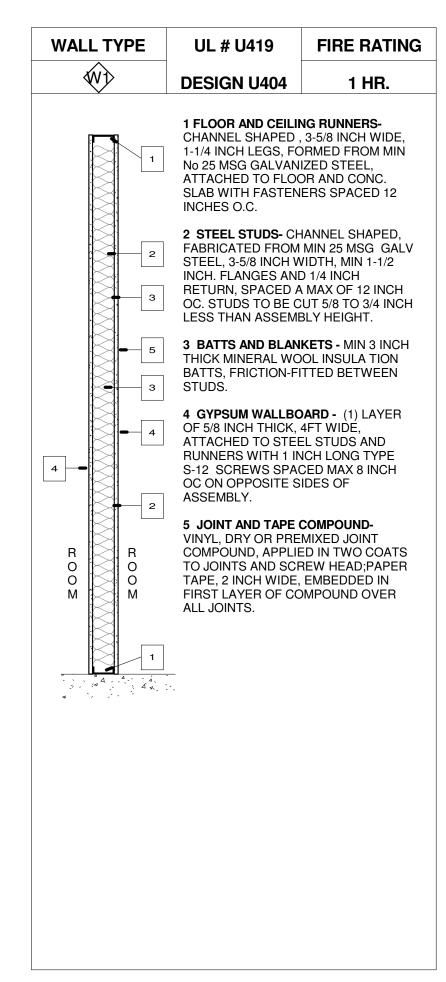
<sup>2</sup> DETAILS



DETAIL. ACT AND GWB MOUNTING

1/4" = 1'-0"

TOP TRACK HEADER TOP TRACK SCREWS AS MEMBERS AS REQUIRED COPE FLANGES TO ALLOW REQUIRED AT EXTENSION OF THE WEB FOR HEADER BEAM AS SECTION OF - METAL STUD CONNECTION TO SUPPORT TRACK REQUIRED BY SECTION OF TRACK USED AS HEADER MEMBER (EACH SIDE) SECTION OF STUD DESIGN SECTION OF STUD EXTEND CLOSURE CRIPPLE CONNECTION TRACK AS REQUIRED CRIPPLE EXTEND CLOSURE FOR SILL STUD HEADER TRACK AS CONNECTION AND BEAM REQUIRED FOR HEAD SILL TRACK JAMB STRENGTH CONNECTION AND JAMB CLOSURE TRACK HEAD TRACK **EXTENDED ABOVE** STRENGTH AND BELOW CRIPPLE STUD OPENING, AS - MULTIPLE MEMBERS AS REQUIRED FOR REQUIRED AT JAMB STRENGTH MULTIPLE SUPPORT MEMBER NOTE For axial loads. FASTENERS AS MEMBERS AS REQUIRED AT EACH REQUIRED AT BOTTOM TRACK MULTIPLE STUDS, SIDE OF JAMB BACK-TO-BACK, AS REQUIRED CLIP ANGLE (ATTACH TO JOIST OR STUD AND BLOCKING TRACK WITH SCREWS, TYP.) STUD RUNNER/T SOLID BLOCKING SOLID RACK BLOCKING SILL TRACK - WELDS, AS MIN. ONE REQUIRED WALL INTERSECTION \_CRIPPLE SCREW CLIP WITH FRAMING EACH STUD SCREWS AT EACH **MECHANICAL** FLANGE WELDED TRACK AS SHOWN **FASTENERS** CONNECTION BOTTOM Load-bearing studs must be seated tight to track web. JOISTS OR RAFTERS STUDS





SED ARO	ARCHITECT.		
C 30584  C 30584  C 30584  C 30584  C 30584  C 30584	HB+A Architects 2811 CASTRO VALLEY BLVD, SUITE 109, CASTRO VALLEY, CA. 94546 510-830-4797 OFF	hb+a	Architects

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	PERMIT SET		NOV-26-2018		

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	Burt, principal of HB+Architects.	Al

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DRAWN BY:	MC	11/27/2018 1:25:47 AM
APPR. BY:		
APPR. BY:		

<b>A800</b>
WALL TYPES, CEILING DETAILS,

MOUNTING DETAILS | CLIENT

TITLE REVIEW SET FOR TENANT IMPROVEMENT ADULT DAY HEALTH CARE

**CENTER** 

2125 WILLIAMS STREET, SAN LEANDRO, CALIFORNIA, 94577 COZY NEST ADULT DAY HEALTH CARE, LLC