

Detterman, Mark, Env. Health

From: Coleman, Heather <HColeman@sanleandro.org>
Sent: Wednesday, November 28, 2018 12:30 PM
To: Mogensen, Andrew; Stella, Michael; Chen, Reh-Lin; Richardson, Tonya; Barros, Sally; Benabou, Isaac; Braun, Melanie; Miraftab, Matin; Jenson, Justin; Fluehr, Yvonne
Cc: Detterman, Mark, Env. Health; Khatri, Paresh, Env. Health
Subject: RE: PLN18-0080 AR Cozy Nest Adult Day Care Transmittal - 2125 Williams St
Attachments: PLN18-0080 Submittal 2 Internal Dist Pkg 11.28.18.pdf

I am sending a revised set of plans that we just received for PLN18-0080, the Administrative Review application to create an adult day care at 2125 Williams Street. In the consolidated .pdf document attached to this email, I'm also including the Planning Division's incompleteness letter dated 11/15 and a letter from Alameda County Department of Environmental Health about the need for vapor testing.

I'll be routing hard copies of the revised plan set to Building (Melanie), Engineering (Michael Stella), and Fire (Yvonne). If anyone else needs a hard copy, please let me know. (The applicant only provided us four large hard-copy revised sets, but I can ask them for more.)

Because of the City closure over the winter holiday and our 30-day completeness review timeframe, I'm asking for comments by 12/12, just two weeks from today.

Thanks!

Heather

Heather Coleman, Planner I
(510) 577-3325 main | (510) 577-3387 direct
My hours: Mon. 8a – 5p, Tues. 8a – 5p, Weds. 8a – 12p
For general zoning information, please call (510) 577-3325 or email planner@sanleandro.org.

City of San Leandro
Planning Services, Community Development Department
835 East 14th Street, San Leandro, CA 94577
www.sanleandro.org | [Zoning](#) | [Projects](#)

From: Mogensen, Andrew
Sent: Wednesday, October 17, 2018 2:31 PM
To: Stella, Michael <MStella@sanleandro.org>; Chen, Reh-Lin <RChen@sanleandro.org>; Richardson, Tonya <TRichardson@sanleandro.org>; Barros, Sally <SBarros@sanleandro.org>; Benabou, Isaac <IBenabou@sanleandro.org>; Snodgrass, Robert <Robert.Snodgrass@acgov.org>; Terra, Bonnie <bonnie.terra@acgov.org>; Snodgrass, Robert <rsnodgrass@sanleandro.org>; Braun, Melanie <MelanieBraun@sanleandro.org>; Miraftab, Matin <MMiraftab@sanleandro.org>; Treece, Tiffany <TTreece@sanleandro.org>; Jenson, Justin <JJenson@sanleandro.org>

Cc: Coleman, Heather <HColeman@sanleandro.org>

Subject: PLN18-0080 AR Cozy Nest Adult Day Care Transmittal - 2125 Williams St

Good Afternoon,

Attached with this email is a transmittal of an Administrative Review Permit for the proposed Cozy Nest Adult Day Care at 2125 Williams Street. If you have any comments, please respond to Heather Coleman, Planner I, no later than November 6, 2018. If no comments are received it is assumed there are none. Please be aware that Heather is part time and only in the office on Monday, Tuesday and Wednesday mornings.

Certain departments will receive a paper copy of the attached plans following this email transmittal.

Thank You,

Andrew J. Mogensen, AICP
Planning Manager



City of San Leandro
Community Development Department
835 East 14th Street, San Leandro, CA 94577
(510) 577-3325 Main | (510) 577-3458 Direct | (510) 577-6007 Fax
www.sanleandro.org | www.qcode.us/codes/sanleandro-zoning/



Submittal #2
2125 Williams St. | Cozy Nest Adult Day Care
COMMENTS DUE Wednesday, December 12, 2018
DISTRIBUTION SHEET INTERDEPARTMENTAL DEVELOPMENT REVIEW

PROJECT **PLN18-0080**

DATE **Wednesday, November 28, 2018**

TO **Michael Stella, Land Engineering
(No Associate Engineer Selected)**
 Reh-Lin Chen, Transportation Engineering
 Tonya Richardson, Public Works
 Sally Barros, Sustainability Manager (PDF set)
 Lt. Isaac Benabou, Police Department

Alameda County Fire Department
 Melanie Braun, Building
 Matin Miraftab, Building Engineer
 Maryann Sargent, Housing
 Tiffany Treece, Environmental
 Justin Jenson, Water Pollution Control

PLANNER **Heather Coleman, 510-577-3387, hcoleman@sanleandro.org**

FEE \$3,055.00 **Fixed Fee** **Direct Cost**

ZONING: IG LOT SIZE: 364,324sf

ADDRESS 2125 Williams St.

APN #: 077A-0645-005-01

- | | | |
|--|--|---|
| <input type="checkbox"/> Accessory Dwelling Unit (ADU) | <input type="checkbox"/> Major Site Plan Review (MaSPR) | <input type="checkbox"/> Planned Development (PD) |
| <input type="checkbox"/> Administrative Exception (AE) | <input type="checkbox"/> Minor Site Plan Review (MiSPR) | <input type="checkbox"/> Site Plan Review (SPR) |
| <input checked="" type="checkbox"/> Administrative Review (AR) | <input type="checkbox"/> Major View Preservation (MaVP) | <input type="checkbox"/> Temporary Use Permit (TUP) |
| <input type="checkbox"/> Conditional Use Permit (CUP) | <input type="checkbox"/> Outdoor Facilities Permit (OFP) | <input type="checkbox"/> Tentative Map (TM) |
| <input type="checkbox"/> Fence Modification (FM) | <input type="checkbox"/> Parking Exception (PE) | <input type="checkbox"/> Other: |

Owner Randy Jones, 2010 Williams Associates LLC.
Address 2228 Livingston St. Oakland CA 94606

Phone 510-261-5500 x104
Email randy@jonesdevelopers.com

Applicant Hanh Giang, Cozy Nest ADHC Inc.
Address 2638 Ranier Ct., Union City CA 94587

Phone 408-300-2367
Email Cozynest.adhc@yahoo.com

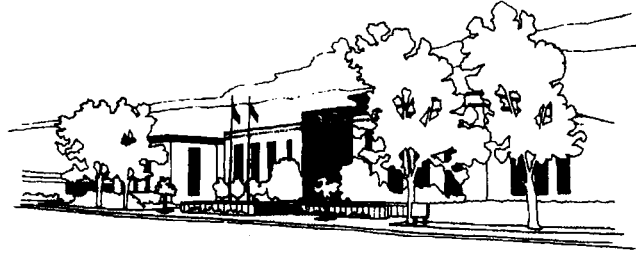
Please respond with Comments or Formal Conditions of Approval through [Accela](#) or by email by **12/12/2018.**

Project Description:

Administrative Review permit application or an adult day care facility at 2125 Williams Street.

City of San Leandro

Civic Center, 835 E. 14th Street
San Leandro, California 94577
www.sanleandro.org



November 15, 2018

[Emailed to cozynest.adhc@yahoo.com on 11/15/2018]

Hanh Giang
2638 Rainier Court
Union City, CA 94587

SUBJECT: INCOMPLETE LETTER 1: PLN18-0080, Administrative Review for an Adult Day Care at 2125 Williams Street, San Leandro, CA (APN 077A-0645-005-01)

Dear Hanh Giang,

In accordance with California Government Code Section 65943 and the San Leandro Zoning Code, this letter serves as notification that your application submitted on **October 17, 2018** has been determined by this office to be **incomplete**. The following corrections and information are necessary to continue an evaluation of your Administrative Review application.

PLANNING: HEATHER COLEMAN, 510-577-3387, HCOLEMAN@SANLEANDRO.ORG

1. **Elevation Drawings.** Provide existing and proposed elevation drawings. (See the information sheet and submittal checklist for Administrative Review attached to this letter. Elevation drawings are typically required.) If certain elevations of the building will have no exterior changes, you may substitute photographs for elevation drawings of those sides of the building.

RESPONSE	

2. Description of Operations.

- a. Explain the number of clients, staff, and other people who will be at the site at different times throughout the day, including at the peak period of operations.
- b. Clearly state the proposed hours of operation of the daycare center. The "Transportation Operations" sheet submitted with the application describes the times when participants are picked up and dropped off, but it's not clear what the hours of the center will be.
- c. Describe the amount of time that individual participants will spend at the site.
- d. Identify if buses/vans will be parked at the site when not in use.
- e. On the "Transportation Operations" sheet, please clarify whether all clients will be transported by the buses/vans or whether some will be transported to the day care center by other parties such as family members/caregivers.

Pauline Russo Cutter, Mayor

City Council:

Pete Ballew

Deborah Cox

Ed Hernandez

Benny Lee

Corina N. López

Lee Thomas



RESPONSE	
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3. **Parking Requirements and Parking Demand.** The table on Sheet A090 (“Existing Site Plan/Parcel Plan”) has a calculation of parking required by the San Leandro Zoning Code. Thank you for providing this break-down of required parking by land use category. Please clarify the following items:
- a. Rectify the number of parking spaces required for existing tenants between Sheet A090 and the letter submitted by Jones Development Company.
 - b. You have calculated required parking for the building at 2101 Williams St. based on the land use classification “Offices, Business and Professional.” However, the correct land use classification for the adult day care facility you are proposing is “Day Care, General,” for which the parking requirement is one parking space per six children. Although the requirement is stated in terms of “children,” and the facility is proposed to serve adults, the parking ratio is intended to be applied in terms of clients. Please include a calculation of the required parking based on the number of clients.
 - c. If you are not able to accommodate the parking spaces required by Zoning Code Section 4-1704, Off-Street Parking and Loading Spaces Required, on the site but believe that your operation has lower parking demand characteristics, you could apply for a Conditional Use Permit pursuant to Section 4-1706, Collective Provision of Parking, or Section 4-1707, Reduced Parking for Other Uses.

RESPONSE	
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4. **Environmental Health Data.** As described in the attached letter from the Alameda County Department of Environmental Health (ACDEH), ACDEH requests that you conduct a study of PCE vapor concentrations in indoor air and subslab vapors at the building in order to see if vapor mitigation is warranted. Please undertake such an investigation with ACDEH oversight using appropriate standards to ACDEH’s satisfaction and inform the City of San Leandro Planning Services Division when the investigation is complete.

RESPONSE	
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ENGINEERING LAND USE: VIBHA DESHMUKH, 510-577-3411, VDESHMUKH@SANLEANDRO.ORG

Recommended Conditions of Approval

The Engineering and Transportation Department recommends the following conditions of approval for the project. (Note that most of these conditions will need to be met before approval of a building permit, not before the Administrative Review application can be considered complete.)

1. Pursuant to Government Code Section 66020, including Section 66020 (d) (1), the City HEREBY NOTIFIES the applicant for this Project that the 90-day approval period (in which the applicant may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) will begin on the date of the conditional approval of this Project. If the applicant fails to file a protest within this 90-day period, complying with all of the requirements of Government Code Section 66020, the applicant will be legally barred from later challenging any such fees, dedications, reservations or other exactions.
2. The proposed development shall comply with City ordinances, policies and regulations. All improvements shall be in accordance with the City's Design Standards, Specifications and Standard Plans unless otherwise specifically approved by the Principal Engineer.
3. Building Permit Plans shall include the following notes:
 - a. The applicant shall obtain an Encroachment Permit from the Engineering and Transportation Department for any work within the public right-of-way including the use of lifting equipment or the staging of materials. Barricades, traffic cones, and/or caution ribbon shall be positioned around any equipment or materials within the right-of-way to provide a barrier to public access and assure public safety. Any damage to the right-of-way improvements must be promptly repaired by the applicant according to City adopted standards.
 - b. Driveway and sidewalk construction shall be in compliance with the City of San Leandro Standard plans Dwg. No. 102, case 3101 and Dwg. No. 100, case 3101.
 - c. The applicant shall comply with the following high standards for sanitation during construction of improvements: garbage cans, construction dumpsters, and debris piles shall be removed on a minimum weekly basis. All food related trash items such as wrappers, cans, bottles, and food scraps shall be disposed of in closed containers only and shall be regularly removed from the site. Inspections, conducted as part of the regular construction compliance, will be conducted to ensure compliance of the Applicant and contractors with this requirement.
 - d. The applicant shall implement construction best management practices during construction to control erosion, keep sediment from leaving the project site and prevent storm water pollution. The applicant shall protect existing storm drain inlets and conveyances within the project area to prevent sediment from construction activities entering the storm drain system.

Impact Fees

The following information is advisory. Please note that these are estimated amounts. These fees are subject to change at the start of each fiscal year and will not be vested until issuance of building permit.

4. A Development Fee for Street Improvements (DFSI) shall be assessed for the proposed "Personal Care" land use approximately in the amount of \$17,205 which is calculated at \$2.39 per gross square foot area of the building and credit is considered for the existing "General Industrial" use which is calculated at \$1.28 per gross square foot area of the building. This fee shall be paid prior to issuance of the building permit. These fees are subject to change each fiscal year and shall not be vested until issuance of building permit.
5. Marina Boulevard/Interstate I-880 Interchange Traffic Impact Fee shall be assessed for the proposed "Personal Care" land use approximately in the amount of \$23,405 which is calculated at \$2.45 per gross square foot area of the building and credit is considered for the existing "General Industrial" use which is calculated at \$0.94 per gross square area foot of the building. This fee shall be paid prior to issuance of the building permit. These fees are subject to change each fiscal year and shall not be vested until issuance of building permit.

6. Davis Street/Doolittle Drive Intersection Traffic Impact Fee for Zone 8 shall be assessed for the proposed "Personal Care" land use approximately in the amount of \$5,735 which is calculated at \$0.75 per gross square foot area of the building and credit is considered for the existing "General Industrial" use which is calculated at \$0.38 per gross square foot area of the building. This fee shall be paid prior to issuance of the building permit. These fees are subject to change each fiscal year and shall not be vested until issuance of building permit.

BUILDING: MELANIE BRAUN, 510-577-3420, MELANIEBRAUN@SANLEANDRO.ORG

Please note that these comments and conditions do not constitute a complete building plan review. A formal plan check review will be completed at time of building permit submittal to the Building Division.

The following items requested by the Building and Safety Division need to be submitted in order to continue review of the Administrative Review application:

7. Clarify if shuttles will be stored on site after hours.

RESPONSE	
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8. Clarify if medication will be dispensed on site.

RESPONSE	
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9. Clarify if memory care patients will be part of the program.

RESPONSE	
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The following items requested by the Building and Safety Division are simply advisory for the preparation of a future building permit application:

- 10. MEP must be included at time of building submittal.
- 11. Title 24 will be required.
- 12. Construction and demolition per CalGreen will be required.
- 13. ADA restroom, parking and path of travel details, must be include at time of building submittal.

FIRE DEPARTMENT: YVONNE FLUEHR, 510-632-3473X1160, YVONNE.FLUEHR@ACGOV.ORG

Please note that these comments and conditions do not constitute a complete fire and building code review. A formal plan check review will be completed at time of building permit submittal. The building will need to comply with all building and fire code requirements in affect at time of building permit submittal.

14. On the plans please clarify the address of the project. The plans show the address as 2101 Williams Street. The Planning routing sheet shows the address as 2125 Williams Street.

RESPONSE	
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15. On the plans please clarify if the building is provided with a fire sprinkler system. As per section 903.2.6 of the 2016 California Fire Code, an automatic sprinkler system shall be provided throughout buildings with a Group I fire area.

RESPONSE	
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16. As per Section 907.2.6 of the 2016 California Fire Code, a manual fire alarm system that activates the occupant notification system is required.

RESPONSE	
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17. On sheet A000, provide a deferred approval heading for fire alarm, fire sprinklers, fire service underground as these will require separate submittals, permits, plan reviews, inspections and fees.

RESPONSE	
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18. On sheet A300 there is a note stating: Smoke Detector- all rooms to be provided with smoke detectors UL Listed. Provide the code section requiring the smoke detectors.

RESPONSE	
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19. On sheet A310 provide an exit analysis clearly showing how egress is achieved for all occupants. Show the number of occupants for each exit. Clearly show how the assembly exiting meets the requirements of Section 1029.2 of the 2016 California Building Code.

RESPONSE	
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RESUBMITTAL - NEXT STEPS

Following revisions per the comments noted in this letter, please submit the following in order for Staff to continue processing your application:

- Hard-copy Plan Set:** 4 full sized (24"x36") and 1 reduced sized (11"x17") plan set.
- Digital Copy:** A digital PDF of the plan set and response letter on a flash drive, CD, or via email.
- Comment Responses:** Please enter responses in the boxes provided; attach additional sheets if necessary. Detail how and where each comment in this letter has been addressed.

If you have any questions or need more information, I may be reached directly at **(510) 577-3387** or **hcoleman@sanleandro.org**. You may also contact each Department directly for specific questions related to their comments.

Sincerely,



Heather Coleman, Planner I
Community Development Department

CC: Hafsa Burt, HB+A Architects

Attachments:

- A. Administrative Review and Exception Info Sheet
- B. Letter from Alameda County Department of Environmental Health

ALAMEDA COUNTY
HEALTH CARE SERVICES
AGENCY

COLLEEN CHAWLA, Director



DEPARTMENT OF ENVIRONMENTAL HEALTH
LOCAL OVERSIGHT PROGRAM (LOP)
For Hazardous Materials Releases
1131 HARBOR BAY PARKWAY, SUITE 250
ALAMEDA, CA 94502
(510) 567-6700
FAX (510) 337-9335

November 9, 2018

Mr. Andrew Mogensen
San Leandro Community Development Dept.
835 East 14th Street
San Leandro, CA 94577
(Sent via electronic mail to:
AMogensen@sanleandro.org)

Ms. Heather Coleman
San Leandro Community Development Dept.
835 East 14th Street
San Leandro, CA 94577
(Sent via electronic mail to:
HColeman@sanleandro.org)

Subject: Potential Occupation of 2125 Williams Street by Cozy Nest Adult Day Health Care; SLIC Case RO0002468 and Geotracker Global ID T06019771096, James River Corporation, 2101 Williams Street, San Leandro, CA 94577

Dear Mr. Mogensen and Ms. Coleman:

The Alameda County Department of Environmental Health (ACDEH) is actively overseeing the investigation of a portion of a large regional tetrachlorethene (PCE) groundwater plume on the parcel associated with the address. The building the subject of this redevelopment has not been assessed for the risk of vapor intrusion to indoor air yet; however, based on existing data there is a potential for the intrusion of subsurface PCE vapors into the interior air space. The adjacent building to the south has been assessed for the risk of vapor intrusions from PCE, and concentrations in indoor air at that building are above the Environmental Screening Levels (ESLs) for PCE for a commercial facility.

Because this appears to be a regional PCE plume and the property owner does not have control of the source of the contamination which remains at an unknown location further upgradient, the building to the south is currently installing a vapor barrier to prevent PCE vapor intrusion in portions of the building (and potentially eventually the whole building). The current work is being prioritized to allow a new tenant to occupy a portion of that building. Redevelopment of a building is an ideal time to address potential vapor intrusion. Similar actions may be warranted at the adult care facility. This would require investigation of PCE vapor concentrations in indoor air, and in subslab vapors, at the building to see if vapor mitigation is warranted. This has not been done.

As was discussed in the meeting at City Hall on October 30, 2018, current data can suggest that PCE vapor concentrations may decrease towards the north; however, this has not been demonstrated by the collection of data for the building to the north that is the subject of this letter.

If an investigation, and potentially vapor mitigation, is undertaken with ACDEH oversight, ACDEH would generally not object to the occupation of the building by an adult care facility. It is the understanding of ACDEH that services for approximately 4 hours have been proposed, and as such ACDEH would regard it commercial use of a space. If however, longer stays are contemplated in the future, a residential use scenario may be more appropriate. For chemical risk exposure analysis, this difference can make a potentially substantial difference in the concentration levels that are generally considered acceptable at a site.

ACDEH works with redevelopment situations in many communities in the East Bay places, and expedites work responses, with the intent of meeting redevelopment schedules. However, until an investigation or mitigation is undertaken, ACDEH does have a concern for potential unassessed health risks associated with PCE vapor contamination in indoor air at the subject building.

Should you have any questions, please contact me at (510) 567-6876 or send me an electronic mail message at mark.detterman@acgov.org.

Sincerely,

Mark E. Detterman, PG 4799, CEG 1788
Senior Geologist
Senior Hazardous Materials Specialist

Mr. Mogensen and Ms. Coleman
RO0002468
November 9, 2018, Page 2

cc: Ms. Carey Andre, 2101 Williams Associates LLC, 2228 Livingston Street, Oakland, CA 94606
(Sent via electronic mail to: carey@jonesdevelopers.com)

Tom Graff, GrafCon, P.O. Box 1105, Tiburon, CA 94920, (Sent via electronic mail to: Tom@grafcon.us)

Dilan Roe, ACDEH, (Sent via electronic mail to: dilan.roe@acgov.org)

Paresh Khatri, ACDEH; (Sent via electronic mail to: paresh.khatri@acgov.org)

Mark Detterman, ACDEH, (Sent via electronic mail to: mark.detterman@acgov.org)

Electronic File; GeoTracker

hb+a Architects

November 26, 2018

City of San Leandro
Civic Center, 835 E. 14th Street
San Leandro, CA. 94577

File No:

Agency App No.

Address: 2125 Williams Street, San Leandro, CA.

Department: **Planning Department**

Reviewer: **Heather Coleman**

Plan Check Date: **11/15/18**

Plan Check Response Comment No.

Planning Comments:

1. **Elevation Drawings.** There is NO change to Existing elevations for the proposed use. Existing Elevations have been added to Sheet A311. We are only adding a fence around the patio in the rear to create an outdoor gathering space for the seniors and that change has been clearly reflected in the floor plans and elevations.
2. **Description of Operations.** ADHC's explanation of their Operations is included here along with this Response.
3. **Parking Requirements and Parking Demand.**
 - a. Calculation on A090 has been updated to reflect the information provided by the Property owner.
 - b. Calculation has been updated to reflect 1 space / 6 occupants, with 545 occupants we are required to provide 91 parking spaces.
 - c. Please see response above.
4. **Environmental Health Data.** According to the property owner the vapor study has been ordered. The environmental company will be drilling into the floor and monitoring any vapors that may arise. Once a testing date is scheduled the study will take 2 weeks. The property

owner is willing to work with the study once the results are known and to provide all necessary remediation per the City's recommendations.

Engineering Comments:

The Conditions for Approval have been relayed to the Building tenant and included on the plans, The tenants have been notified that they're General Contractor will have to comply with 3(a), 3(c), 3(d). And the tenant will need to engage a Civil Engineer to provide responses to 3(b). The tenants are aware of all Impact Fees as noted under Engineering Comments.

Building Comments:

7. Yes. All Shuttles will be stored on site after hours (All vehicles will be installed with security alarms & motion sensors, and we will install onsite security cameras)
8. No. medication will not be dispensed on site. Most of the participants will take medication at home. If some participants take it at center, then our onsite registered nurses will monitor them while taking and will remind them to put the medication in their bags to bring home.
9. Yes. Memory care patients will be part of the program.
10. The project involves no upgrades to the existing mechanical systems. There is minor work involved upgrading the lighting, controls and outlets where new walls are being proposed. MEP will be design-build given the minor nature of the scope.
11. Noted.
12. Noted
13. Please refer to Sheet A310, a clear Path of Travel has been included.

Fire Comments:

14. Correct address is 2125 William Street, as noted on the Cover Sheet.
15. The Building is fully Sprinklered, note has been revised on the Cover Sheet.
16. The building has Fire alarm system.
17. Note has been revised on the Cover Sheet, the building is fully sprinklered and has fully functioning Fire alarm system.
18. Floor Plans have been updated.
19. Exit analysis has been clearly shown on Sheet A310.

Please feel free to contact me at **510 – 830 -4797**, any time, if you have any questions or comments. Thank you,

Regards,
Hafsa Burt, AIA

Description of Services

November 26, 2018
City of San Leandro
Civic Center, 835 E. 14th Street
San Leandro, CA. 94577

Cozy Nest ADHC

Reviewer: Administrator Hanh Giang
Address: 2125 Williams Street, San Leandro, CA

Department: Planning Department

Plan Check Date: **11/15/18**

Plan Check Comment No. Response

Planning Comments:

2. Description Operation:

- a. 200 participants will be at the center daily from Monday-Friday during operation hours from 8:30AM-2:30PM. Staff will stay at the center daily from Monday-Friday from 8:30AM-4:30PM. After 4:30PM, no one will be at the center.
- b. Operation hours of the Adult Day Health Care center are from Monday-Friday 8:30AM-2:30PM.
- c. Generally, individual participant will spend 4 hours daily at the site.
- d. Buses/vans will be parked at the site parking lot when not in use.
- e. 85% participants will be transported by our center buses/vans, 10% participants will be transported by their family members/caregivers. 5% are from outreach vehicles.

3. b.

- In addition, participants' caregivers and outreach's drop-off time and pick-up time are very quick, less than 5 minutes because they only take them to the center front desk. Our scheduled vehicle attendants will assist participants to their seats. Their drop-off time is only from 8:30AM-9:45AM. Pick-up time is from 1:00PM-2:30PM.
- As a result, our center surely has sufficient parking spaces to everyone. Plus, our peak period of transportation operations are only from: 8:30AM-9:30AM (1hour) and 1:00PM-2:30PM (1hour&30minutes).

19. Center will conduct Fire Drill every 3 months with participants and all employees.

PROCEDURE OF FIRE DRILL

1. Sound the building's alarm to alert all individuals to evacuate.
2. Employees help to evacuate all individuals through all the exits from the building.
3. Gather around the pre-arranged meeting place: **Front Parking Lot**
4. All individuals will be accounted for with "Head Count" per
 - a. Participant Log
 - b. Visitor Log
 - c. Employee List
5. After head counting all individuals are present at the parking lot, then return to the building.

❖ **Create Assignment List To Employees For Duties Of Evacuation Coordination:**

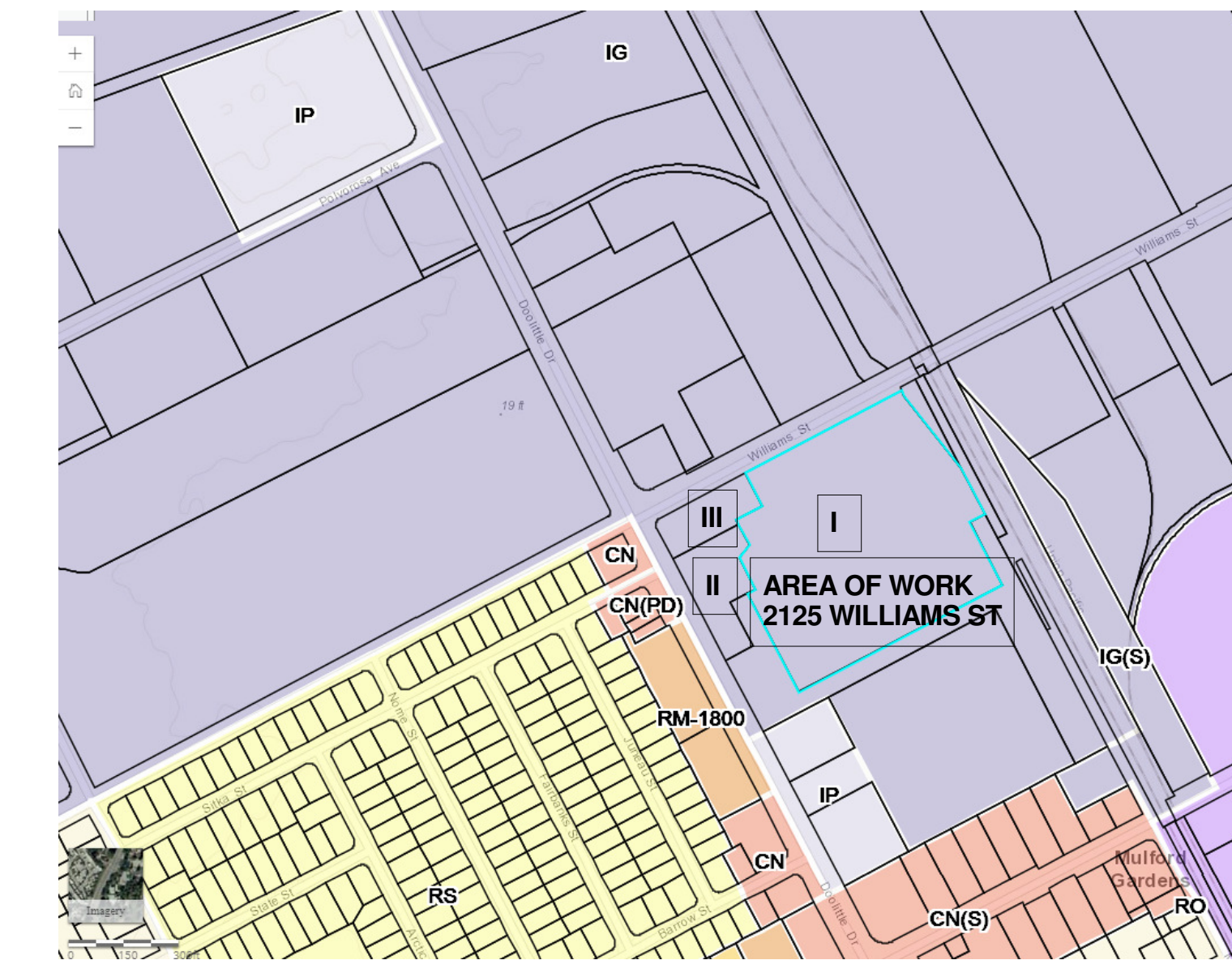
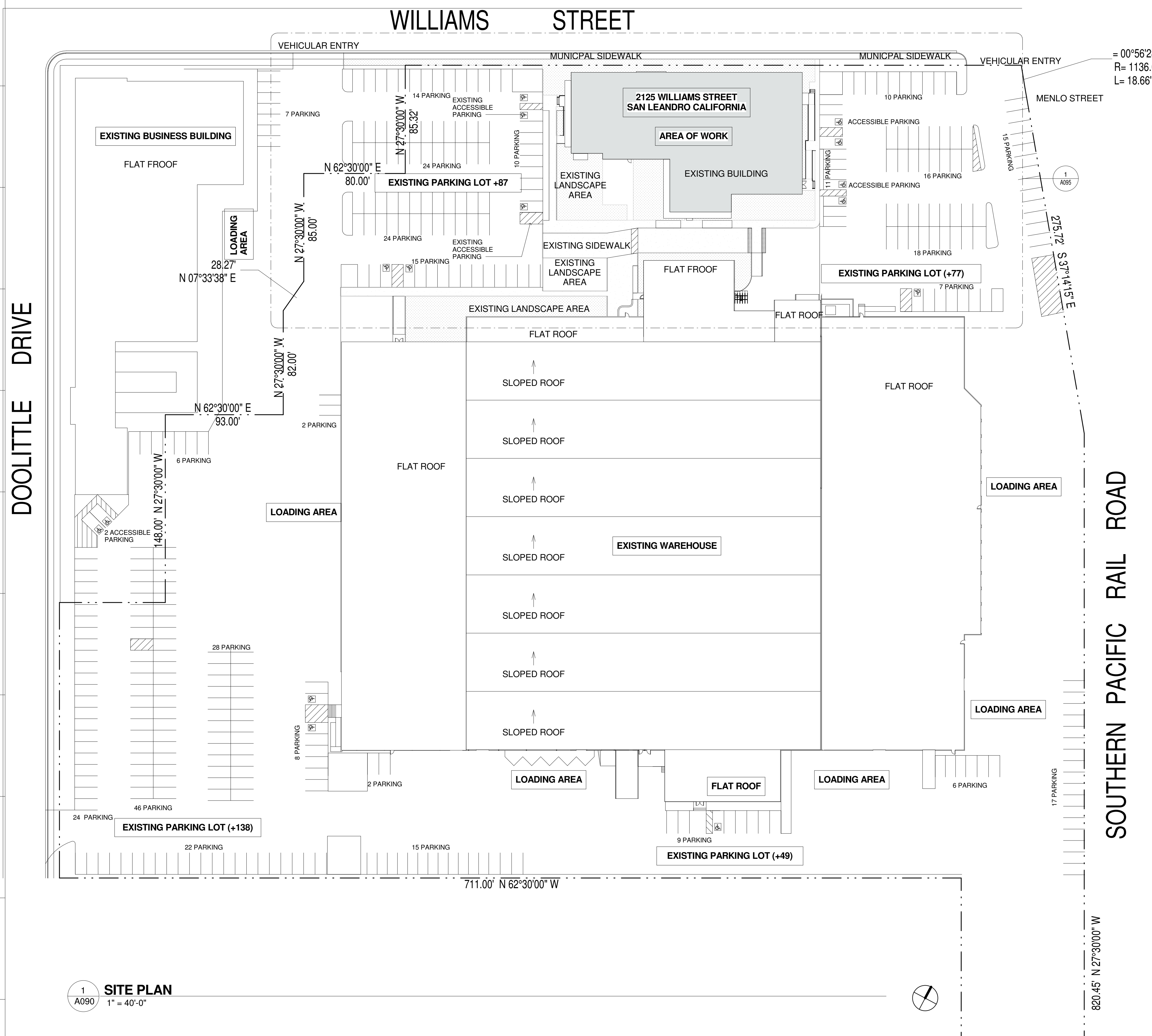
Clearly assign individual evacuation coordinator to be responsible for which participants during the fire drill, such as assisting participants who have poor vision, mobility impairment or memory impairment to evacuate in a timely manner. Also, designated evacuation coordinators will be responsible for making certain that all individuals within their assigned area have evacuated from the building. The coordinators should personally check their assigned area/room to ensure that all individuals have left and each door is closed after exit.

✚ **Remarks:**

- The front desk will make the initial call for help via phone
- Nurses will be in charge of First Aid equipment and First Aid Responders
- All roll call records should be consolidated by Fire Drill Master
- Fire Drill Master: Office Manager.

❖ **Procedure and remarks for designated Evacuation Coordinator during the fire drill as following:**

1. Ensure and confirm that individuals in your assigned area are all evacuated from the building
2. Guide all these individuals to the summit point
3. Conduct roll call
4. Submit the **roll call record** and **head count** to Fire Drill Master
5. Guide all individuals back to the building



PARCEL I	AREA OF WORK
Address 2125 WILLIAMS ST	
APN 77A-645-5-1	
Lot Size 364,324 sq ft	
Zoning IG	
Zoning Description Industrial General	
PARCEL II	AREA OF WORK
Address 2199 WILLIAMS ST	
APN 77A-645-6-2	
Lot Size 45,623 sq ft	
Zoning IG	
Zoning Description Industrial General	
PARCEL III	AREA OF WORK
Address 2199 WILLIAMS ST	
APN 77A-645-5-2	
Lot Size 24,667 sq ft	
Zoning IG	
Zoning Description Industrial General	

ZONING MAP

	TOTAL SF	OFFICE	1/300	WAREHOUSE	1/1000	MANUFACTURING	1/500	TOTAL PARKING
		Offices, Business and Professional		Industry, Custom and General		-Warehousing, Distributions and Storage Facilities -Parcel Processing and Shipping Centers		
PARCEL #s 77A-645-5-1.-6-1								
AREA OF WORK**	15,500	0	0	0	0	0	0	0
DIRECTV	16,700	2,400	8	13,700	14	0	0	22
KING'S ASIAN GOURMET	31,990	500	2	21,890	22	9,600	19	43
BAY CITIES PRODUCE	41,070	4,000	13	19,070	19	18,000	36	68
MOORE NEWTON HARDWOODS	41,810	2,000	7	39,810	40	0	0	46
SUDDENLINK	42,570	4,500	15	38,070	38	0	0	53
MCNELLY FAMILY INVESTORS	6,000	0	0	6,000	6	0	0	6
TOTAL SF	189,640							
TOTAL PARKING			45		139		55	238

PARCEL #s	77A-645-5-2.-6-2		0	0	0	0	0
ROBERT CARDELLINO	2,483	300	1	2,183	2	0	3
WONDER ICE CREAM	3,359	1,500	5	1,859	2	0	7
METROPOLIS IRON WORKS	6,200	600	2	1,000	1	4,600	12
OLD REPUBLIC TITLE	4,225	425	1	3,800	4	0	5
CUSTOMEDM	5,789	600	2	1,189	1	4,000	11
VACANT OFFICE	1,031	1,031	3	0	0	0	3
FIRELIGHT GLASS CO	5,100	1,200	4	0	0	3,900	12
KWAN	550	550	2	0	0	0	2
TOTAL SF	28,737						
TOTAL PARKING			21		10		25

PARCEL #s 77A-645-5-1.-6-1	TOTAL PARKING	+238
PARCEL #s 77A-645-5-2.-6-2	TOTAL PARKING	+56
	TOTAL SHARED PARKING SPACES	=294
	ADULT DAY CARE CENTER REQUIRED PARKING SPACES**	+91
	TOTAL REQUIRED SHARED PARKING SPACES	=385
	TOTAL EXISTING SHARED PARKING SPACES	=440

ACCESSIBILITY
 8 REQUIRED ACCESSIBLE (SHARED) PARKING SPACES
 15 EXISTING ACCESSIBLE (SHARED) PARKING SPACES

91 EXISTING PARKING SPACES WILL BE DESIGNATED FOR ADULT DAY HEALTH CARE (INCLUDING 20 EXISTING PARKING SPACES WILL BE DESIGNATED FOR STAFF ONLY)

NOTES
 1. EXISTING ACCESSIBLE PARKING PER CITY OF SAN LEANDRO ACCESSIBILITY REQUIREMENTS
 MINIMUM ACCESSIBLE PARKING SPACES PER PER TABLE 208.2 ADA STANDARDS OF ACCESSIBLE DESIGN 2010

**PER SAN LEANDRO ZONING CODE, "DAY CARE, GENERAL" REQUIRES 1 SPACE PER 6 CHILDREN (ADULT/CLIENT) OR FRACTION THEREOF; MAXIMUM ENROLLMENT BASED ON MAXIMUM OCCUPANCY LOAD.
 545 TOTAL OCCUPANTS / 6 = 91 REQUIRED PARKING SPACES
 -SEE COVER SHEET A000 FOR OCCUPANCY CALCULATIONS

1 SITE PLAN
 A090
 1" = 40'-0"

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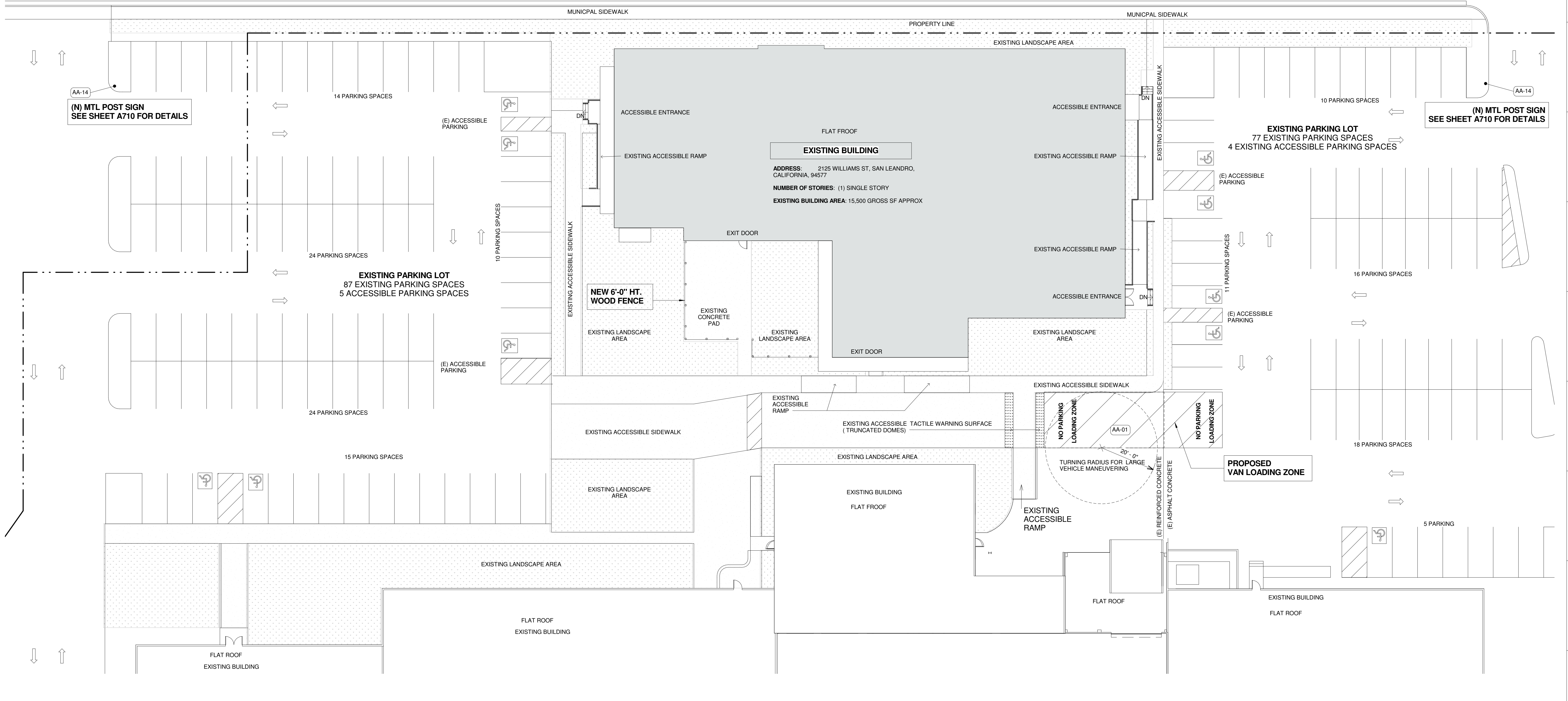
A090

EXISTING SITE PLAN / PARCEL PLAN

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ADULT DAY HEALTH CARE CENTER

ADDRESS 2125 WILLIAMS STREET,
 SAN LEANDRO, CALIFORNIA, 94577
 CLIENT COZY NEST ADULT DAY HEALTH CARE, LLC

WILLIAMS STREET



1 PROPOSED SITE PLAN
 A095 1/16" = 1'-0"

1. CONTRACTOR TO INVESTIGATE FIELD CONDITIONS AND ASCERTAIN THAT WORK IS FEASIBLE AS SHOWN.
2. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
3. SEE SHEET A001 FOR GENERAL NOTES
4. SEE SHEET A720 FOR PARKING DETAILS

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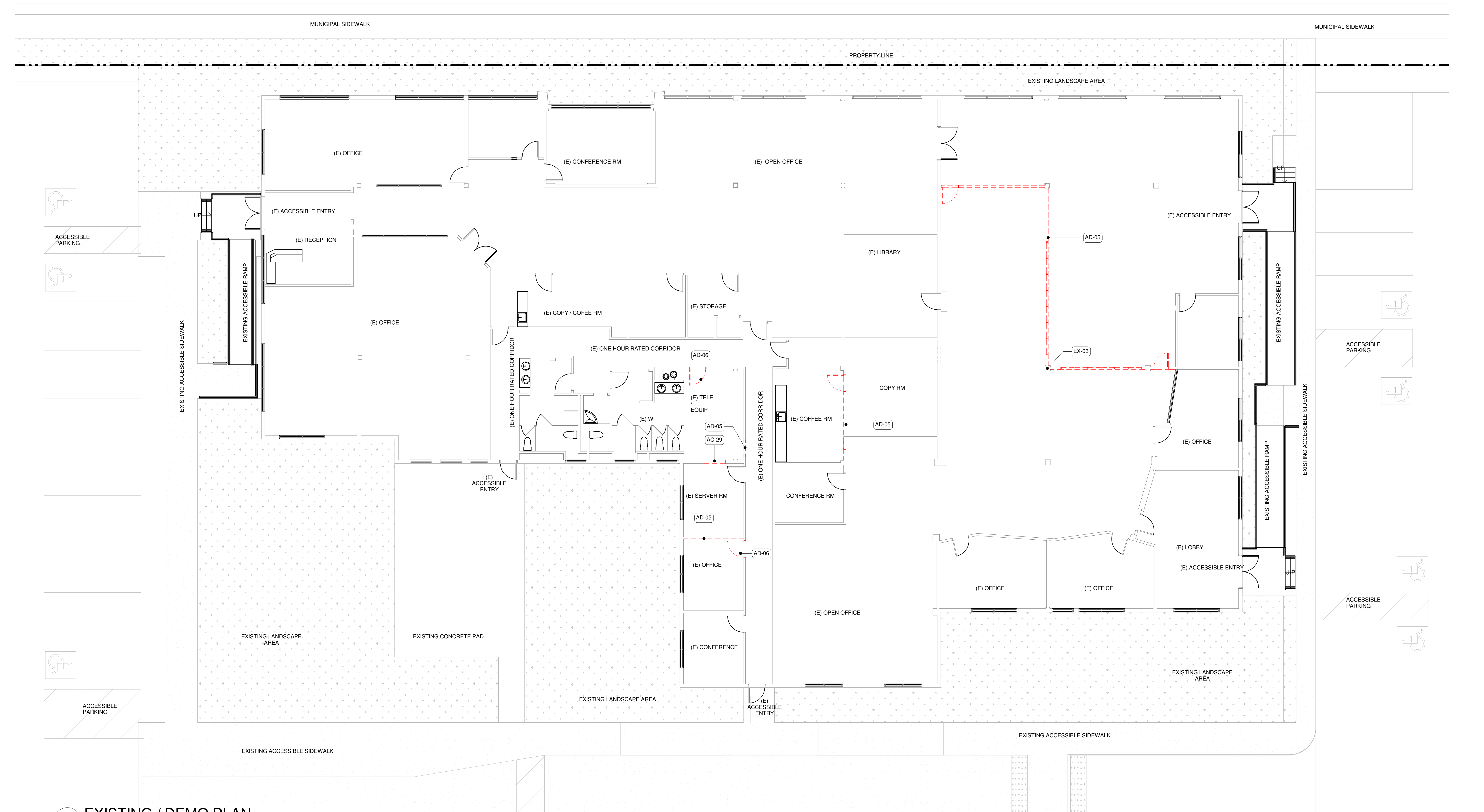
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A095
 SITE PLAN
 (PROPOSED
 UPGRADES)

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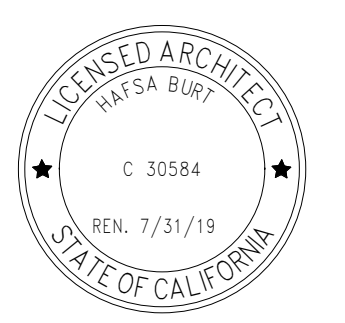
WILLIAMS STREET



1 A100 EXISTING / DEMO PLAN

1/8" = 1'-0"

1. CONTRACTOR TO INVESTIGATE FIELD CONDITIONS AND ASCERTAIN THAT WORK IS FEASIBLE AS SHOWN.
2. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
3. SEE SHEET A001 FOR GENERAL NOTES
4. SEE SHEET A-001 FOR PROJECT KEYNOTES



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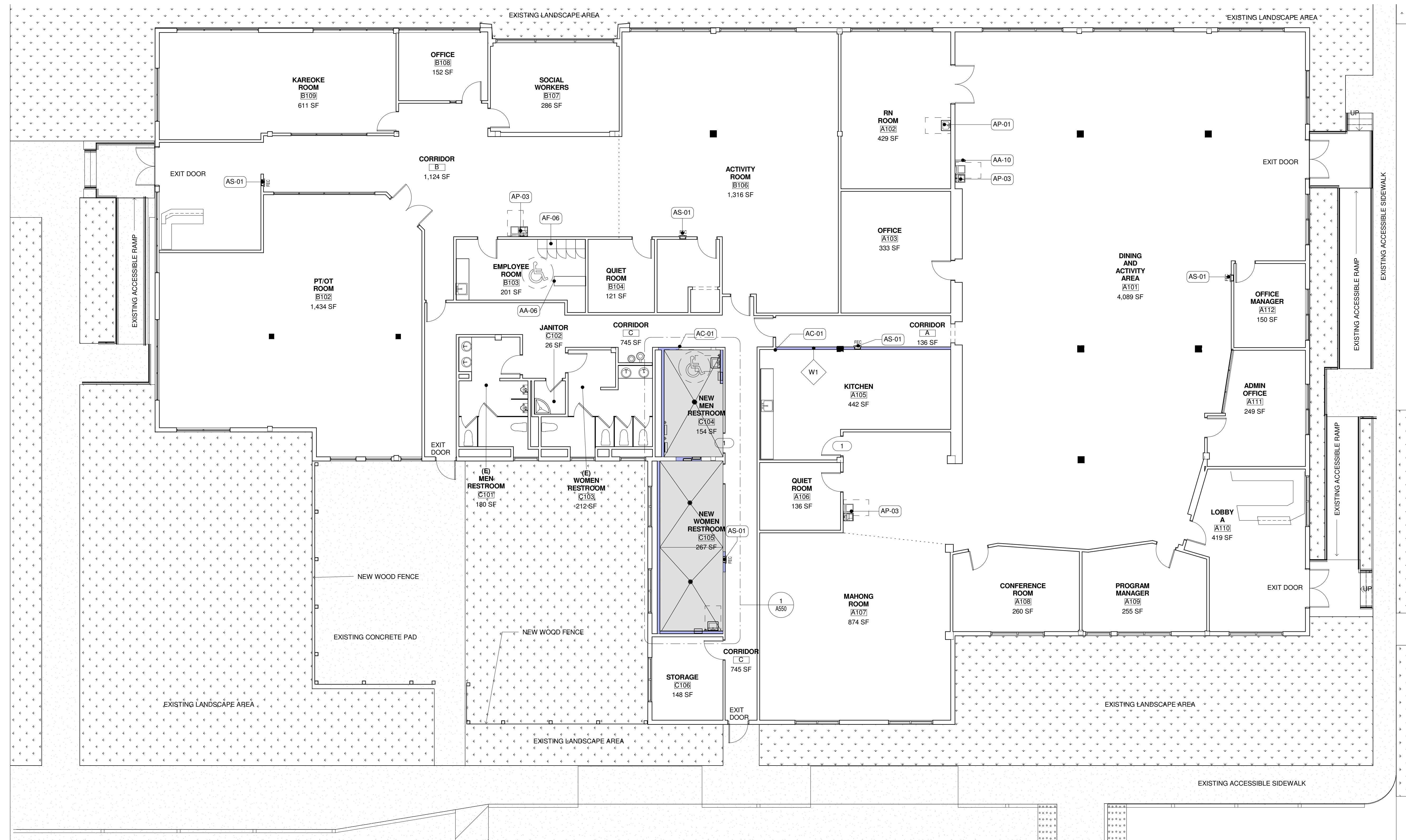
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A100
 EXISTING/DEMO PLAN

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 ADDRESS 2125 WILLIAMS STREET,
 SAN LEANDRO, CALIFORNIA, 94577
 CLIENT COZY NEST ADULT DAY HEALTH CARE, LLC

SHEET NOTES	
KEY	NOTE
AA-06	NEW ACCESSIBLE BENCH TO COMPLY WITH CBC 11B.903
AA-10	DRINKING FOUNTAIN GRAB BAR. THE PROTECTED AREA WITHIN WHICH A DRINKING FOUNTAIN IS LOCATED SHALL BE 32 INCHES WIDE MINIMUM AND 18 INCHES DEEP MINIMUM, AND SHALL COMPLY WITH SECTION 11B-305.7. WHEN USED, WING WALLS OR BARRIERS SHALL PROJECT HORIZONTALLY AT LEAST AS FAR AS THE DRINKING FOUNTAIN AND TO WITHIN 6 INCHES VERTICALLY FROM THE FLOOR OR GROUND SURFACE
AC-01	ALIGN TO EXISTING WALL TYP
AE-02	NEW EMERGENCY EXIT LIGHT. SEE REFLECTED CEILING PLAN FOR DETAILS
AF-06	NEW LOCKERS WITH ACCESSIBLE UNIT(S) PER CBC 11 B-222.1
AP-01	NEW ACCESSIBLE LAVATORY. WALL MOUNTED. SEE SCHEDULE FOR DETAILS
AP-03	NEW BI-LEVEL ACCESSIBLE DRINKING FOUNTAIN WITH WATER BOTTLE REFILL STATION
AS-01	FEC 2A 10B.C RATED FIRE EXTINGUISHER WALL MOUNTED IN WEATHERPROOF CABINET. MAX. 4" PROJECTION



- GENERAL NOTES**
- PATCH & MATCH WALLS AS REQUIRED FOR NEW FINISH.
 - SEE CEILING, ELECTRICAL AND MECHANICAL PROJECTS FOR GRILLE, LIGHT, AND RECEPTACLE LOCATIONS.
 - CONTRACTOR TO COORDINATE ALL WORK WITH OWNER'S REPRESENTATIVE.
 - ALL DOOR HARDWARE TO BE LEVER HANDLES, SEE SHEET A-500 FOR DOOR SCHEDULE.

EMERGENCY EXIT SIGN
 ABOVE ALL ENTRY DOOR, CONTRACTOR TO PROVIDE EMERGENCY ILLUMINATED EXIT SIGN, WALL / CEILING MOUNTED W/ BATTERY BACK UP. (EXIT DOOR). SEE PROPOSED REFLECTED CEILING PLAN. SHEET A410

SHEET LEGEND

ROOM NAME	
101	ROOM NUMBER
150 SF	ROOM AREA SEE COVER SHEET FOR ROOM OCCUPANCY AND EXIT CALCULATIONS
A	EQUIP/ FIXTURE / LUMINAIRE SEE SHEET A-600 FOR EQUIPMENT AND ACCESSORY DETAILS
101	DOOR TYPE. SEE SHEET A-600 FOR DOOR SCHEDULE AND DETAILS
11	WINDOW TYPE. (NOT APPLICABLE)
11	WALL TYPE. SEE SHEET A-800 FOR PROPOSED WALL TYPES
XX-00	MATERIAL TYPE. SEE SHEET A-600 FOR FINISH SCHEDULE AND DETAILS
AA-00	PROJECT KEYNOTES (SEE SHEET A-001 FOR GENERAL & ADDITIONAL CONTRACTOR NOTES)

1 A300 PROPOSED PLAN
 1/8" = 1'-0"

- CONTRACTOR TO INVESTIGATE FIELD CONDITIONS AND ASCERTAIN THAT WORK IS FEASIBLE AS SHOWN.
- CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- SEE SHEET A001 FOR GENERAL NOTES

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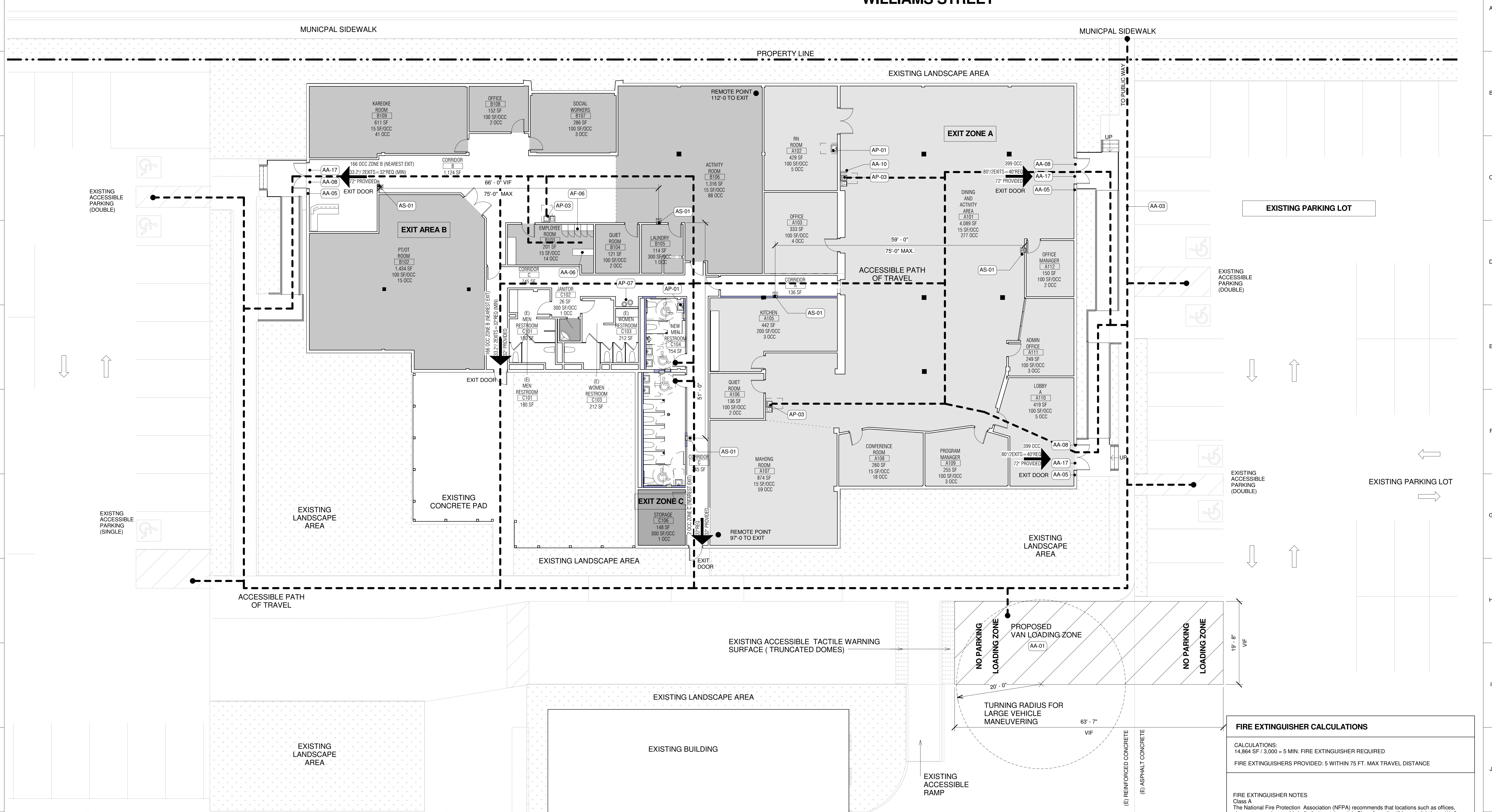
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A300
 PROPOSED PLAN

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 CLIENT COZY NEST ADULT DAY HEALTH CARE, LLC

WILLIAMS STREET



1
A310 EGRESS AND ACCESSIBILITY PLAN
1" = 10'-0"

SEE SHEET A-001 FOR PROJECT KEYNOTES
SEE COVER SHEET A000 FOR AREA OCCUPANCY CALCULATIONS

FIRE EXTINGUISHER CALCULATIONS	
CALCULATIONS: 14,864 SF / 3,000 = 5 MIN. FIRE EXTINGUISHER REQUIRED	
FIRE EXTINGUISHERS PROVIDED: 5 WITHIN 75 FT. MAX TRAVEL DISTANCE	
FIRE EXTINGUISHER NOTES Class A The National Fire Protection Association (NFPA) recommends that locations such as offices, classrooms, and assembly halls that contain mainly Class A combustible materials have (1) 2-A extinguisher for every 3,000 square feet. (Standard for Portable Fire Extinguishers (NFPA 10 (2010), Table 6.2.1.1, Fire Extinguisher Size and Placement for Class A Hazards)).	
OSHA requires that all employees have access to an extinguisher within 75 feet travel-distance (OSHA 29 CFR 1910.157(d)(2)).	

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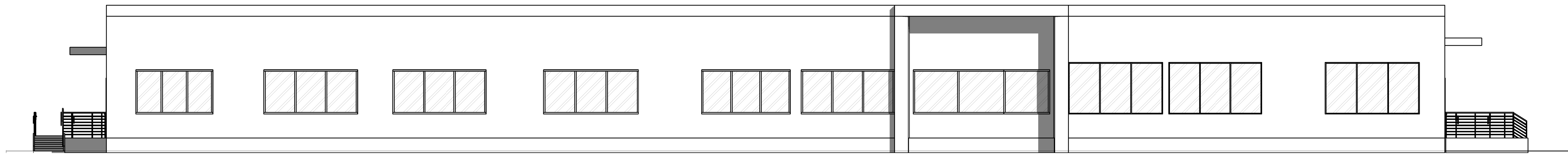
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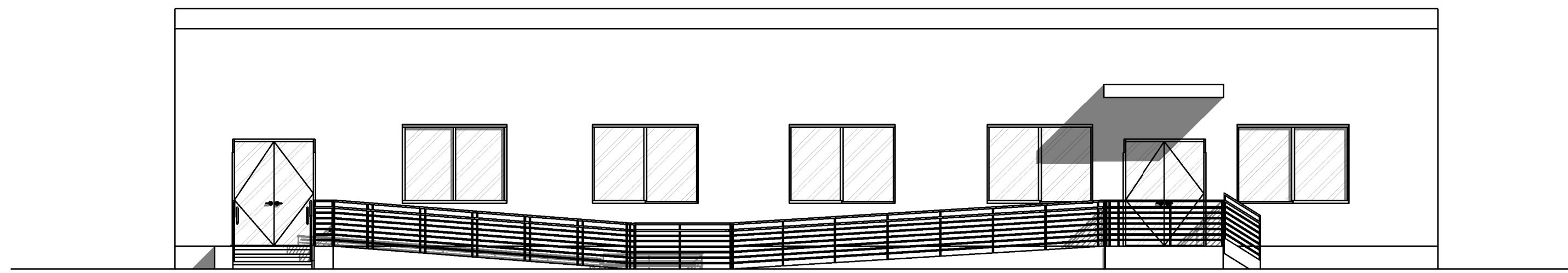
A310
SAFETY AND ACCESSIBILITY PLAN

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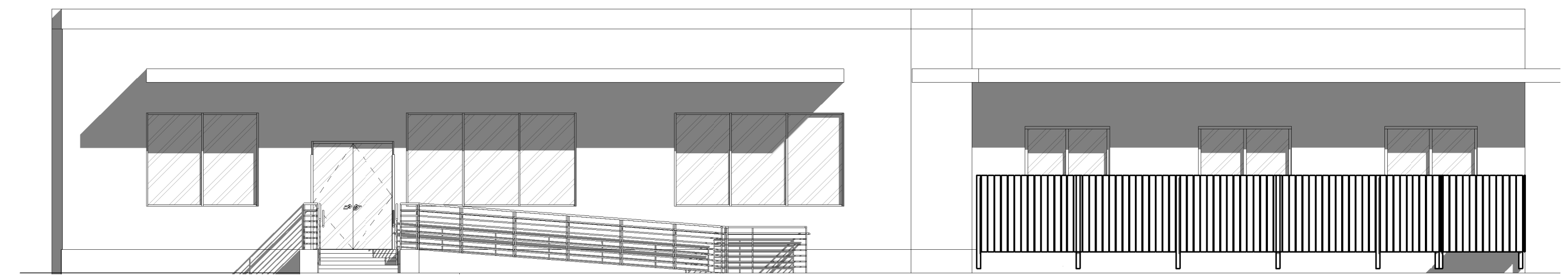
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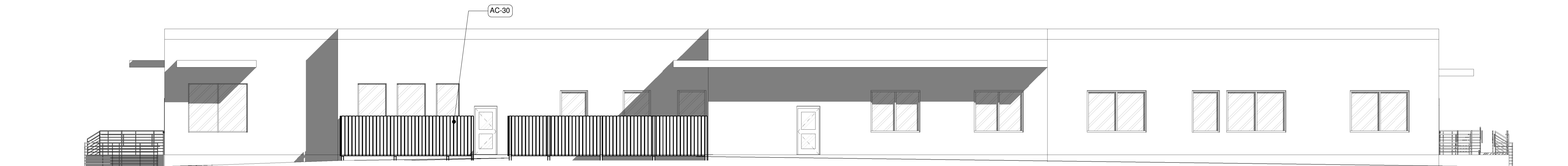
1 NORTH ELEVATION
A311 1/8" = 1'-0"



2 EAST ELEVATION
A311 1/8" = 1'-0"

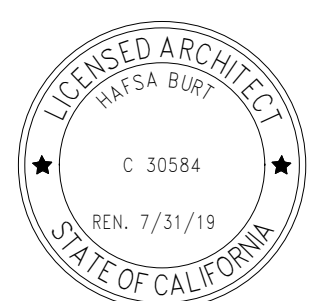


4 WEST ELEVATION
A311 1/8" = 1'-0"



3 SOUTH ELEVATION
A311 1/8" = 1'-0"

NOTE: ALL EXTERIOR CONDITIONS TO REMAIN AS EXISTING. NO EXTERIOR BUILDING RENOVATIONS ARE PART OF THE SCOPE OF WORK OF THIS PROJECT



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A311

EXTERIOR ELEVATIONS

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ADDRESS 2125 WILLIAMS STREET,
SAN LEANDRO, CALIFORNIA, 94577
CLIENT COZY NEST ADULT DAY HEALTH CARE, LLC

LEGEND

- (E) 24"x48" LIGHT FIXTURE RECESSED
- (E) 24"x24" LIGHT FIXTURE RECESSED
- (E) INDIRECT LIGHT FIXTURE MOUNTED 21 INCH BELOW CEILING 3 LAMP T8 ROUNDED CHANNEL
- (E) DOWNLIGHT
- (E) SPEAKER SURFACE MOUNTED
- (E) SPRINKLER HEAD
- (E) AIR SUPPLY TERMINAL
- (E) AIR RETURN TERMINAL
- (E) AIR EXHAUST FAN
- DEMOLISH / REMOVE / RELOCATE
- (D) DEMOLISH / REMOVE
- (E) EXISTING
- RE RELOCATE
- (N) NEW

E/E
EMERGENCY EXIT SIGN
 ABOVE ENTRY DOOR PROVIDE EMERGENCY ILLUMINATED EXIT SIGN, WALL / CEILING MOUNTED W/ BATTERY BACK UP. (EXIT DOOR)

LITHONIA LRP
 Precise® Edge-Lit Exits with LED Lamps

- ILLUMINATED EXIT SIGN, WALL / CEILING MOUNTED W/ BATTERY BACK UP. (EXIT DOOR)
- ILLUMINATED EXIT SIGN, WALL / CEILING MOUNTED W/ BATTERY BACK UP. (DIRECTION OF TRAVEL)

NOTES:

- MAXIMUM EXIT SIGNS MUST BE NOT MORE THAN 100 FT APART
- PROVIDE ALL CABINETS (NOT SHOWN) WITH LED UNDERCABINET LIGHT (LENGTH PER WALL CABINET)
- REPLACE EXISTING FLUORESCENT FIXTURE WITH LED 3000 K (OR UNDER)

EMERGENCY ILLUMINATION SHALL BE PROVIDED FOR NOT LESS THAN 1 HOUR IN THE EVENT OF FAILURE OF NORMAL LIGHTING. LIGHTING SHALL BE ARRANGED TO PROVIDE AN INITIAL ILLUMINATION THAT IS NOT LESS THAN AVERAGE OF 1 FT-CANDLE (10.8 LUX) AND, AT ANY POINT, NOT LESS THAN 0.1 FT CANDLE (1.1 LUX) MEASURED ALONG THE PATH OF EGRESS AT ANY LEVEL. (NFPA-101.7.9.2)

SHEET LEGEND

ROOM NAME

101 ROOM NUMBER

150 SF ROOM AREA SEE COVER SHEET FOR ROOM OCCUPANCY AND EXIT CALCULATIONS

A EQUIP/ FIXTURE / LUMINAIRE . SEE SHEET A-600 FOR EQUIPMENT AND ACCESSORY DETAILS

101 DOOR TYPE. SEE SHEET A-600 FOR DOOR SCHEDULE AND DETAILS

11 WINDOW TYPE. (NOT APPLICABLE)

11 WALL TYPE. SEE SHEET A-800 FOR PROPOSED WALL TYPES

XX-00 MATERIAL TYPE. SEE SHEET A-600 FOR FINISH SCHEDULE AND DETAILS

AA-00 PROJECT KEYNOTES (SEE SHEET A-001 FOR GENERAL & ADDITIONAL CONTRACTOR NOTES)



1
A400
EXISTING CEILING PLAN
 1/8" = 1'-0"

- CONTRACTOR TO INVESTIGATE FIELD CONDITIONS AND ASCERTAIN THAT WORK IS FEASIBLE AS SHOWN.
- CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- SEE SHEET A001 FOR GENERAL NOTES
- SEE SHEET A-001 FOR PROJECT KEYNOTES

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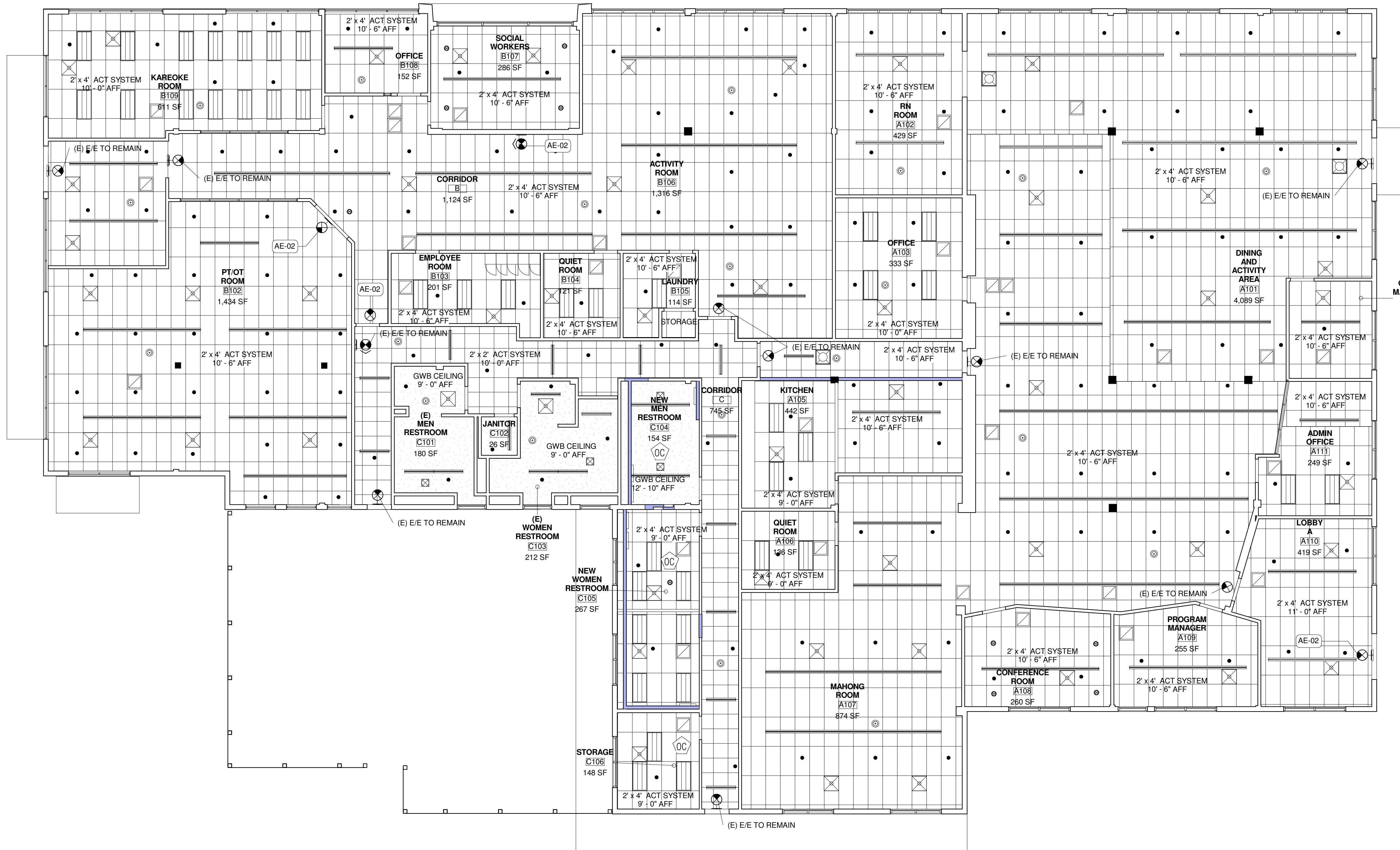
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A400
 EXISTING / DEMO
 REFLECTED CEILING
 PLAN

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ADDRESS 2125 WILLIAMS STREET,
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 CLIENT COZY NEST ADULT DAY HEALTH CARE, LLC



LEGEND

(OC) SWITCH WITH OCCUPANCY SENSOR (SWITCH O.C. COMBO OR CEILING/WALL MOUNTED INFRARED SENSOR -NOT SHOWN-) (W/ AUTOMATIC SHUT-OFF)

CONTRACTOR NOTES

- ALL EXISTING CEILING SYSTEMS TO REMAIN.
- NO CEILING ALTERATIONS AND/OR REMODEL WILL BE PART OF THIS PROJECT.
- GENERAL CONTRACTOR TO PROVIDE LIGHT CONTROLS UPGRADES IN EXISTING/NEW ROOMS AS SHOWN IN PLAN AND LEGEND.
- LIGHTING UPGRADES NOT SHOWN IN RCP TO BE VERIFIED IN FIELD BY GENERAL CONTRACTOR TO BE FEASIBLE AS SHOWN.
- ALL NEW LIGHTING CONTROL TO COMPLY WITH CALIFORNIA T-24 AND A.H.I.
- ALL NEW LIGHTING CONTROL UPGRADES TO BE ENERGY EFFICIENT.
- ALL NEW LIGHTING CONTROL UPGRADES SHALL BE UL LISTED.

EMERGENCY ILLUMINATION SHALL BE PROVIDED FOR NOT LESS THAN 1 HOUR IN THE EVENT OF FAILURE OF NORMAL LIGHTING. LIGHTING SHALL BE ARRANGED TO PROVIDE AN INITIAL ILLUMINATION THAT IS NOT LESS THAN AVERAGE OF 1FT- CANDLE (10.8 LUX) AND, AT ANY POINT, NOT LESS THAN 0.1 FT CANDLE (1.1 LUX) MEASURED ALONG THE PATH OF EGRESS AT ANY LEVEL. (NFPA-101.7.9.2)

1 PROPOSED CEILING PLAN

A410 1/8" = 1'-0"

- CONTRACTOR TO INVESTIGATE FIELD CONDITIONS AND ASCERTAIN THAT WORK IS FEASIBLE AS SHOWN.
- CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- SEE SHEET A001 FOR GENERAL NOTES

SHEET LEGEND

ROOM NAME

101 ROOM NUMBER

150 SF ROOM AREA SEE COVER SHEET FOR ROOM OCCUPANCY AND EXIT CALCULATIONS

A EQUIP/ FIXTURE / LUMINAIRE - SEE SHEET A-600 FOR EQUIPMENT AND ACCESSORY DETAILS

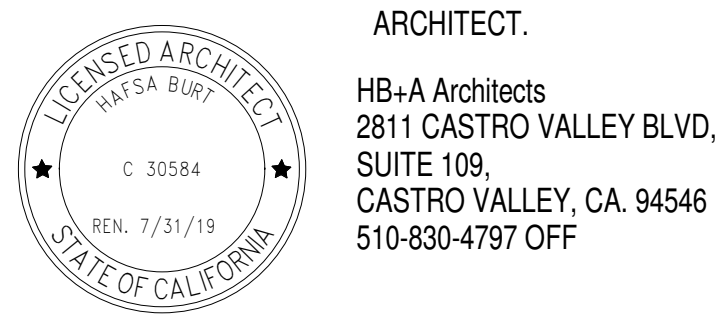
(101) DOOR TYPE. SEE SHEET A-600 FOR DOOR SCHEDULE AND DETAILS

(11) WINDOW TYPE. (NOT APPLICABLE)

(1) WALL TYPE. SEE SHEET A-800 FOR PROPOSED WALL TYPES

XX-00 MATERIAL TYPE. SEE SHEET A-600 FOR FINISH SCHEDULE AND DETAILS

AA-00 PROJECT KEYNOTES (SEE SHEET A-001 FOR GENERAL & ADDITIONAL CONTRACTOR NOTES)



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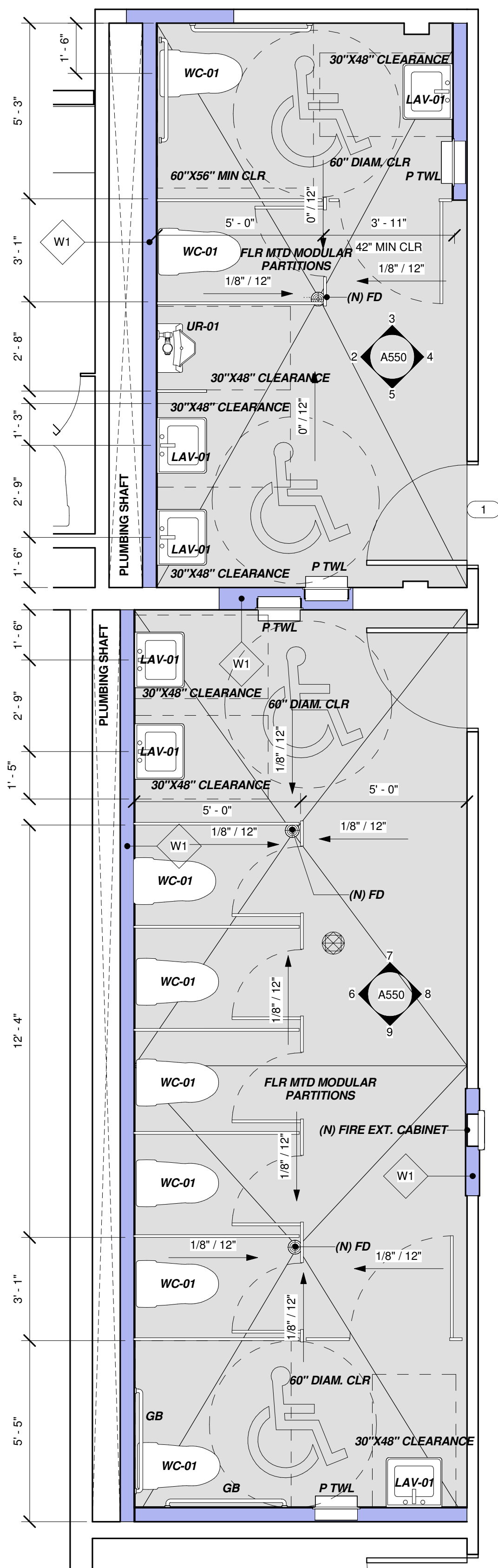
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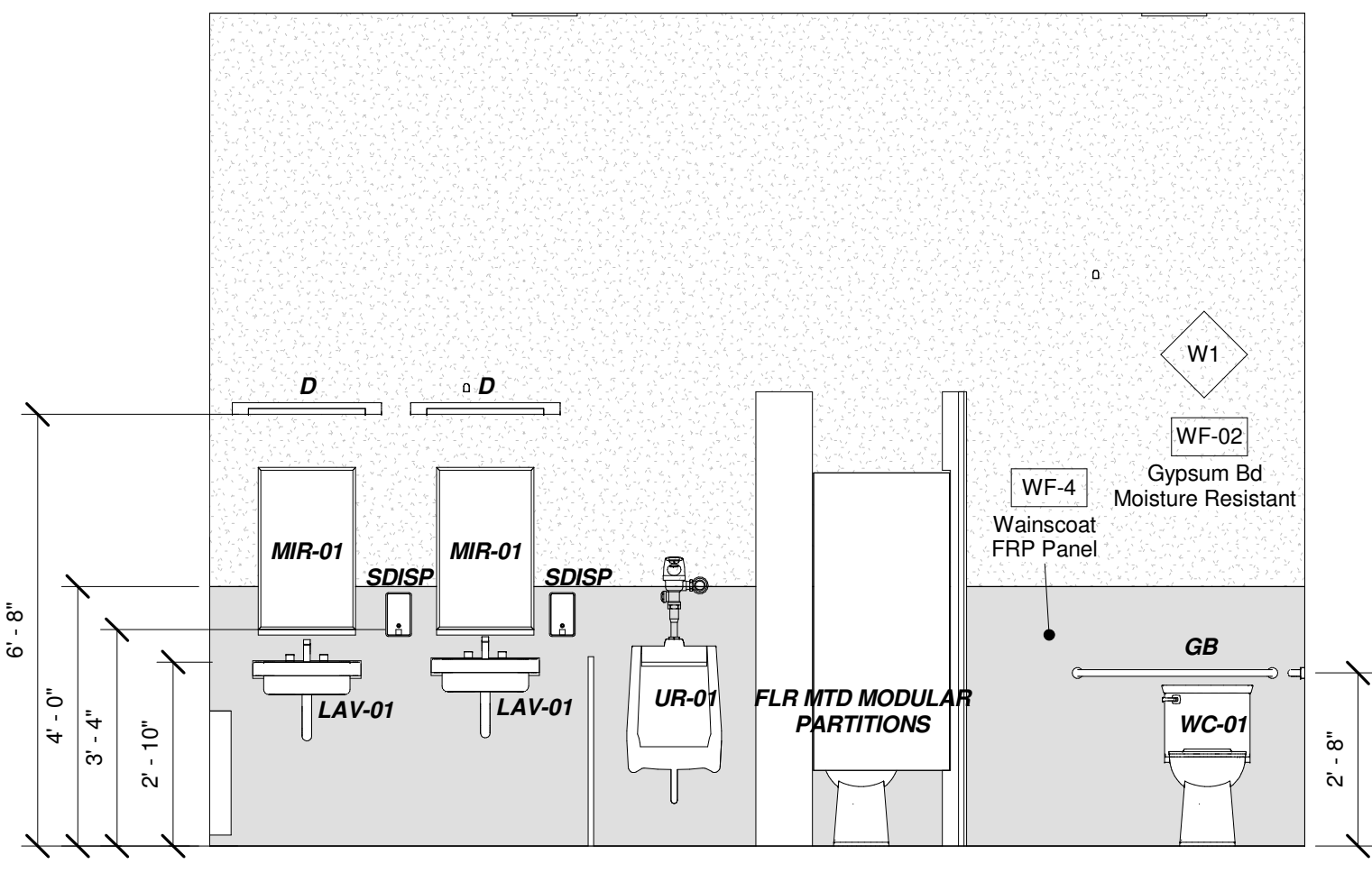
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A410
PROPOSED REFLECTED CEILING PLAN

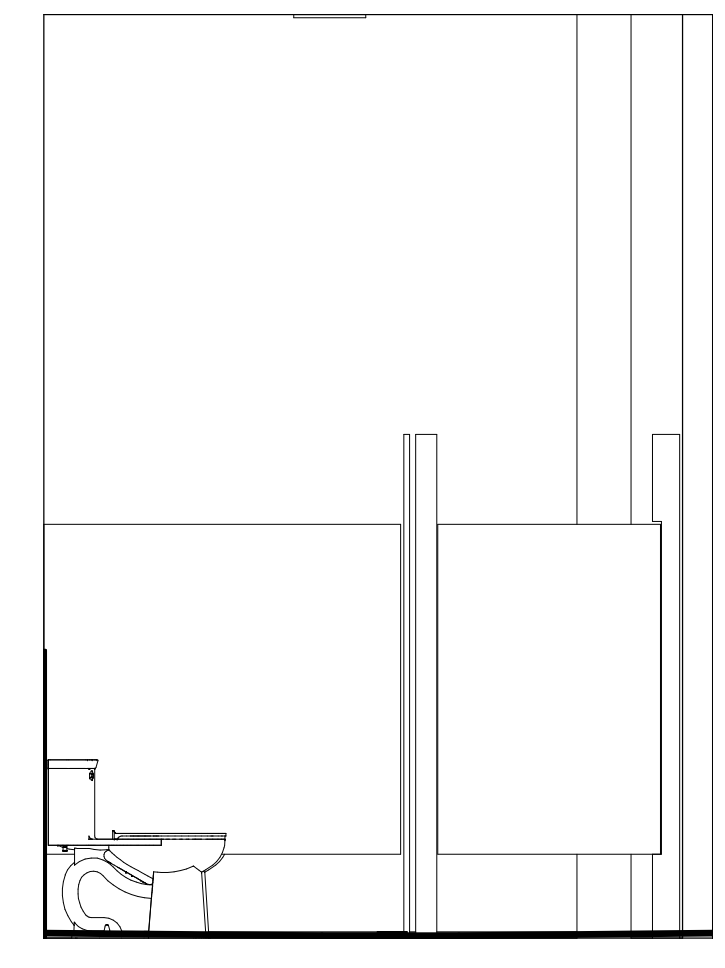
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CLIENT COZY NEST ADULT DAY HEALTH CARE, LLC



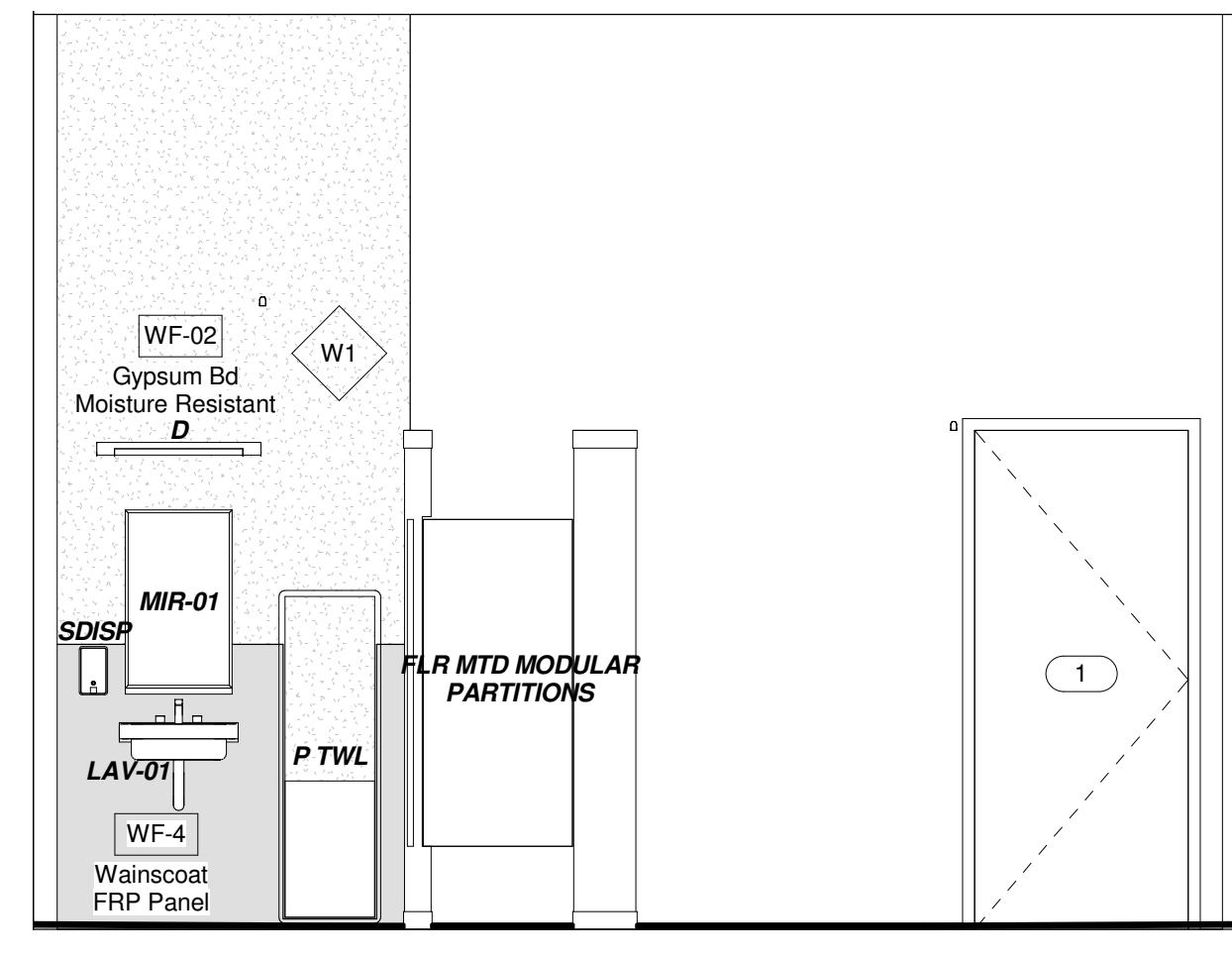
1
A550
ENLARGED PLAN AT PROPOSED RESTROOMS
3/8" = 1'-0"



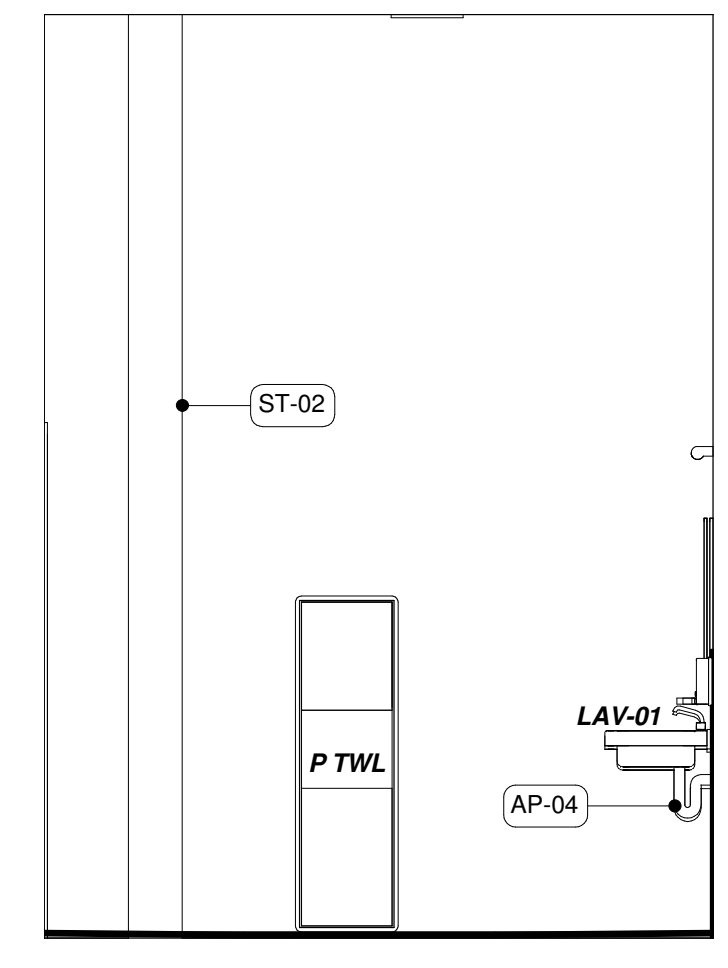
2
A550
PROPOSED MEN RESTROOM
3/8" = 1'-0"



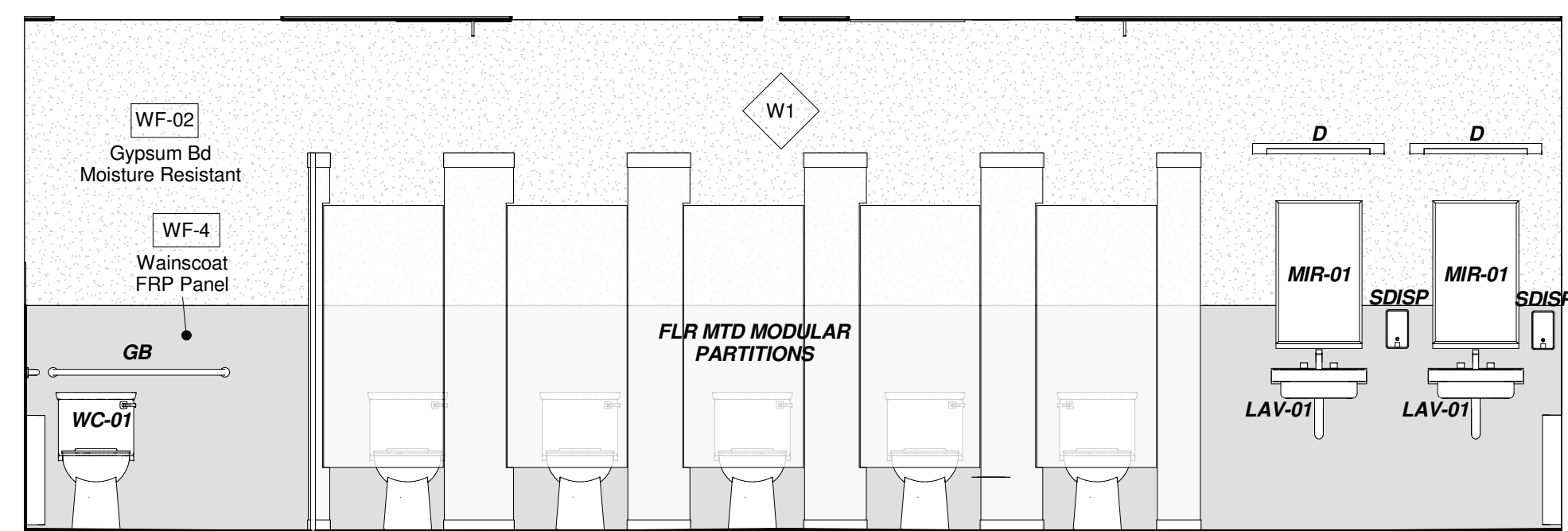
3
A550
3/8" = 1'-0"



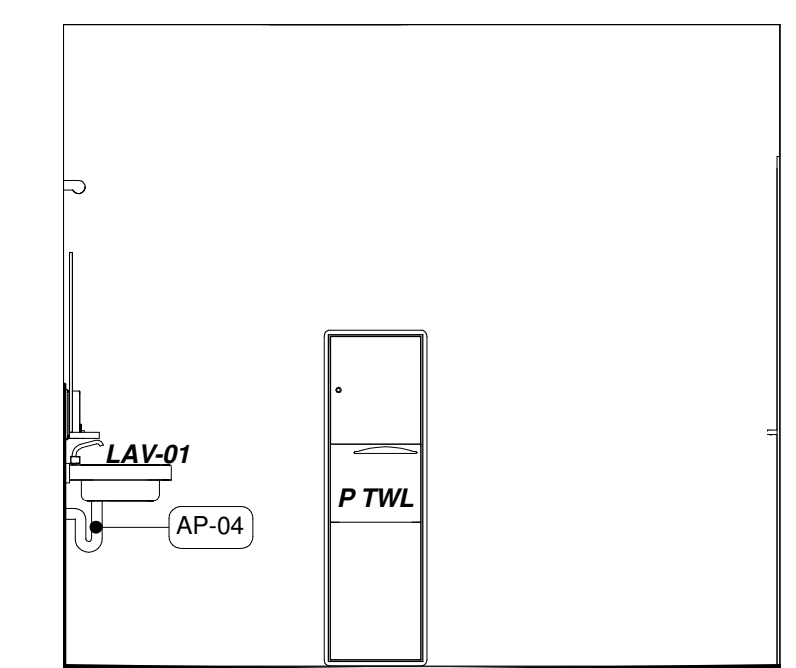
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A550
3/8" = 1'-0"



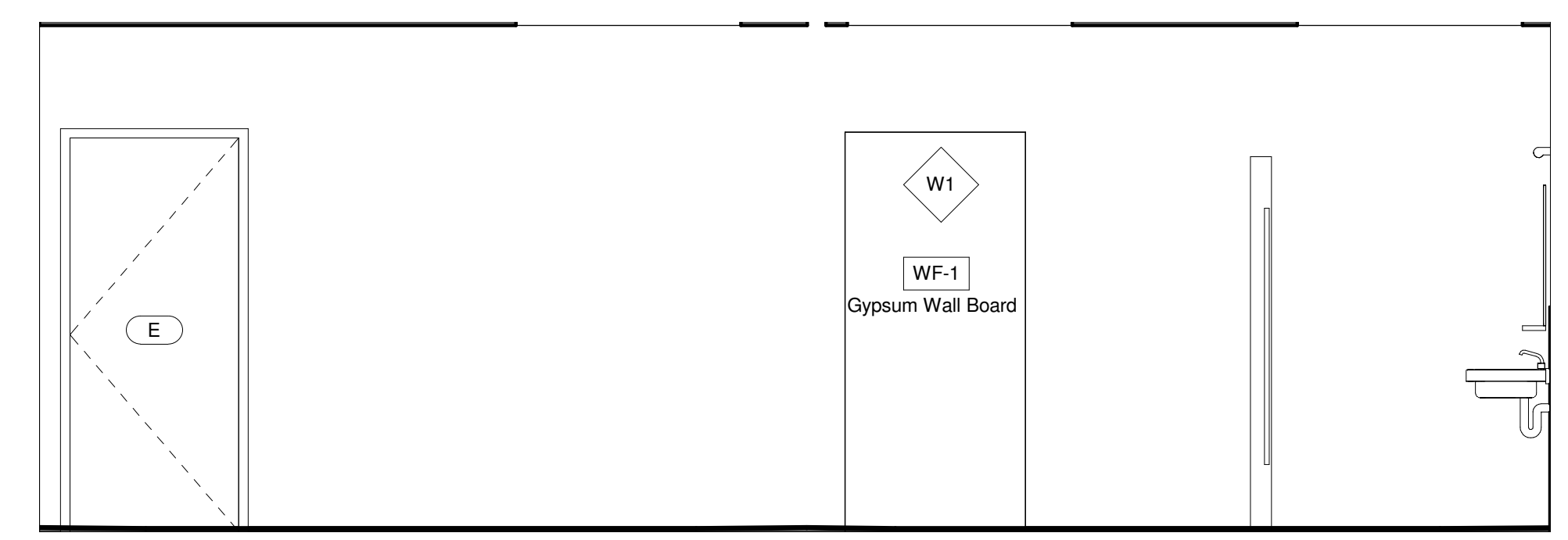
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3/8" = 1'-0"



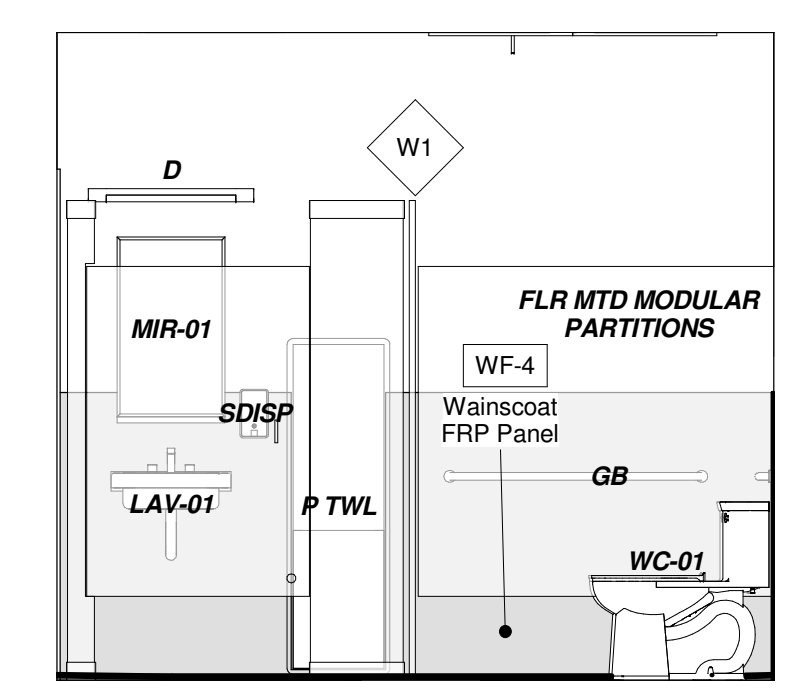
6
A550
PROPOSED WOMEN RESTROOM
3/8" = 1'-0"



7
A550
3/8" = 1'-0"



8
A550
3/8" = 1'-0"



9
A550
3/8" = 1'-0"

SHEET LEGEND	
ROOM NAME	
101	ROOM NUMBER
150 SF	ROOM AREA SEE COVER SHEET FOR ROOM OCCUPANCY AND EXIT CALCULATIONS
A	EQUIP/ FIXTURE / LUMINAIRE . SEE SHEET A-600 FOR EQUIPMENT AND ACCESSORY DETAILS
101	DOOR TYPE. SEE SHEET A-600 FOR DOOR SCHEDULE AND DETAILS
11	WINDOW TYPE. (NOT APPLICABLE)
11	WALL TYPE. SEE SHEET A-800 FOR PROPOSED WALL TYPES
XX-00	MATERIAL TYPE. SEE SHEET A-600 FOR FINISH SCHEDULE AND DETAILS
AA-00	PROJECT KEYNOTES (SEE SHEET A-001 FOR GENERAL & ADDITIONAL CONTRACTOR NOTES)

ARCHITECT.
 HB+A Architects
 2811 CASTRO VALLEY BLVD,
 SUITE 109
 CASTRO VALLEY, CA. 94546
 510-830-4797 OFF

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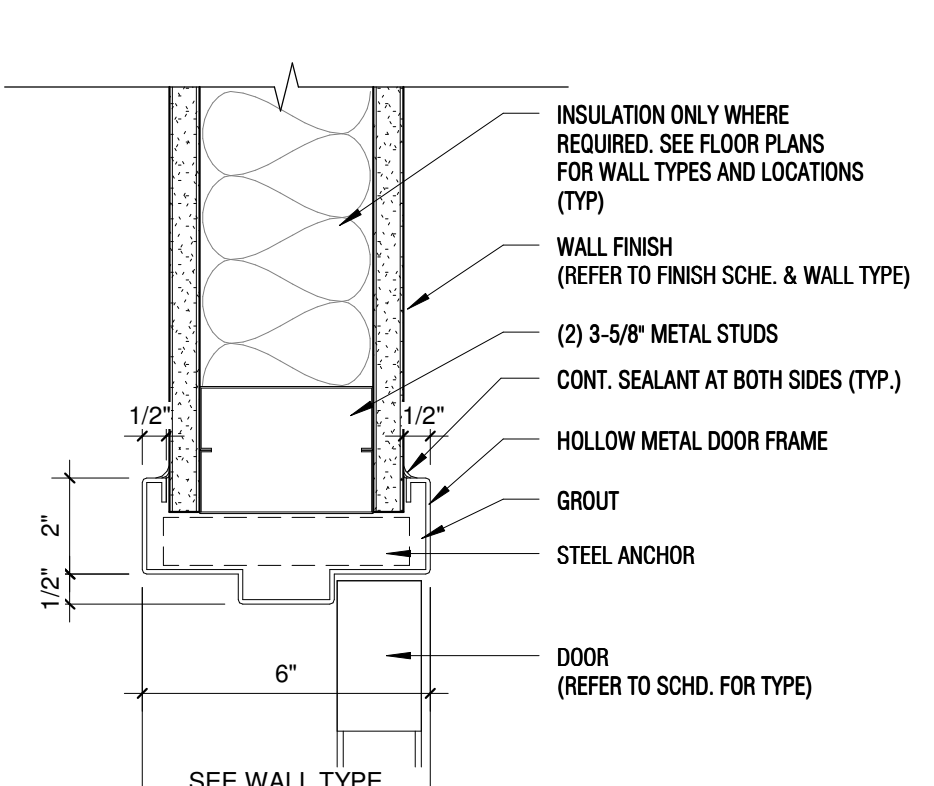
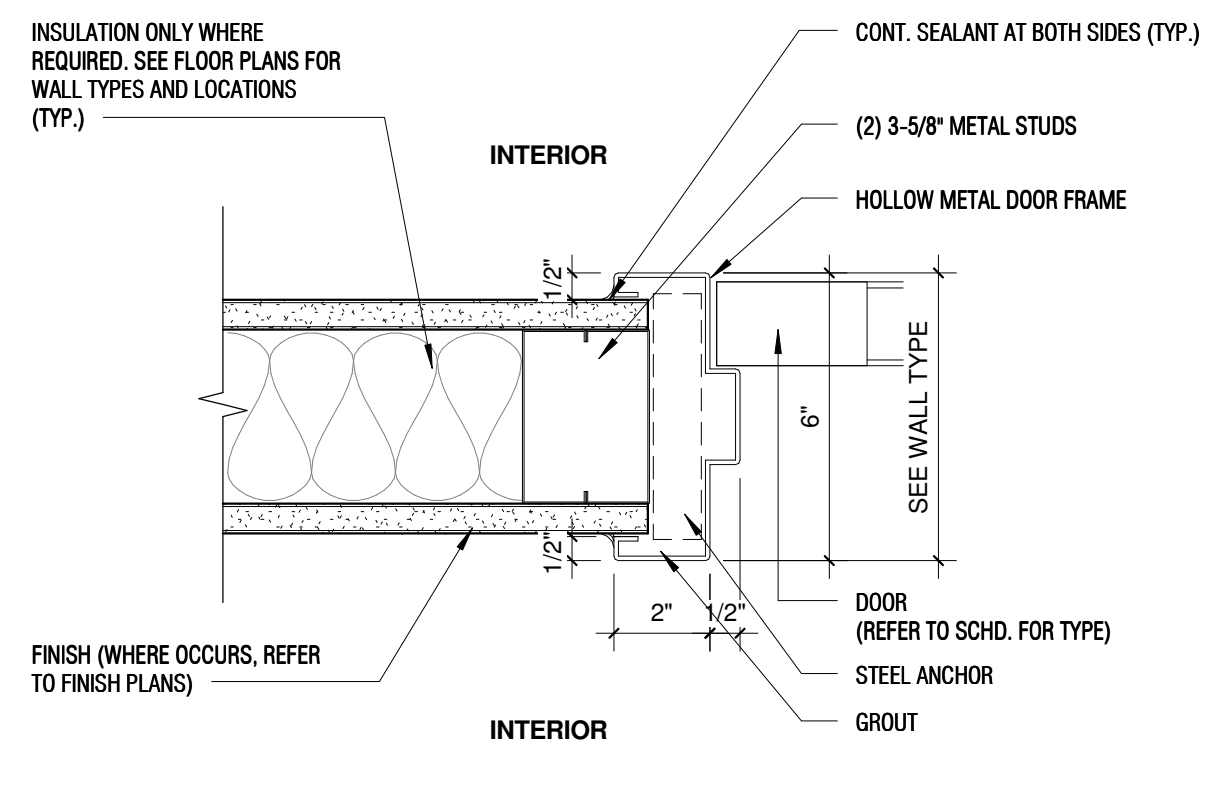
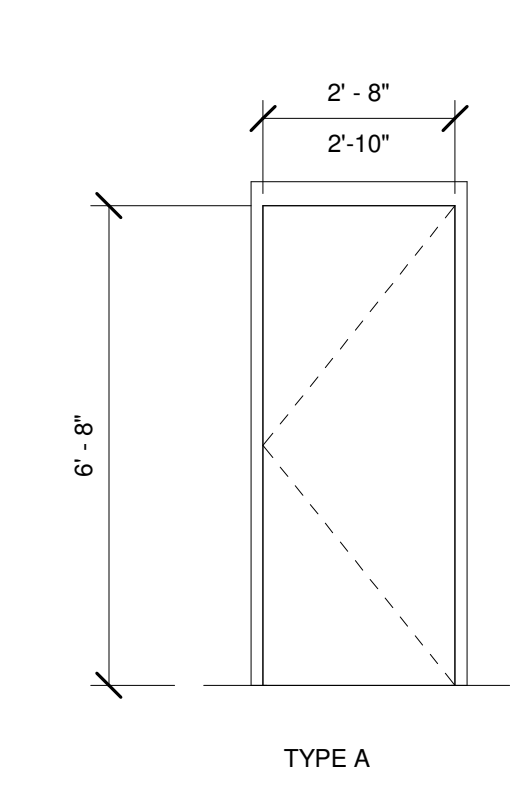
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A550
 PROPOSED RESTROOMS
 ENLARGED PLAN AND ELEVATIONS

TITLE REVIEW SET FOR TENANT IMPROVEMENT
ADULT DAY HEALTH CARE CENTER

ADDRESS 2125 WILLIAMS STREET,
 SAN LEANDRO, CALIFORNIA, 94577
 CLIENT COZY NEST ADULT DAY HEALTH CARE, LLC

DOOR SCHEDULE																		
MARK	TYPE	DESCRIPTION	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	FIRE RATING	HARDWARE	HARDWARE TYPE	DOOR NOTES	FRAME MATERIAL	JAMB	HEADER	FINISH	COMMENTS	OR APPROVED EQUAL	
1	A	FLUSH SOLID CORE	3'-0"	7'-0"	0'-1 3/4"	WD/MTL SOLID CORE	PT	45 MIN.	LEVER HANDLE ACCESSIBLE	TYPE 3	2-4-6-7-8	HM	HM	HM	PT	NON LOCKABLE	Yes	



DOOR TYPES
3/8" = 1'-0"

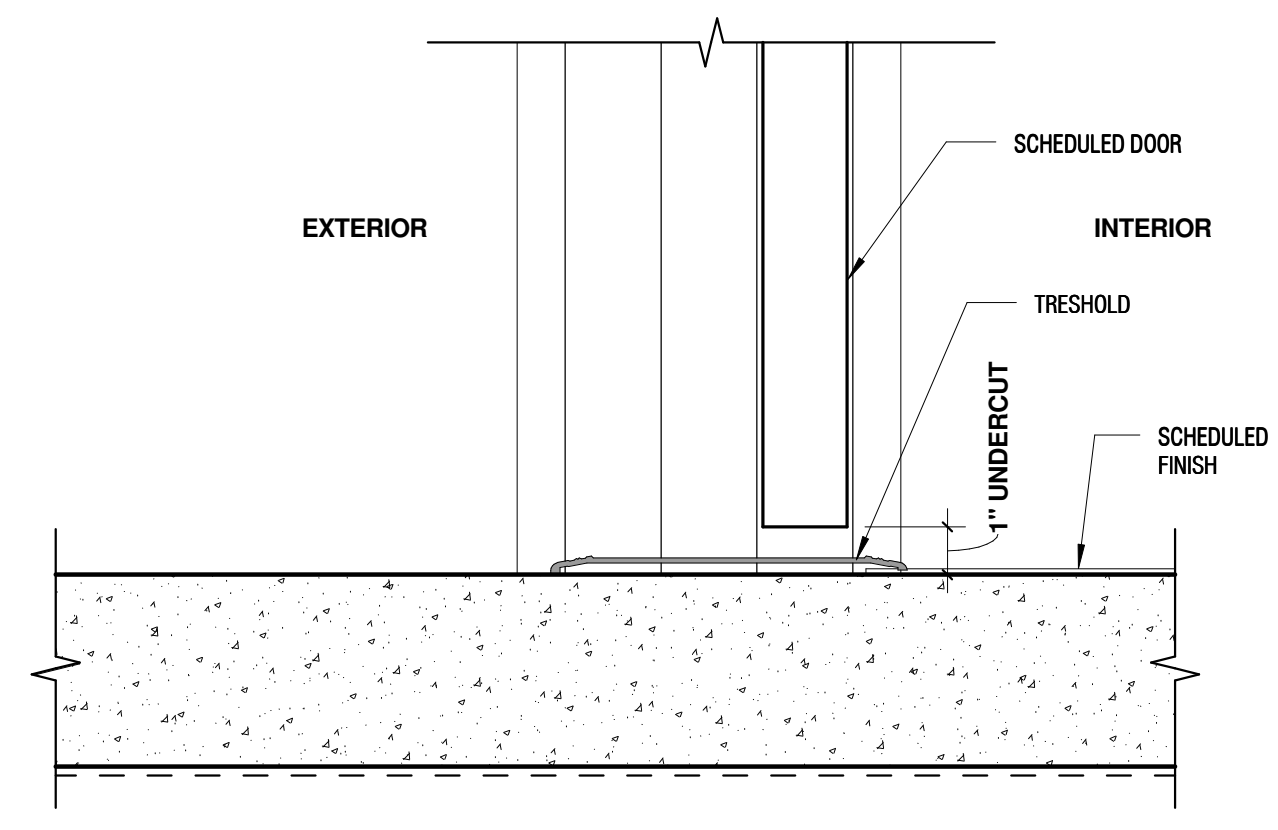
DOOR "A" JAMB DETAIL
3" = 1'-0"

DOOR "A" HEAD DETAIL
3" = 1'-0"

ADDITIONAL DOOR NOTES:

CONTRACTOR SHOULD MEASURE ALL OPENINGS PRIOR TO FABRICATE. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL. LATCH & HANDLE SHALL BE 54" (MAX.) ABOVE FLOOR. LOCKS AND LATCHES MUST COMPLY W / N.F.P.A. 5-21.5 B (HARDWARE). PRIVACY LOCK.

HARDWARE GROUP 1					HARDWARE GROUP 2					HARDWARE GROUP 3				
N/A					N/A					N/A				
<p>DOOR NOTES</p> <ol style="list-style-type: none"> ADD SIGN ABOVE DOOR TO READ: "THESE DOORS MUST REMAIN UNLOCKED DURING BUSINESS HOURS." THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND. PROVIDE ACCESSIBLE SIGNAGE FOR EXTERIOR DOORS - MAXIMUM DOOR OPENING EFFORT - 5.0 LBS FOR INTERIOR DOORS - MAXIMUM DOOR OPENING EFFORT - 5.0 LBS ALL EXTERIOR DOORS - PROVIDE HARDWARE TO ALLOW DOORS TO BE OPENED FROM INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT REQUIRED EXIT DOORS SHALL NOT BE PROVIDED WITH THUMB TURN DEVICES. FIRE RATED, NOT TO EXCEED 15 LBS. PER 11B-404-2-9 SELF CLOSING & SELF LATCHING ACCESSIBLE LISTED DOOR THROUGHOUT 														
1 EA.	PRIVACY LOCKSET #D40S RHODES	SCHLAGE	613	OR APPROVED EQUAL	1 EA.	BUTTS 4-1/2"x4-1/2" #BB179 CLOSER #7500-DA	STANLEY NORTON	613	OR APPROVED EQUAL	1 EA.	WALL STOP #409-1/2	IVES	810B	OR APPROVED EQUAL
1 EA.	SILENCER #21	IVES	GRAY	OR APPROVED EQUAL	3 EA.	COAT HOOK (AT RESTR. DOORS) #572 (MOUNT @ +6'-0" A.F.F.)	IVES	MB108	OR APPROVED EQUAL	1 EA.	KICKPLATE 10" x 34" #B400	IVES	613	OR APPROVED EQUAL



THRESHOLD DETAIL AT ENTRY
3" = 1'-0"

PLUMBING FIXTURE SCHEDULE							
CODE	TYPE	REMARKS	ACCESSORY / COMMENTS	MANUFACTURER	MODEL	MATERIAL/ FINISH	APPROVED EQUAL
DR-F-01	WALL MOUNTED DRINKING FOUNTAIN	ADA COMPLIANT	WITH WATTER BOTTLER FILLER STATION. PROVIDE 115 V ELECT. OUTLET	ELKAY	LZSTL8WSPP	S/S	Yes
LAV-01	WALL MOUNTED LAVATORY			BRADLEY	TL-18 Terreon- Imperial Wall-Mount Lavatory	WHITE	Yes
UR-01	WALL MOUNTED URINAL		0.125 gpf Flush Valve: Sensor-Operated	AMERICAN STANDARD	WASHBROOK - FloWise -UNIVERSAL URINAL	WHITE	Yes
WC-01	FLR MOUNTED TOILET		Townsend Vormax Right Height Elongated One-Piece Toilet With Seat	American Standard	2922A	WHITE	Yes

ROOM FINISH SCHEDULE									
ROOM	NUMBER	AREA	Perimeter	Base Finish	Ceiling Finish	Floor Finish	Wall Finish	Comments	
CORRIDOR	A	136 SF	65' - 7"						
DINING AND ACTIVITY AREA	A101	4,089 SF	318' - 0"						MINOR DEMOLITION AS SHOWN IN SHEET A100
RN ROOM	A102	429 SF	84' - 3"						
OFFICE	A103	333 SF	73' - 1"						
KITCHEN	A105	442 SF	95' - 9"						
QUIET ROOM	A106	136 SF	46' - 11"						
MAHONG ROOM	A107	874 SF	118' - 11"						
CONFERENCE ROOM	A108	260 SF	64' - 11"						
PROGRAM MANAGER	A109	255 SF	63' - 11"						
LOBBY A	A110	419 SF	85' - 10"						
ADMIN OFFICE	A111	249 SF	66' - 11"						
OFFICE MANAGER	A112	150 SF	49' - 2"						
CORRIDOR	B	1,124 SF	228' - 4"						
PT/OT ROOM	B102	1,434 SF	163' - 3"						
EMPLOYEE ROOM	B103	201 SF	63' - 11"						
QUIET ROOM	B104	121 SF	44' - 1"						
LAUNDRY	B105	114 SF	42' - 10"						
ACTIVITY ROOM	B106	1,316 SF	158' - 5"						MINOR DEMOLITION AS SHOWN IN SHEET A100
SOCIAL WORKERS	B107	286 SF	67' - 11"						
OFFICE	B108	152 SF	49' - 11"						
KAREOKE ROOM	B109	611 SF	108' - 8"						
CORRIDOR	C	745 SF	301' - 1"						
(E) MEN RESTROOM	C101	180 SF	89' - 1"						
JANITOR	C102	26 SF	20' - 4"						
(E) WOMEN RESTROOM	C103	212 SF	110' - 2"						
NEW MEN RESTROOM	C104	154 SF	53' - 0"	BF-1	(E)	(SBO.) RESILIENT FLOORING	PT	48" WAINSCOAT FRP PANEL IN WET WALLS	
NEW WOMEN RESTROOM	C105	267 SF	73' - 8"	BF-1	(E)	(SBO.) RESILIENT FLOORING	PT	48" WAINSCOAT FRP PANEL IN WET WALLS	
STORAGE	C106	148 SF	48' - 9"						

NOTES:

- (SBO) AS SELECTED BY OWNER
- (E) EXISTING TO REMAIN
- ALL BLANK ITEMS CORRESPOND TO ROOMS WITH EXISTING FINISHES TO REMAIN. CONTRACTOR TO EXECUTE PATCH AND PAINT WALLS AND REPAIR FLOORS AS NEEDED FOR THE INTENDED PURPOSE OF THE BUILDING AND USE OF ROOMS.
- NO ADDITIONAL ALTERATION OR RENOVATION WILL BE PART OF THIS PROJECT.

INTERIOR WALL BOARD SPECIFICATION:

WF-01
GYPSUM WALL BOARD ULTRALIGHT TYPE C, 5/8" THK. TAPERED, FRAMING AT 16" O.C. MIN- 24" O.C. MAX. FIRE RESIST. 4 HR MAX. ASTM C1396

WF-02
GYPSUM WALL BOARD TYPE M.R. (MOISTURE RESISTANT), 1/2" THK. TAPERED, FRAMING AT 16" O.C. MIN- 24" O.C. MAX. FIRE RESIST. 4 HR MAX. ASTM C1396

ACCESSORY AND PRODUCT SCHEDULE

GB- GRAB BARS
BOBRICK B-6806.99 SERIES PEENED SATIN STAINLESS STEEL FINISHED GRAB BARS FOR ACCESSIBLE TOILET AND SHOWER STALLS. SIZE VARIES. SEE INTERIOR ELEVATIONS

MIR-01- MIRROR
BOBRICK B-292 1830 SERIED WELDED SATIN STAINLESS STEEL FINISH FRAMED MIRROR WITH SHELF, 18"X 30".

SDISP- SOAP DISPENSER
BOBRICK B-2111 CLASSIC SERIES SURFACE MOUNTED WITH SATIN STAINLESS STEEL FINISH.

SND- SANITARY NAPKIN DISPENSER
BOBRICK B-270 CONTURA SERIES SURFACE MOUNTED SATIN STAINLESS STEEL FINISH.

TPH- TOILET PAPER HOLDER
BRADLEY 5126 W/ ANTI THEFT. S/S/ SURFACE-MOUNTED

P-TWL- PAPER TOWEL DISPENSER AND WASTE RECEPTACLE
BRADLEY - MODEL SEMI-RECESSED Model 225-10 - (recesses 4" projects 3 1/2") STANDARD SERIES SATIN FINISH

ST-CD- SEAT COVER DISPENSER (TOILET)
BOBRICK CLASSIC SERIES B-221 SURFACE-MOUNTED

CH-1- COAT HOOK
BRADLEY MODEL 912 SURFACE-MOUNTED - CONCEALED MOUNTING CHROME-PLATED BRASS DOUBLE ROBE HOOK

CH-ST- CHANGING STATION
BRADLEY 962 STAINLESS STEEL BABY CHANGING STATION HORIZONTAL SURFACE RECESSED MOUNTED

DF-GB- DRINKING FOUNTAIN GRAB BARS
BREY-KRAUSE D-7867-SS-P WALL TO FLOOR GRAB BAR

SHW CTR-HD SHOWER CONTROL + SHOWER HEAD
BRADLEY SXWS9151 CHASE-MOUNTED ADA SX PANEL SHOWER

CG-1 CORNER GUARD TYPE 1
BRADLEY MODEL 91 S/S 40" HT. INSTALL 8" AFF. TO 48" TOP HT.

LCKR-2 LOCKER
BRADLEY MODEL LENOXLOCKER Lenox Locker - Solid Plastic 72" HT. 4" BASE (4) TIER / DIMS. 15"W X15"D COLOR WHITE. STD DR /STD-HAS-LOCK / COAT ROD

TCK-BD-1 TACKBOARD TYPE 1
STEELCASE OR APPROVED EQUAL 36"HX60"L CORK W/ ALUM TRIM. CLR ANODIZED FIN.

BENCH-01 BENCH
WD FIN. AS SELECTED BY OWNER 48"LX20"D X20"HT ATTACHED TO WALL OR FLR

FAUCETS:
BATHROOM:
DELTA SERIES: 590LF-LHGMHDF MODEL #FC12066862, CHROME FIN.

BRAKE ROOM :
FONTAINE SERIES: BIANKE SINGLE PULL-DOWN SPRAY MODEL # SFF-BIAK 1-BN, BRUSHED NICKEL FIN.

INTERIOR FINISH SPECIFICATION:

FF-1
CONCRETE STAIN
GLOMARBLE
BEECH NUT (WATER BASE STAIN- ECO STAIN)
OR FINISH AS SELECTED BY OWNER

LAM-1
LAMINATED VYNIL
COMMERCIAL FLOORING
ARMSTRONG
FINISH AS SELECTED BY OWNER

PT-1
INTERIOR Ultra Spec® SCUFF-X
BENJAMIN MOORE
WHITE OPULENCE
OR FINISH AS SELECTED BY OWNER

CTR-1
COUNTERTOP
CORIAN
INDUSTRY STANDARD
OR FINISH AS SELECTED BY OWNER

BF-1
BASE WALL FINISH
4" VYNIL
COMMERCIAL GRADE
COLOR AS SELECTED BY OWNER

FIRE PROTECTION PRODUCTS.

FIRE EXTINGUISHER CABINET (FEC) JL INDUSTRIES AMBASSADOR SERIES SEMI RECESSED CABINET.
VERTICAL DUO STYLE DOOR WITH SAFETY GLASS AND VERTICAL DOOR PULL.
TUBE SIZE 1 1/2" X 24" X 5 1/2" WITH 1 1/2" SQUARE EDGE TRIM.
ETCHED VERTICAL LETTERING ON GLASS PANEL.
1 HOUR FIRE RATED WHERE LOCATED IN 1 HOUR RATED WALLS.
FIRE EXTINGUISHER AS SPECIFIED.

NOTE: ACCESSORIES AND PRODUCTS IN SCHEDULE TO BE "APPROVED EQUAL"

ARCHITECT.
HB+A Architects
2811 CASTRO VALLEY BLVD,
SUITE 109,
CASTRO VALLEY, CA. 94546
510-830-4797 OFF

hb+a Architects

STATE OF CALIFORNIA
LICENSED ARCHITECT
MAYSA BURT
C 30584
REN. 7/31/19

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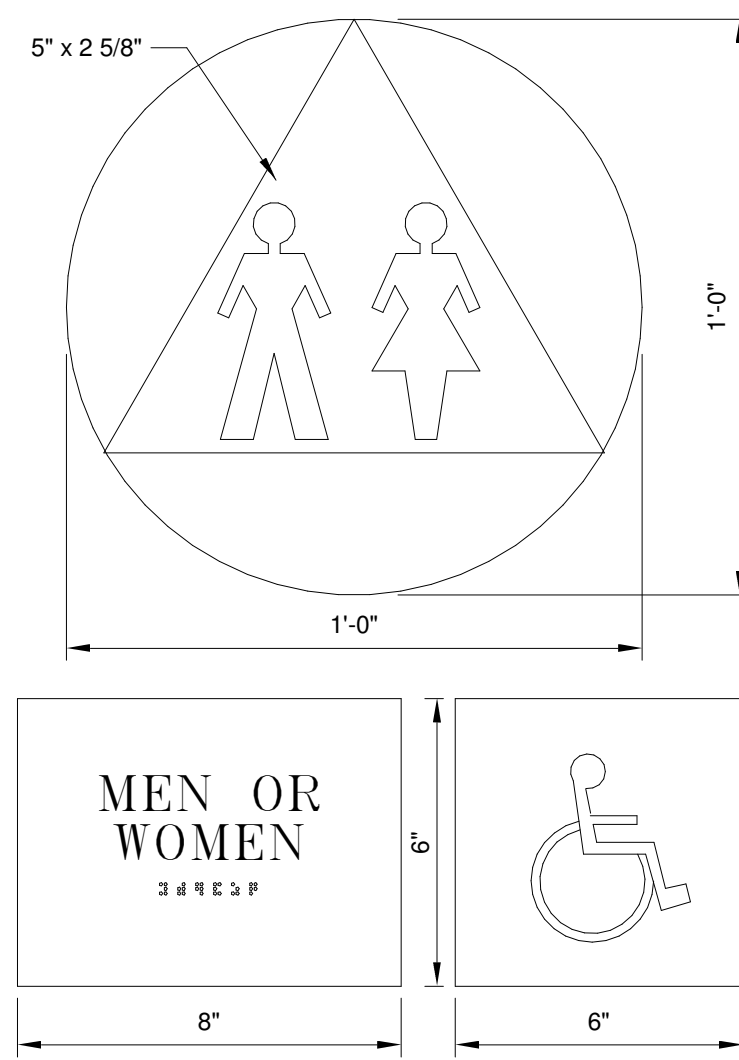
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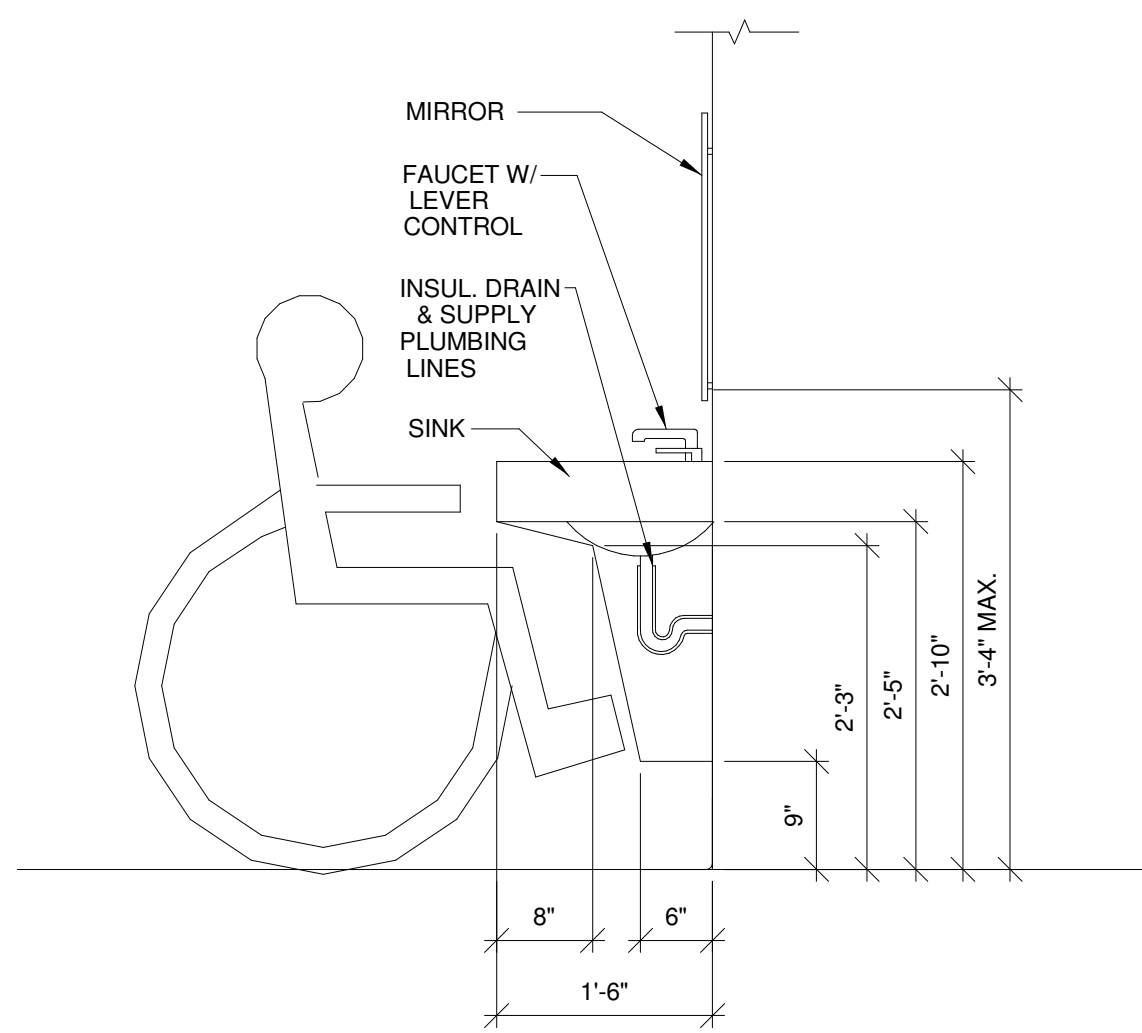
A600
FINISH AND ACCESSORY SCHEDULE

TITLE REVIEW SET FOR TENANT IMPROVEMENT
ADULT DAY HEALTH CARE CENTER

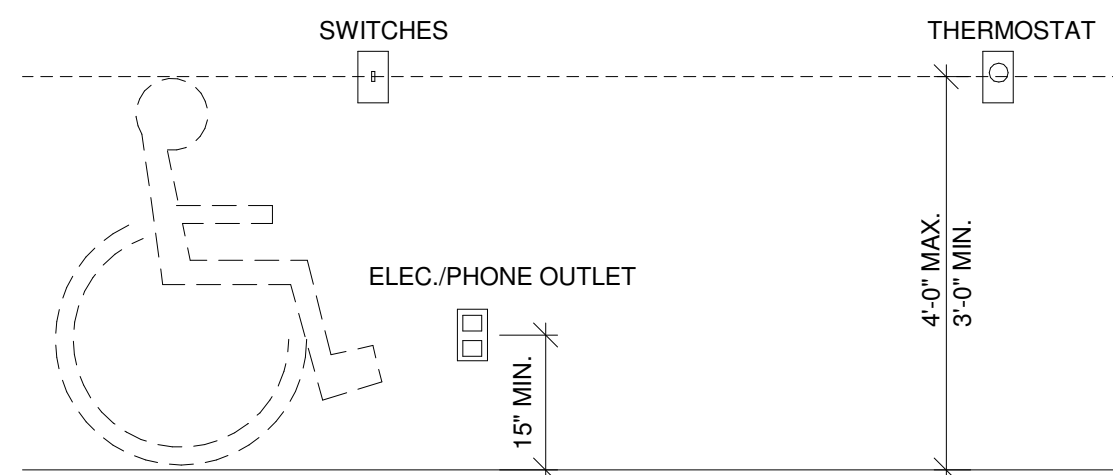
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CLIENT COZY NEST ADULT DAY HEALTH CARE, LLC



NOTES:
 MATERIAL: MENS OR WOMENS & WHL. CHRSIGN PANELS TO BE 3mm SINTRA W/ SCOTT-ADAS 1/32" THICK LETTERS & SYMBOLS HELVETICA MEDIUM UPPER CASE.
 ALL LETTERS TO BE 1" HIGH
 BRAILLE LETTERS TO BE GRADE 2&A APPROVED. BLACK TILES MOUNTED IN CHASE CIRCLE TO BE 3/16" #140 BLUE PLEXI W/ POLISHED EDGES. FIGURE TO BE 3/16" WHITE PLEXI APPLIED TO BACKGROUND
 COLOR: BACKGROUND-BENJAMIN MOORE #905 U.O.N. LETTERS-BENJAMIN MOORE #1470 U.O.N.
 BRAILLE TILES & CHASE: STOCK BLACK
 1/4" TH. CIRCLE, 12" DIA. W/ A 1/4" TH. TRIANGLE SUPERIMPOSED CIRCLE, TRIANGLE & CIRCLE TO BE #140 BLUE PLEXI W/ MEN/WOMEN IN WHITE PLEXI
 PROVIDE VHB TAPE ON BACK OF ALL SIGNS

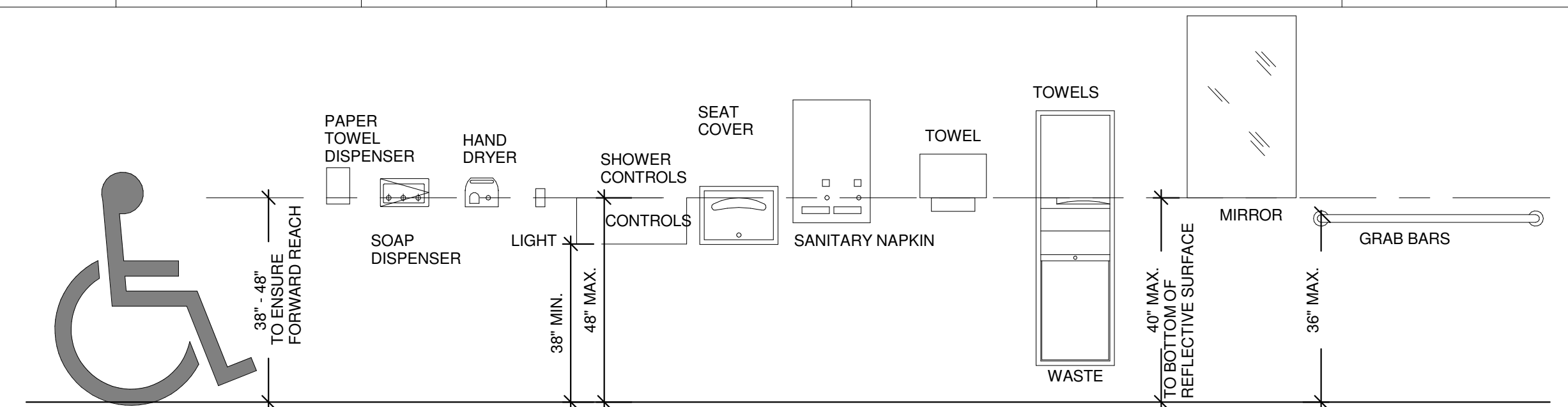


HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER ACCESSIBLE LAVATORIES AND SINKS.



CONTROLS, SWITCHES & OUTLETS

1. THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF CONTROLS OR SWITCHES INTENDED TO BE USED IN THE AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR H.V.A.C. EQUIPMENT SHALL NOT BE MORE THAN 48" A.F.F.
2. ELECT. CONVENIENCE WALL OUTLETS ARE TO BE CENTERED A MIN. 15" FROM THE FLOOR. EXCEPTION: HEIGHT LIMITATIONS DO NOT APPLY WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE OR WHERE ELECTRICAL RECEPTACLES ARE NOT NORMALLY INTENDED FOR USE BY BUILDING OCCUPANTS.

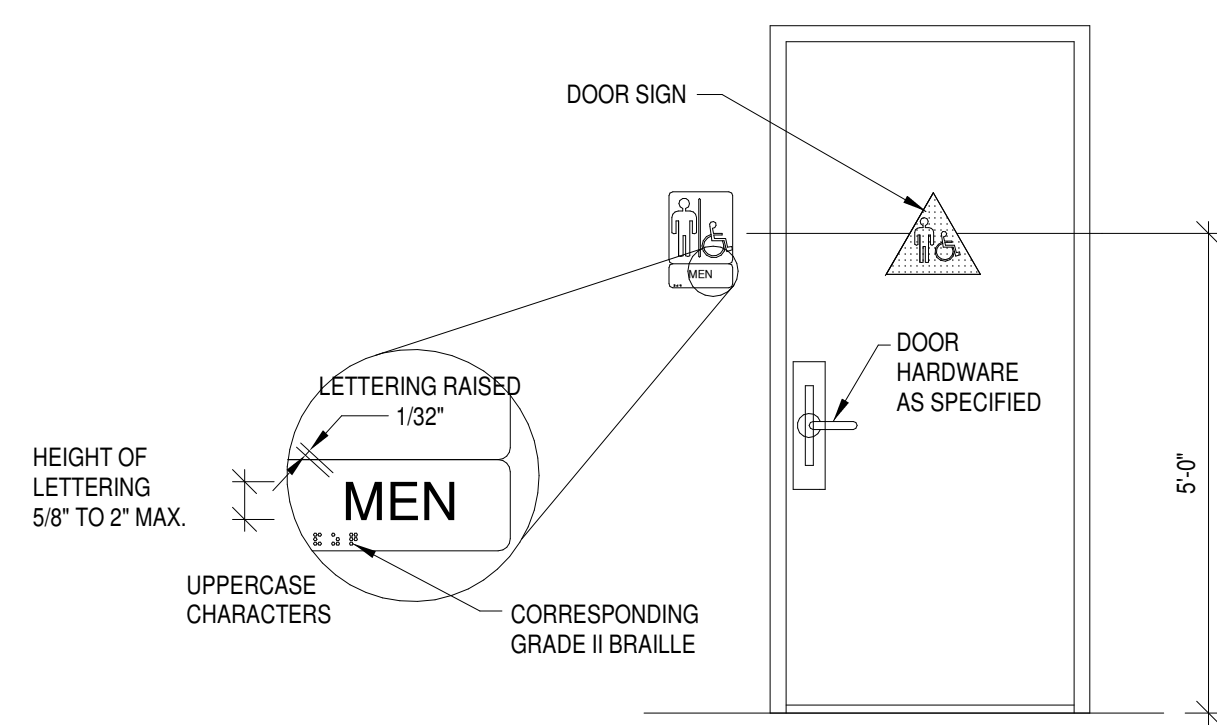


ACCESSIBLE MOUNTING HEIGHTS. BATHROOM ACCESSORIES

1/2" = 1'-0"

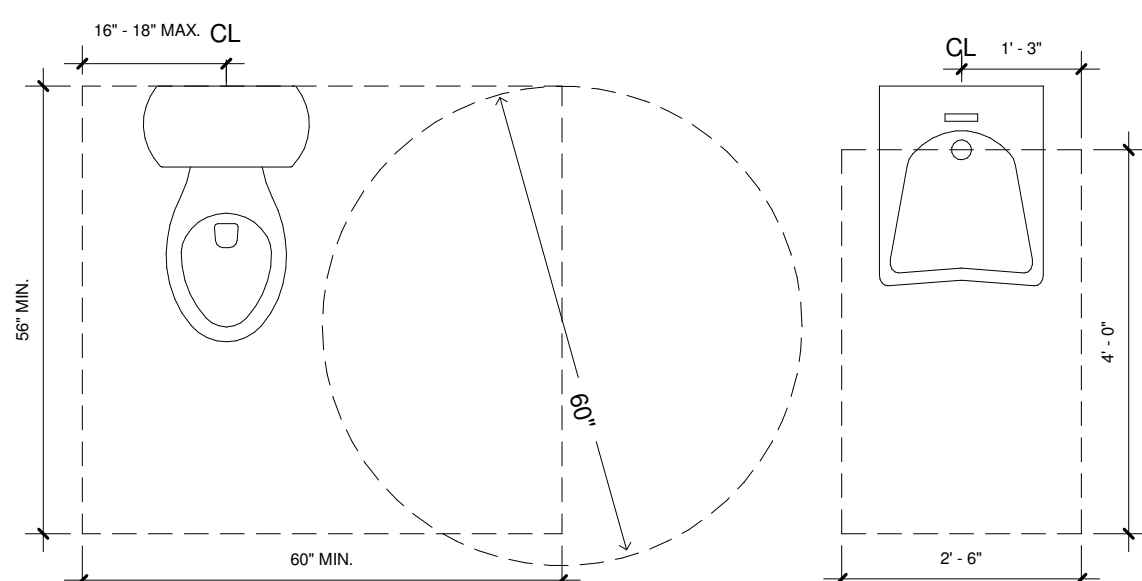
10 UNISEX TOILET ENTRY SIGN

3" = 1'-0"



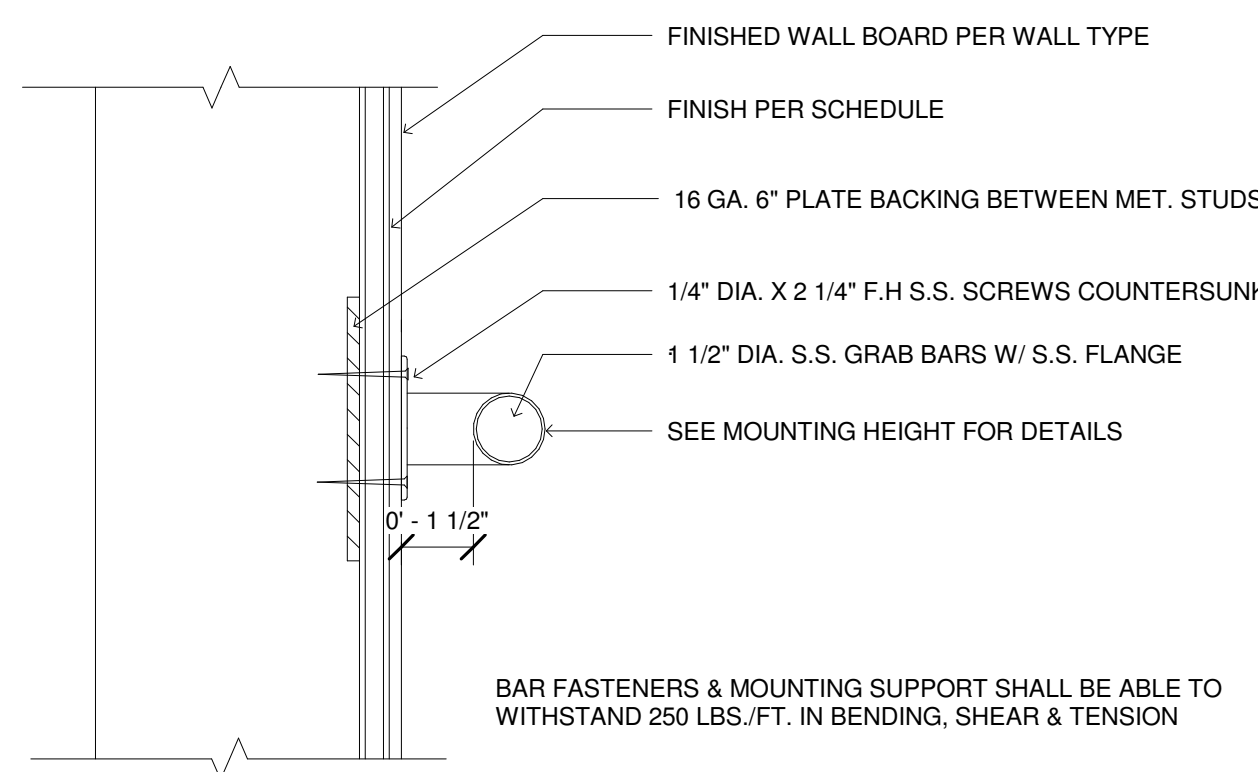
7 WALL HUNG LAVATORY

3/4" = 1'-0"

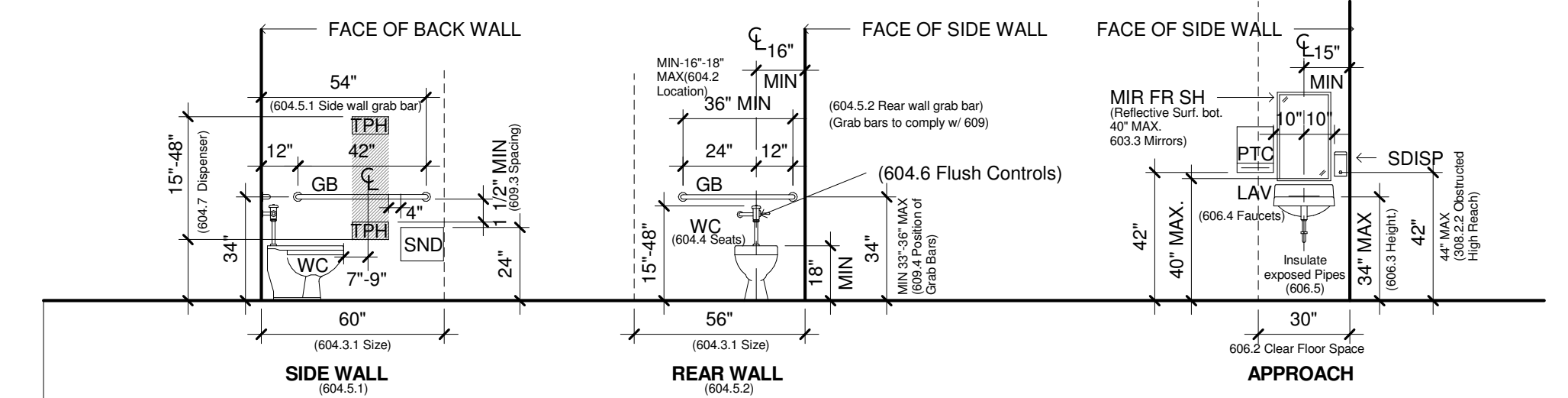


ACCESSIBLE MOUNTING HEIGHTS. CONTROLS SWITCHES & OUTLETS

1/4" = 1'-0"



BAR FASTENERS & MOUNTING SUPPORT SHALL BE ABLE TO WITHSTAND 250 LBS./FT. IN BENDING, SHEAR & TENSION



DESCRIPTION	TOILET / WATER CLOSETS ACCESSIBLE	LAVATORY BASIN/ BATHROOMS
NOTES: SEE SHEET A-600 FOR ACCESSORY AND PLUMBING FIXTURE DETAILS	<ol style="list-style-type: none"> 1. SND- SANITARY NAPKIN DISPOSAL. PROVIDE AT UNISEX, & WOMEN'S PATIENT BATHROOMS ONLY. 2. GB - GRAB BARS. AT NON-ACCESSIBLE WATER CLOSETS OMIT GRAB BARS. 3. FLUSH VALVE CONTROL MUST BE LOCATED ON THE OUTSIDE OR WIDE SIDE OF THE TOILET. 4. GB BLKG. TO BE DESIGNED FOR 250 LBS. LAT AND DEAD LOADS 	<ol style="list-style-type: none"> 1. SEE PLAN FOR SPECIFIC LOCATION CONDITION. 2. SDISP & PTC- BY OWNER, INSTALLED BY CONTRACTOR. 3. ENSURE MIN. OF 27" X 8" DEEP KNEE SPACE 4. EXPOSED HOT AND COLD WATER PIPES ARE TO BE INSULATED

11 SYMBOLS FOR SANITARY FACILITIES

1/2" = 1'-0"

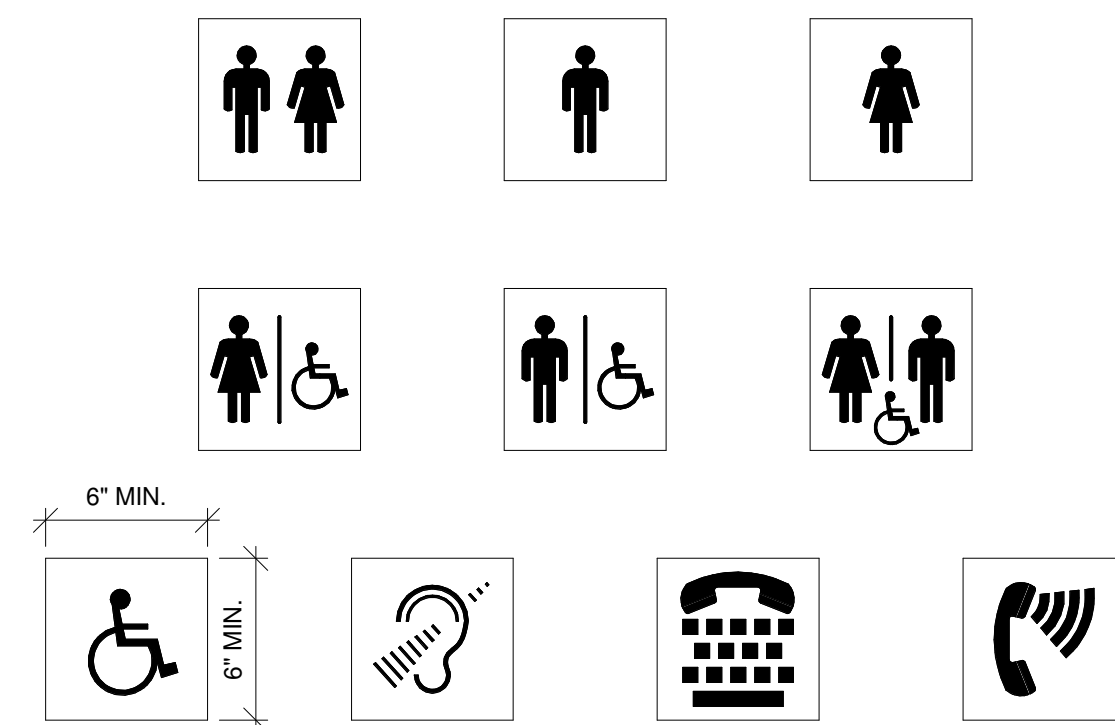
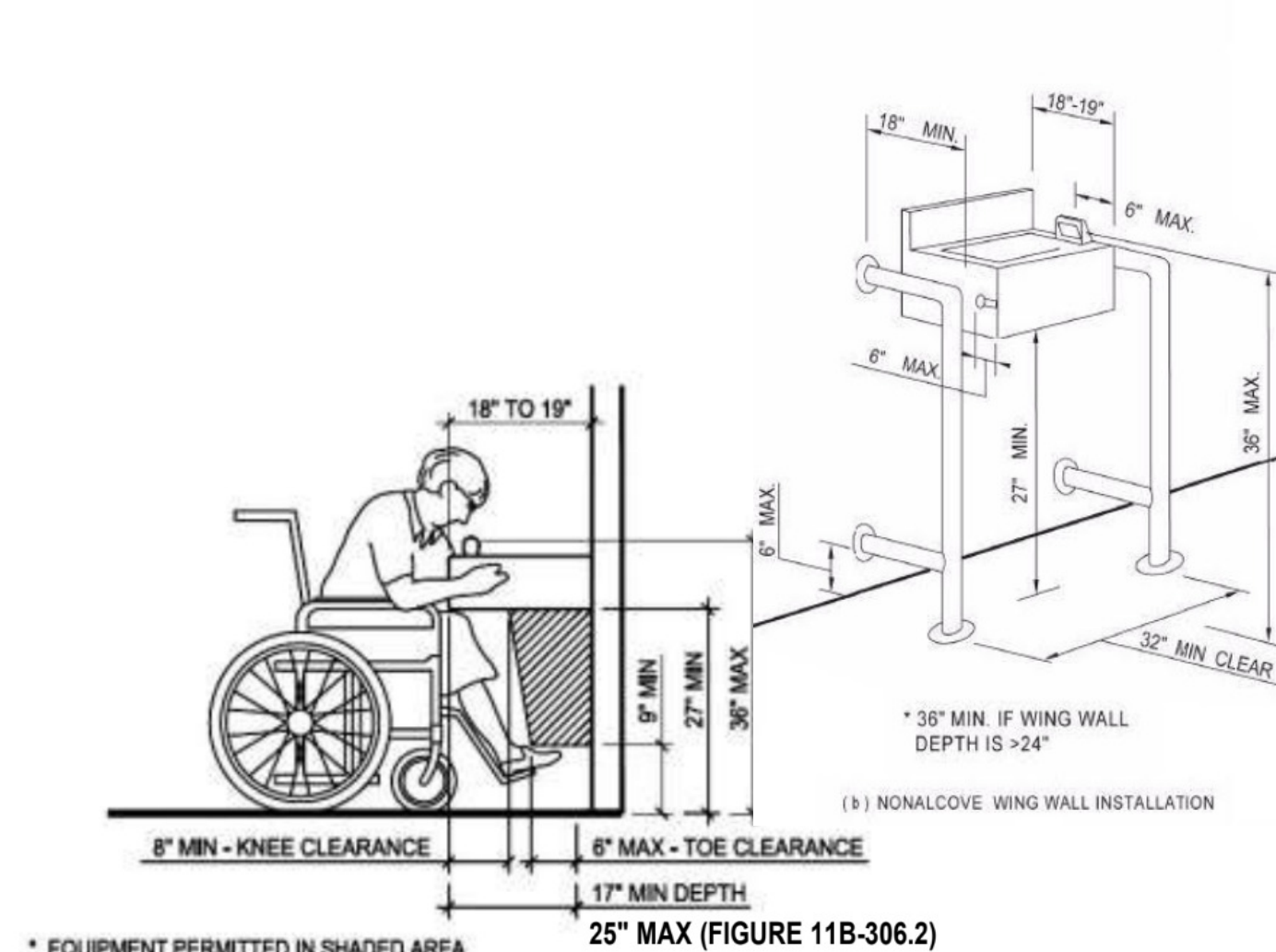


FIG. 113-B TYPICAL PICTOGRAMS
 PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM
 - THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6" MINIMUM IN HEIGHT
 - CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND:
 EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND
 - THE MOUNTING LOCATION OF BRAILLE SIGNAGE SHALL ALLOW A PERSON TO APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT PROTRUDING OBJECTS STANDING WITHIN THE SWING OF THE DOOR

88 ACCESSIBLE TOILET AND LAVATORY CLEARANCES

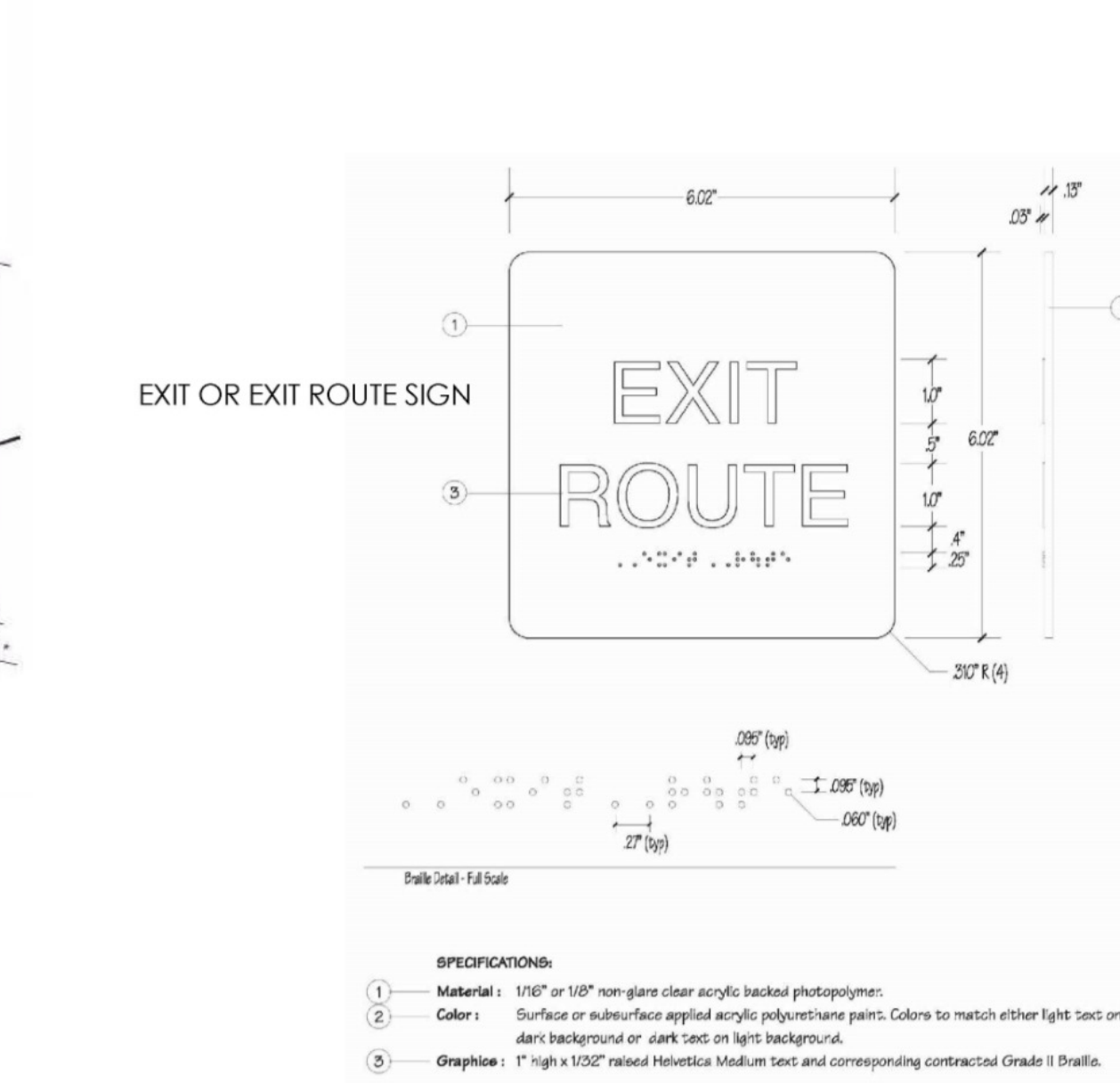
1/2" = 1'-0"



SPOUT HEIGHT AND KNEE CLEARANCE AT DRINKING FOUNTAINS

5 DETAIL. ACCESSIBLE GRAB BAR SUPPORT

3" = 1'-0"

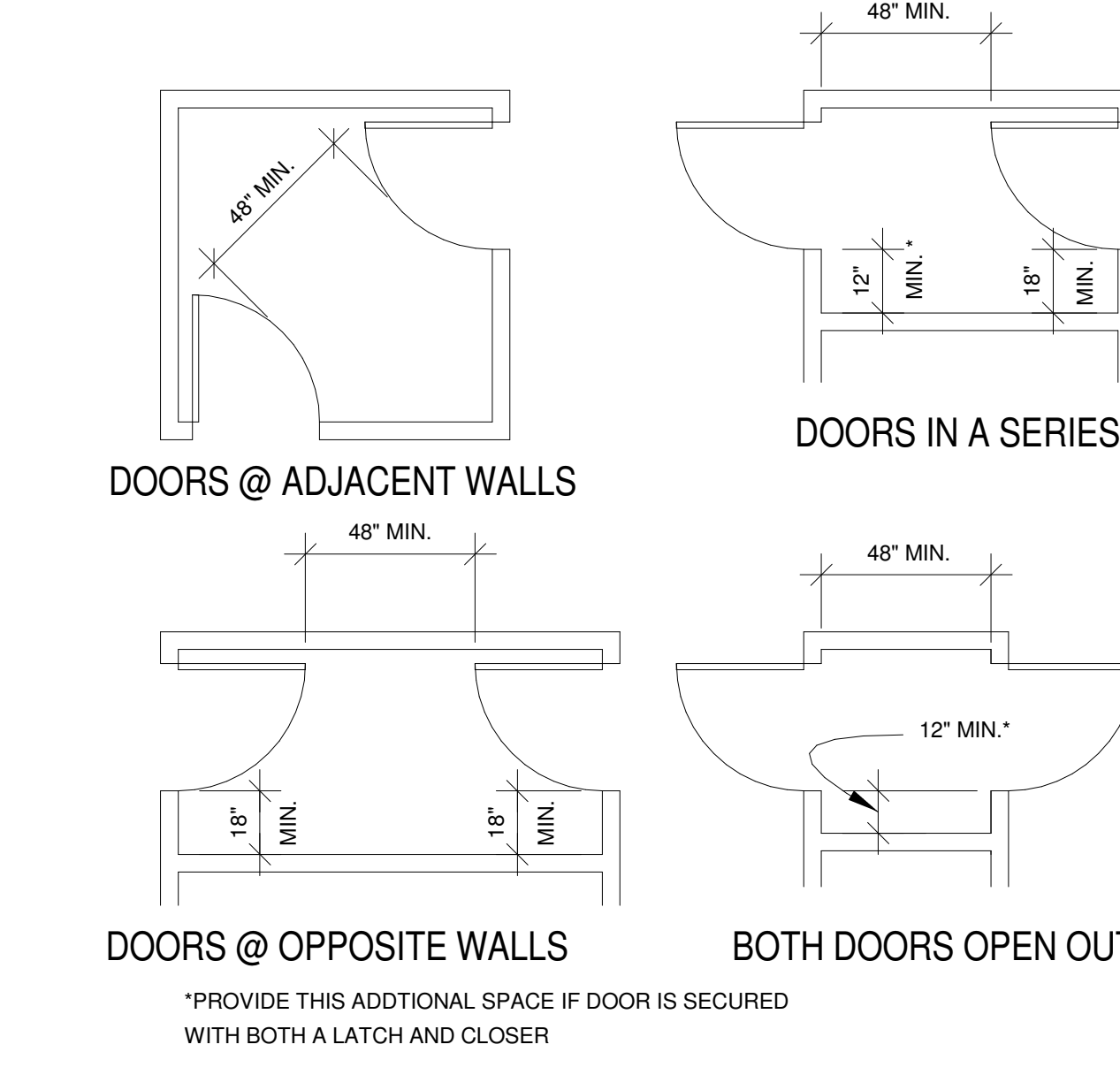


6 TACTILE EXIT SIGN

1" = NTS

2 ACCESSIBLE RESTROOM DETAILS

1/4" = 1'-0"



12 INTERNATIONAL SYMBOLS OF ACCESSIBILITY

3" = 1'-0"

ARCHITECT.
 HB+A Architects
 2811 CASTRO VALLEY BLVD,
 SUITE 109
 CASTRO VALLEY, CA. 94546
 510-830-4797 OFF

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9 ACCESSIBLE DRINKING FOUNTAIN

3/8" = 1'-0"

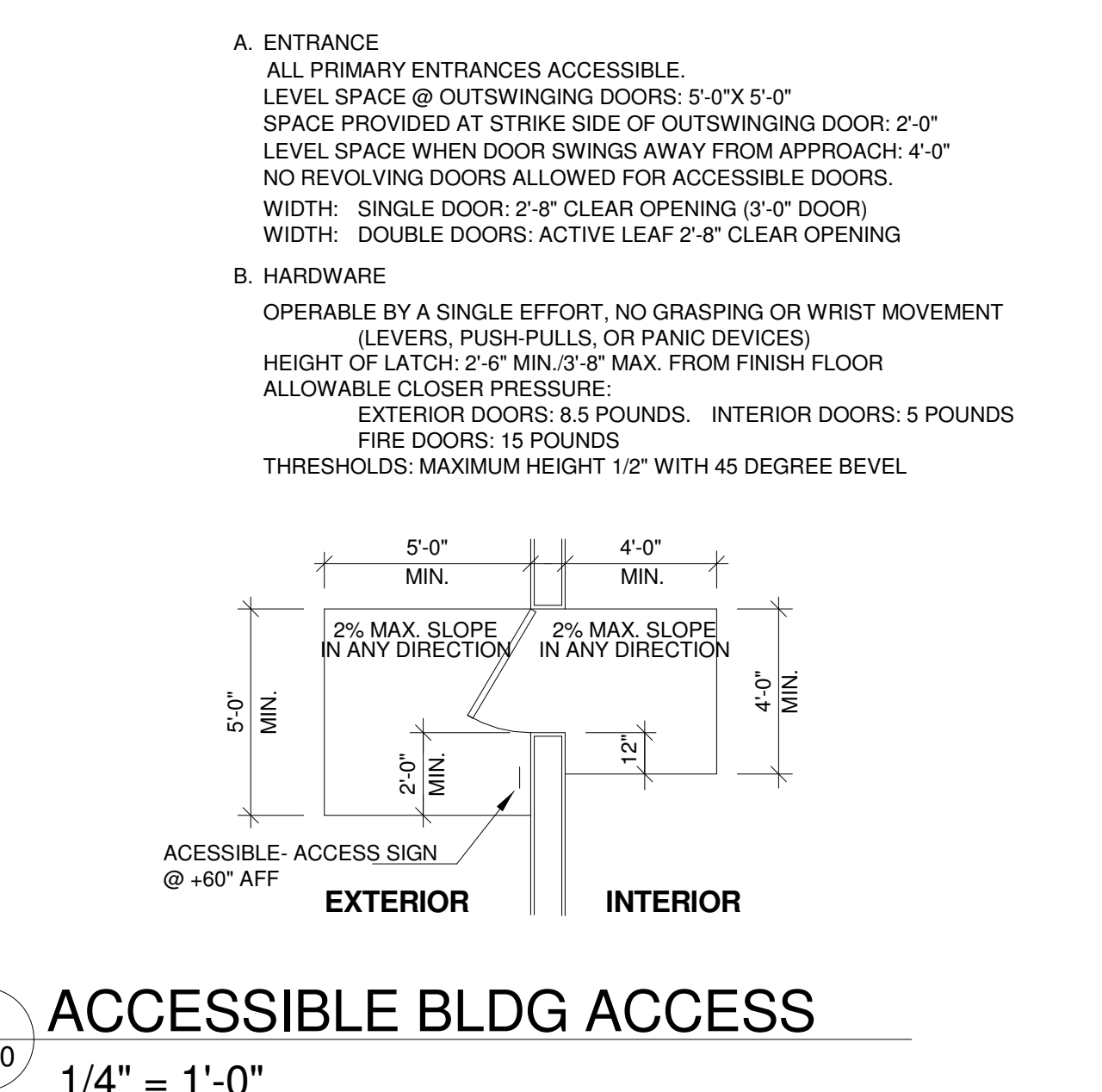
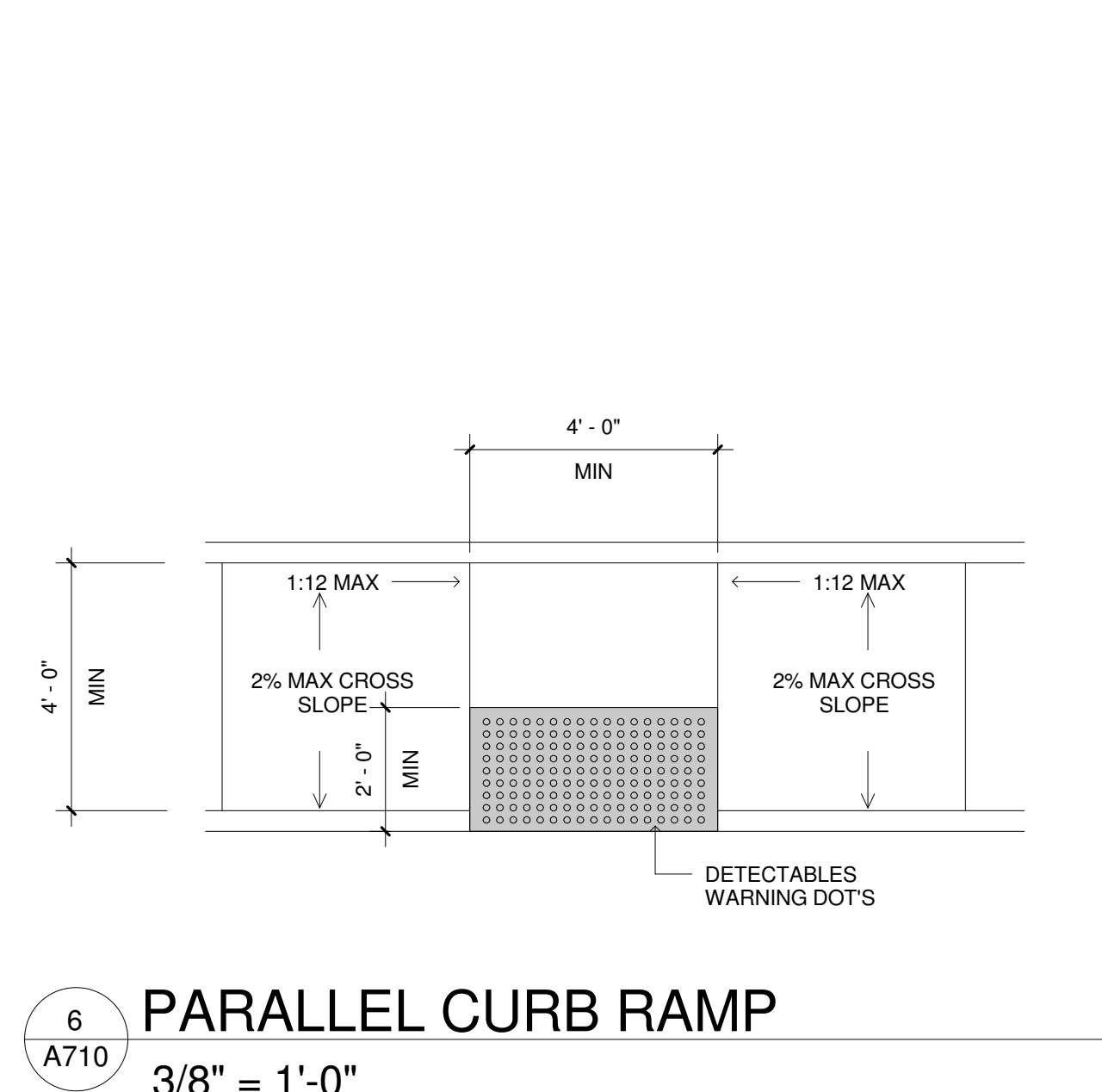
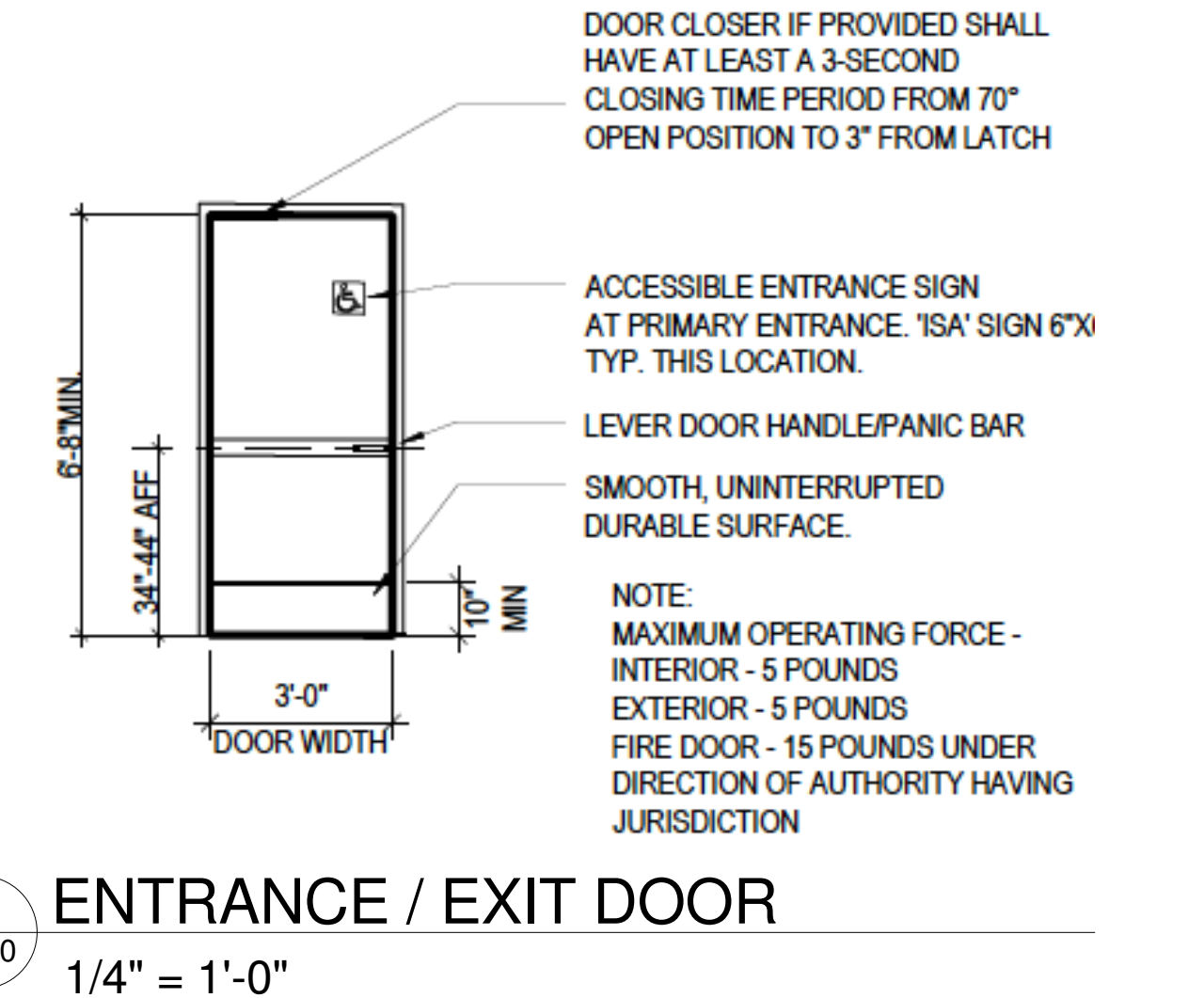
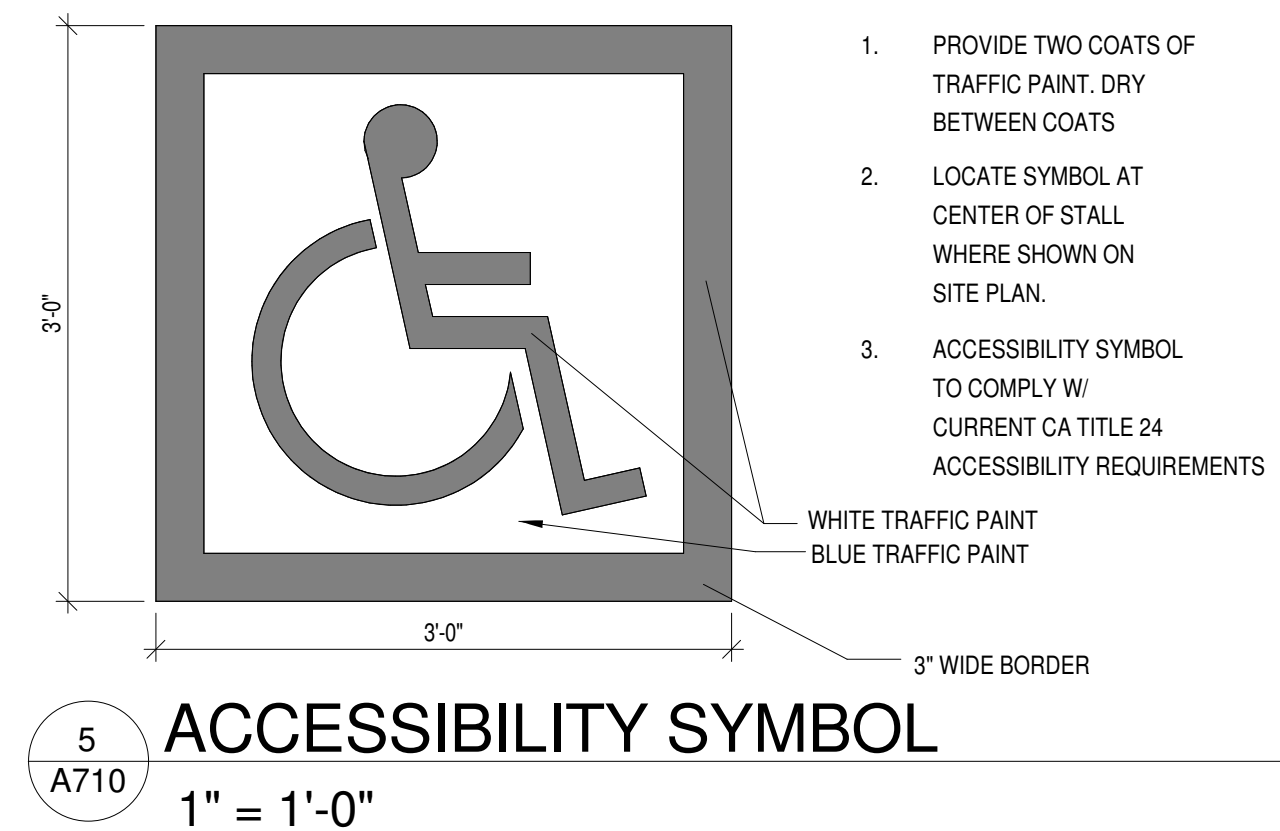
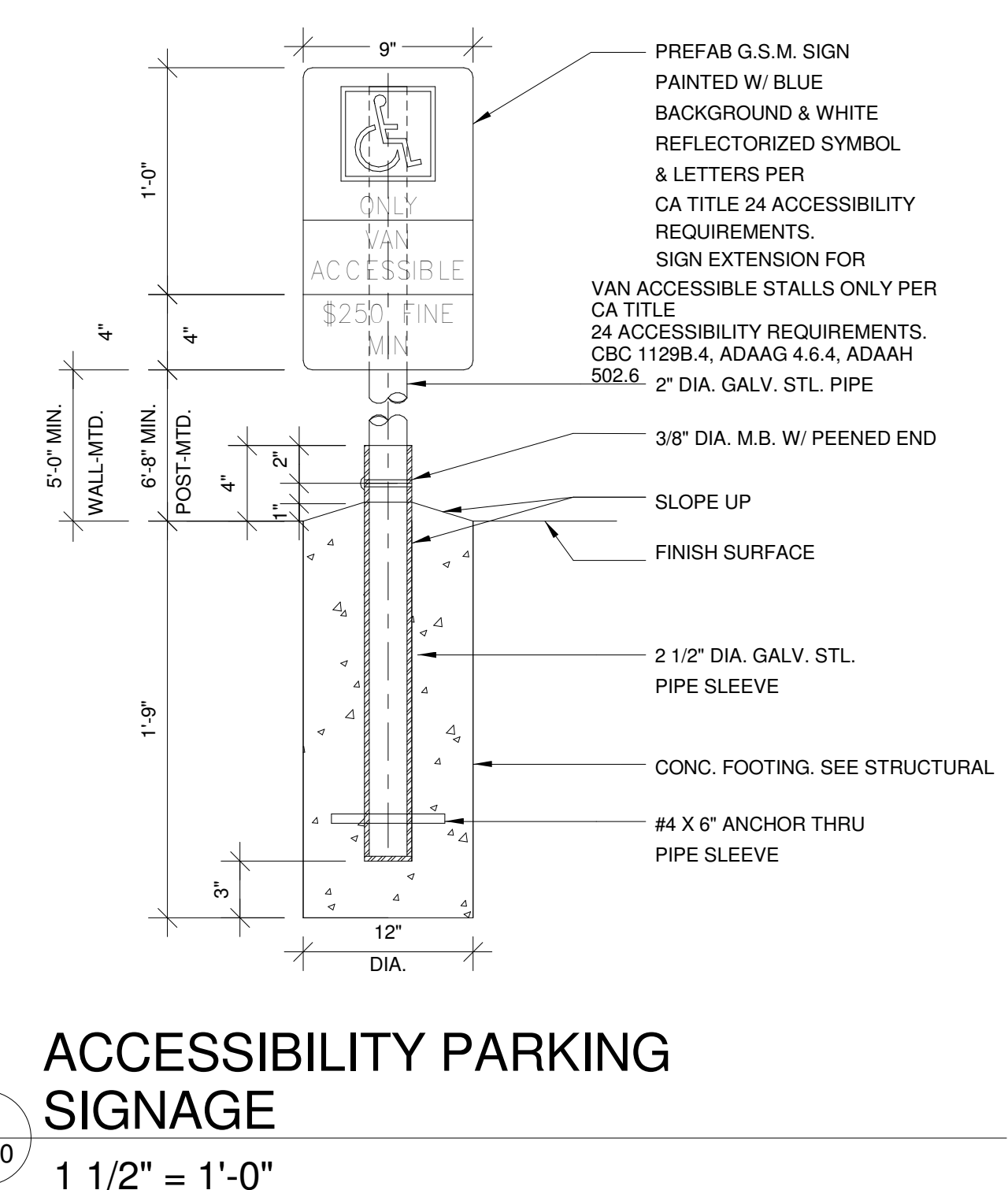
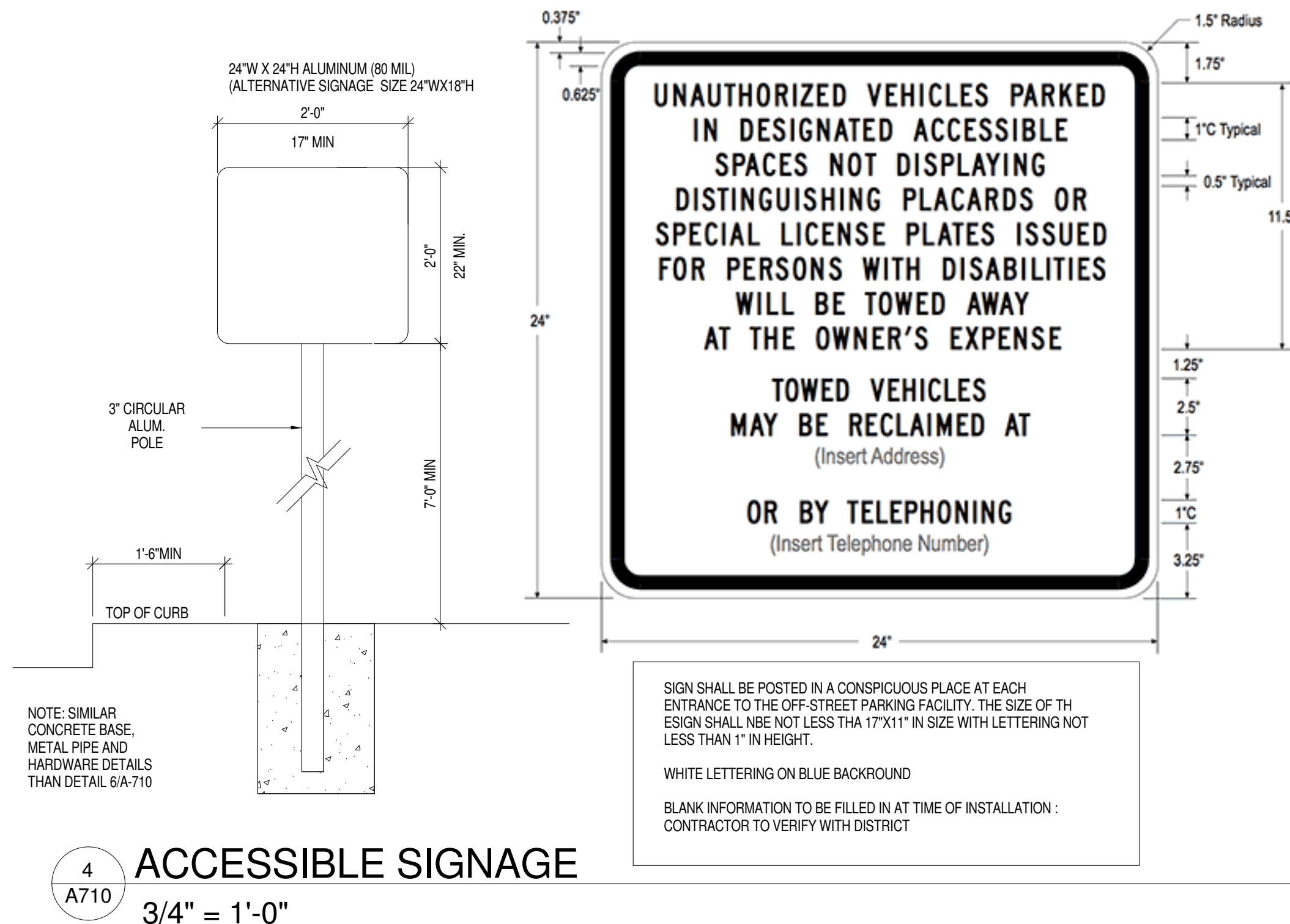
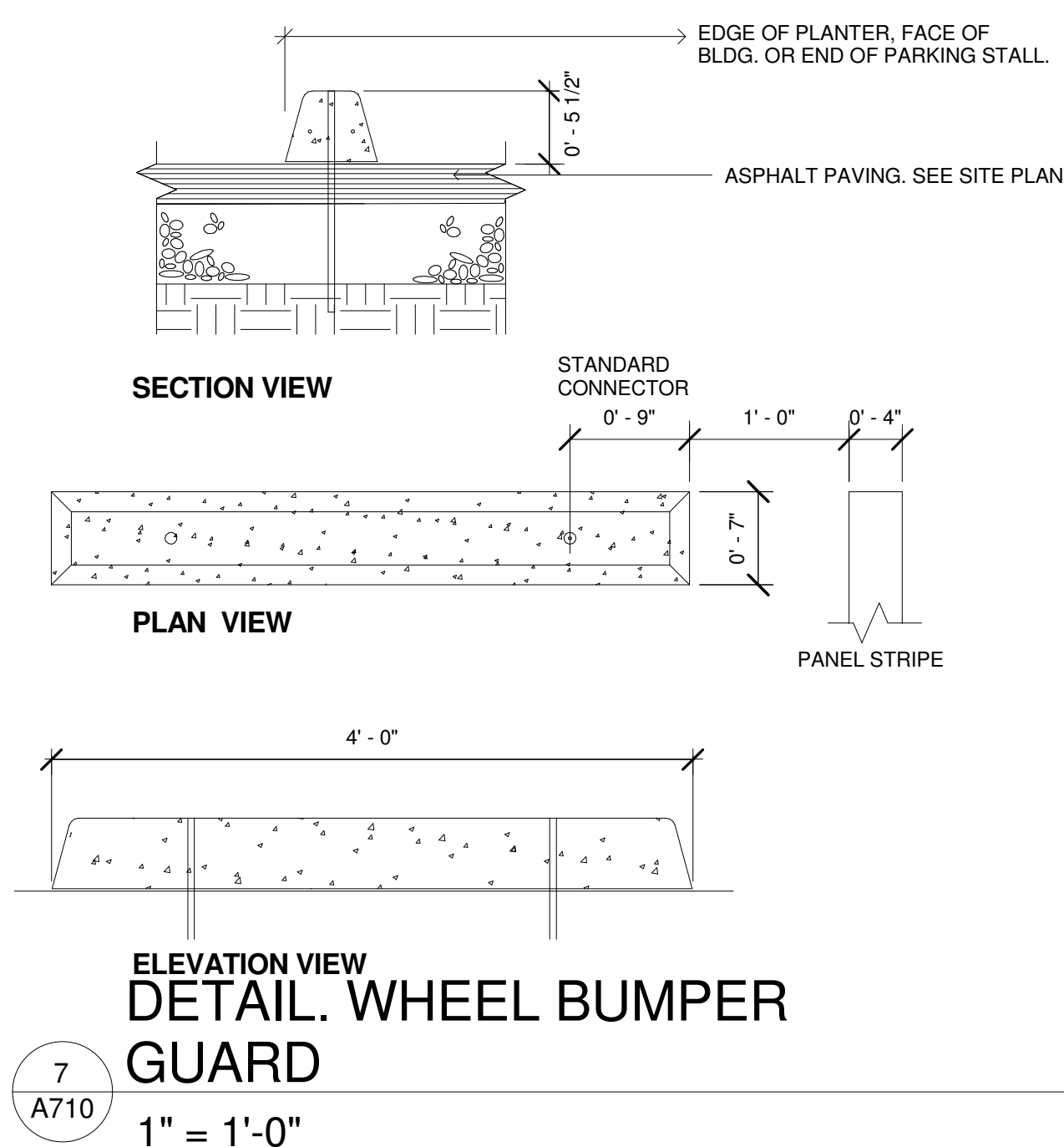
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A700
 ACCESSIBILITY DETAILS (FOR REFERENCE ONLY)

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ADULT DAY HEALTH CARE CENTER
 ADDRESS: 2125 WILLIAMS STREET, SAN LEANDRO, CALIFORNIA, 94577
 CLIENT: COZY NEST ADULT DAY HEALTH CARE, LLC



ARCHITECT.
HB+A Architects
2811 CASTRO VALLEY BLVD,
SUITE 109,
CASTRO VALLEY, CA. 94546
510-830-4797 OFF

hb+a Architects

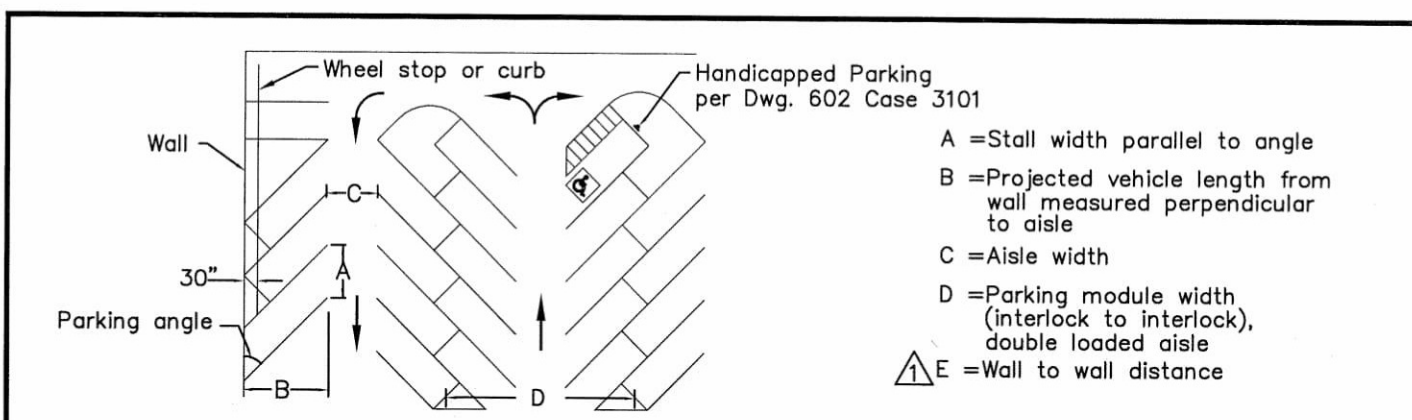
NO.	REVISION DESCRIPTION	BY:	DATE	APPR:	DATE
	REVIEW SET		OCT-2018		
	PERMIT SET		NOV-26-2018		

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SCALE: As indicated
DATE
DESIGN BY: HB+A ARCHITECTS
DRAWN BY: MC 11/27/2018 1:25:45 AM
APPR. BY:
APPR. BY:

A710
SITE DETAILS

TITLE REVIEW SET FOR TENANT IMPROVEMENT
ADULT DAY HEALTH CARE CENTER
ADDRESS 2125 WILLIAMS STREET,
SAN LEANDRO, CALIFORNIA, 94577
CLIENT COZY NEST ADULT DAY HEALTH CARE, LLC

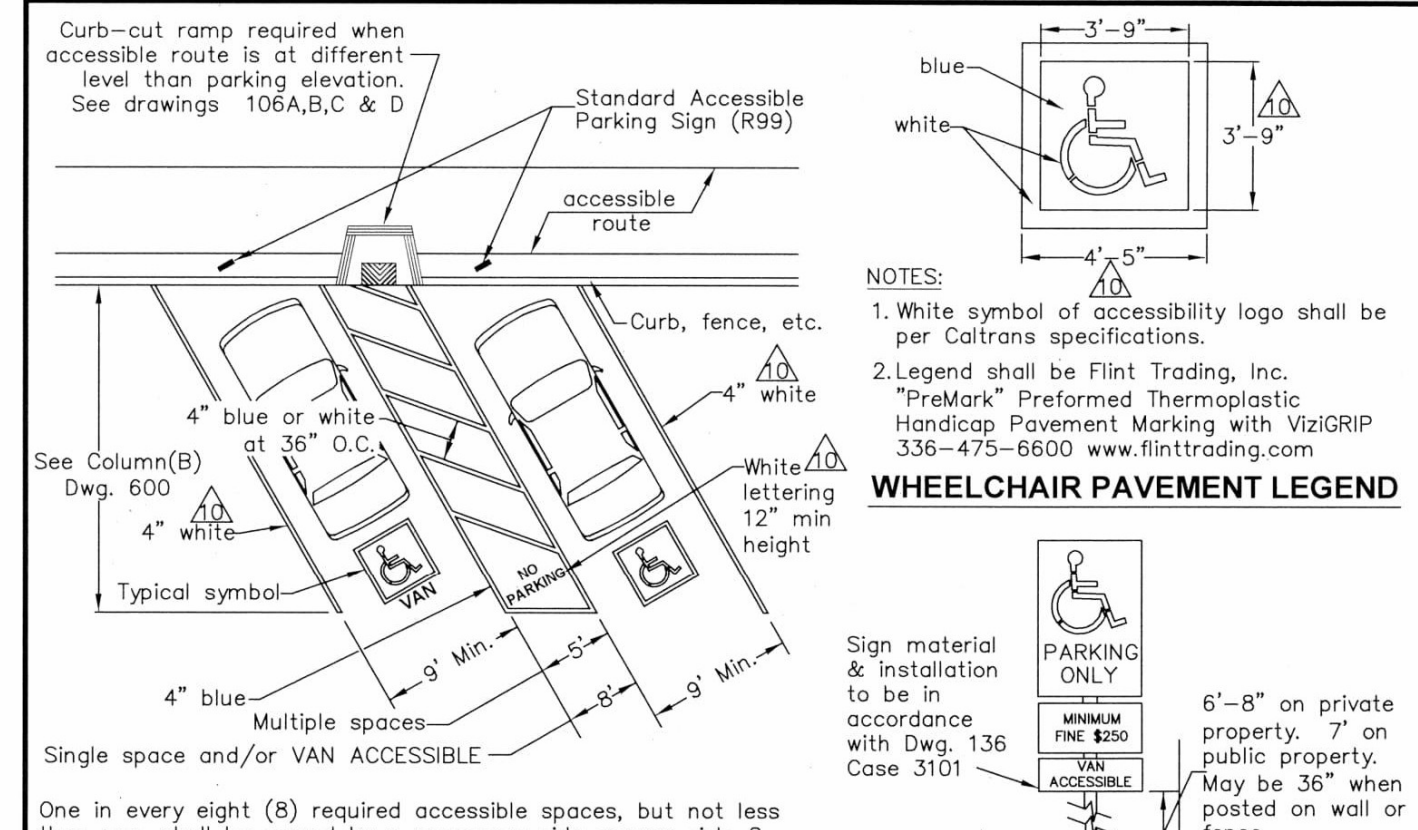


PARKING ANGLE	NOMINAL STALL WIDTHS 3' STRIPE TO 3' STRIPE	TYPICAL PARKING DIMENSIONS			
		A	B	C	D
45 Degrees	8.0' (Compact)	11.3'	16.3'	10.0'	36.9'
	8.5' (Std. Empl.)	12.0'	19.1'	12.1'	44.3'
	9.0' (Standard)	12.7'	19.4'	12.1'	44.6'
60 Degrees	8.0' (Compact)	9.2'	17.0'	13.1'	43.1'
	8.5' (Std. Empl.)	9.8'	20.3'	15.0'	51.3'
	9.0' (Standard)	10.4'	20.3'	15.0'	51.3'
90 Degrees	8.0' (Compact)	8.0'	15.0'	21.8'	51.8'
	8.5' (Std. Empl.)	8.5'	18.5'	24.0'	61.0'
	9.0' (Standard)	9.0'	18.5'	24.0'	61.0'

- NOTES:**
- All work shall be done in accordance with the Standard Specifications for Public Works Construction, the "GREENBOOK", the most current edition and all supplements thereto, adopted by the Southern California Chapter of the American Public Works Association and the Special Provisions (Technical Specifications) thereto adopted by the City.
 - Standard size parking stalls shall be 9.0' x 18.5' minimum.
 - Compact parking stalls shall be marked COMPACT in white letters 6" high minimum.
 - Compact stalls are allowed to comprise a maximum of 35% of the required parking. However, at least one standard size 9.0' x 18.5' parking stall shall be provided for each residential unit.
 - The location of compact parking stalls shall be subject to approval by the City.
 - Employees, student, or other lower turnover parking stalls may be reduced 6" in width - shall be subject to approval by the City.
 - Parking facilities, except those in residential areas with four or less stalls, shall include a turn around area satisfactory to the City Engineer.
 - Handicapped parking stalls, where required, shall be per Dwg. 602 Case 3101 and shall conform to current Americans with Disabilities Act standards. Refer to Part 2, Chapter 24, California Administrative Code for further details and requirements.
 - Standard size stalls at 90 degrees may have the aisle width reduced 12" for each 6" of increased stall width. However, the maximum stall width shall be 12' and minimum aisle width shall be 20'.
 - Parking stalls at the end of aisles abutting walls, fences or other continuous fixed objects shall have an additional width of 12" on each side.
 - Parking stalls next to walls, fences, sidewalks or structures may be required to contain wheel stops, curbs or other protective devices.
 - Parking stalls shall be clearly striped with 3" wide white stripes. Nominal stall width shall be maintained.
 - Aisles for two-way through traffic shall be a minimum of 20' wide.
 - Parking stalls shall be designed so that vehicles can enter or exit without backing across public sidewalk or right-of-way.

NO.		REVISIONS	DATE	BY	APPROVED
1		ADDED WHITE BORDER & UPDATED SIZE DIMENSIONS ON ADA SYMBOL. ADDED 4" WHITE. REVISED NOTE 3	10/16/16	KL	Nick Thom, City Engineer R.C.E. No. 54659 Expires 12/31/17

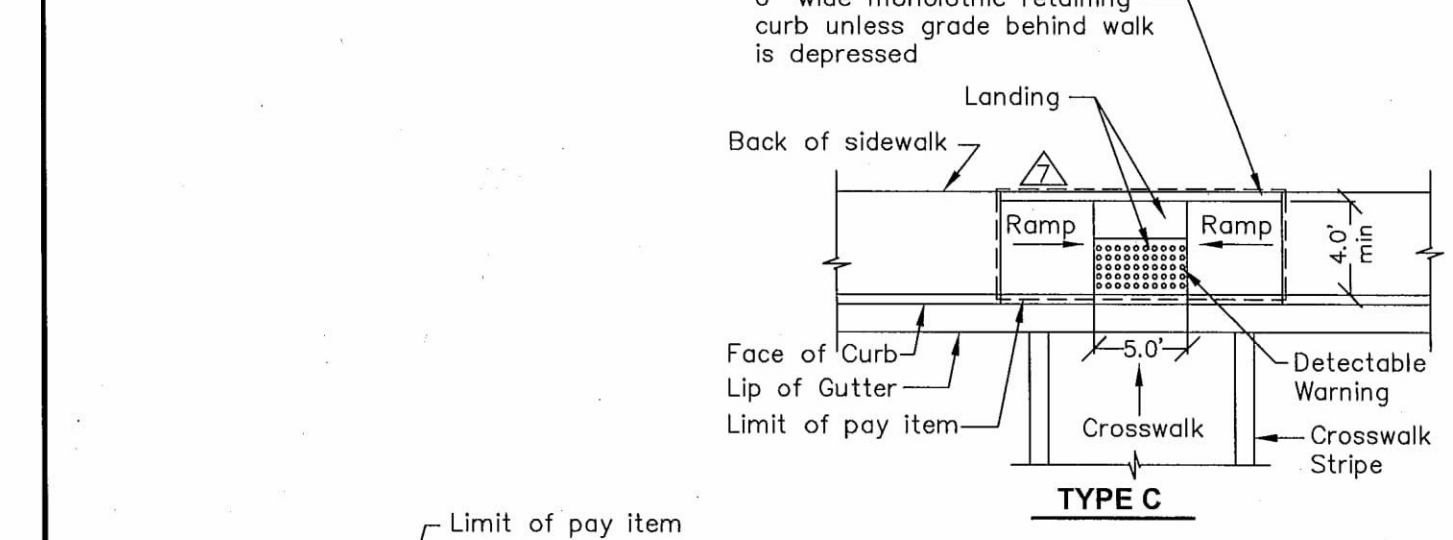
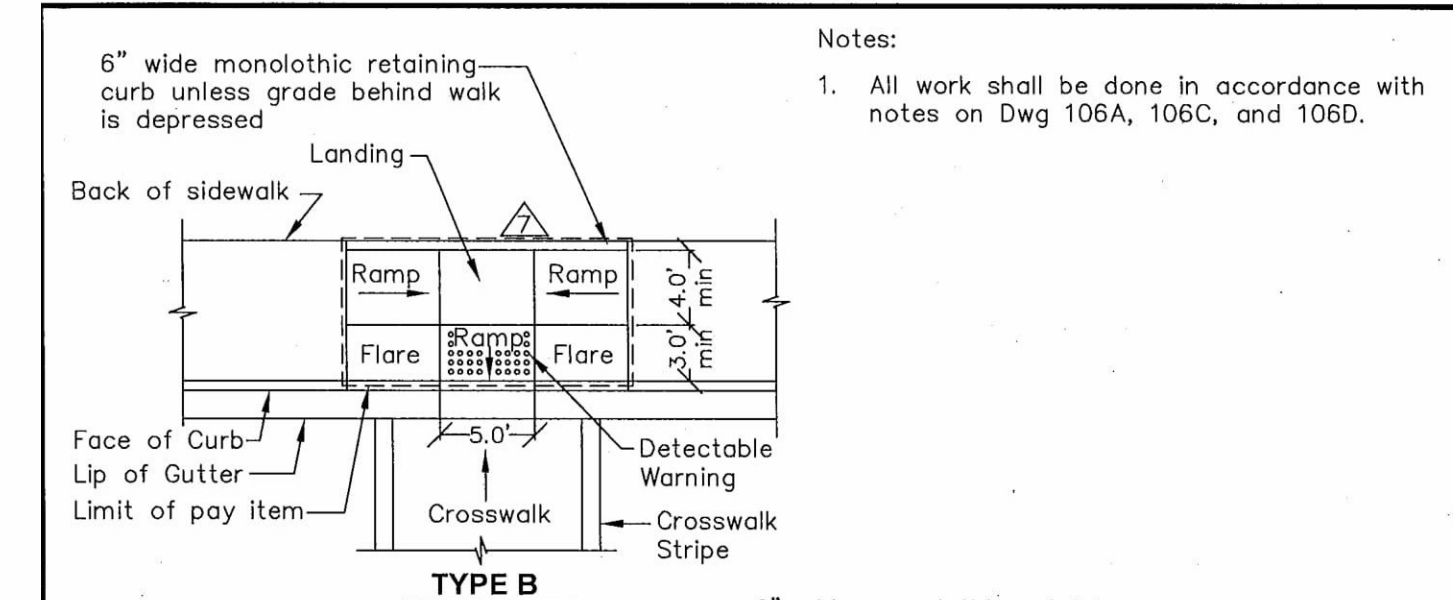
CITY OF SAN LEANDRO * STANDARD PLANS
ACCESSIBLE PARKING SIGN INSTALLATION
DRAWN GF/MLWH/VL CHECKED KJ/KRC DATE May 2002 SCALE NONE SHEET 1 OF 1 DWG. NO. 602 CASE_3101



- NOTES:**
- All work shall be done in accordance with the Standard Specifications for Public Works Construction, the "GREENBOOK", the most current edition and all supplements thereto, adopted by the Southern California Chapter of the American Public Works Association and the Special Provisions (Technical Specifications) thereto adopted by the City.
 - Locations and quantity of accessible spaces subject to review and approval by the City.
 - The parking stalls shall be marked with 4" stripes as shown and a white symbol of accessibility logo on a blue 3' x 3' x 3" background square in each stall. The words "NO PARKING" shall be applied within each access aisle. The letters must be a minimum of 12" tall. All stripes and pavement markings shall be thermoplastic.
 - Parking stalls next to fences, walls, sidewalks or structures may be required to contain wheel stops, curbs or other protective devices.
 - Wheelchair users must not be forced to go behind parked cars other than their own.
 - Accessible spaces must permit use of either car door.
 - Provide a reflectorized R99 and R99b sign in front of each accessible parking space. R99 and R99b signs shall be per California sign specification sheet. Sign location subject to review and approval by the City Engineer. R99 and R99b signs shall be centered at the interior end of the parking space at a minimum height of 7' above finished grade, or centered on the wall at the interior end of the parking space at a minimum height of 36" from the parking space finished grade, ground, or sidewalk.
 - Van accessible parking shall have additional R7-B sign mounted below symbol of accessibility that states "VAN ACCESSIBLE".
 - A R100B sign shall also be posted, in a conspicuous place, at each entrance to an off street parking facility, which includes the following information:
Towed vehicles may be reclaimed at the San Leandro Police Department or by telephoning (510) 577-2740.
Optionally, a R100 sign may be installed at each accessible parking space.

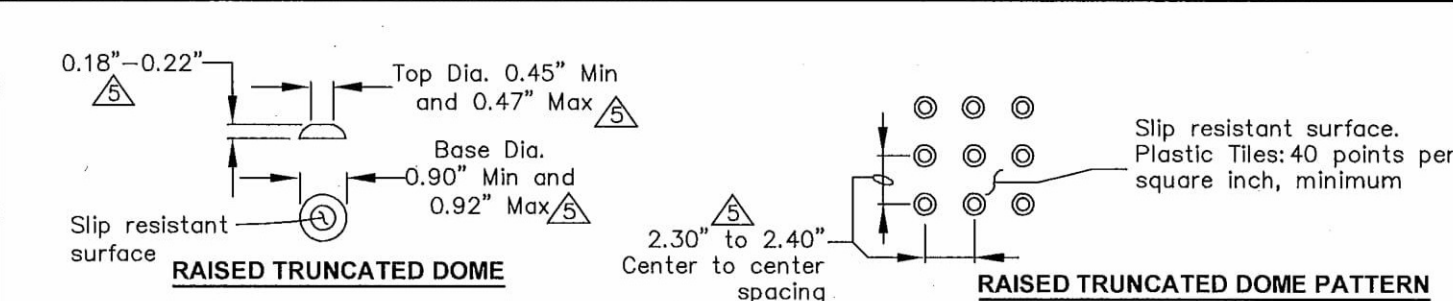
NO.		REVISIONS	DATE	BY	APPROVED
1		ADDED WHITE BORDER & UPDATED SIZE DIMENSIONS ON ADA SYMBOL. ADDED 4" WHITE. REVISED NOTE 3	10/16/16	KL	Nick Thom, City Engineer R.C.E. No. 54659 Expires 12/31/17

CITY OF SAN LEANDRO * STANDARD PLANS
ACCESSIBLE PARKING SIGN INSTALLATION
DRAWN GF/MLWH/VL CHECKED KJ/KRC DATE May 2002 SCALE NONE SHEET 1 OF 1 DWG. NO. 602 CASE_3101



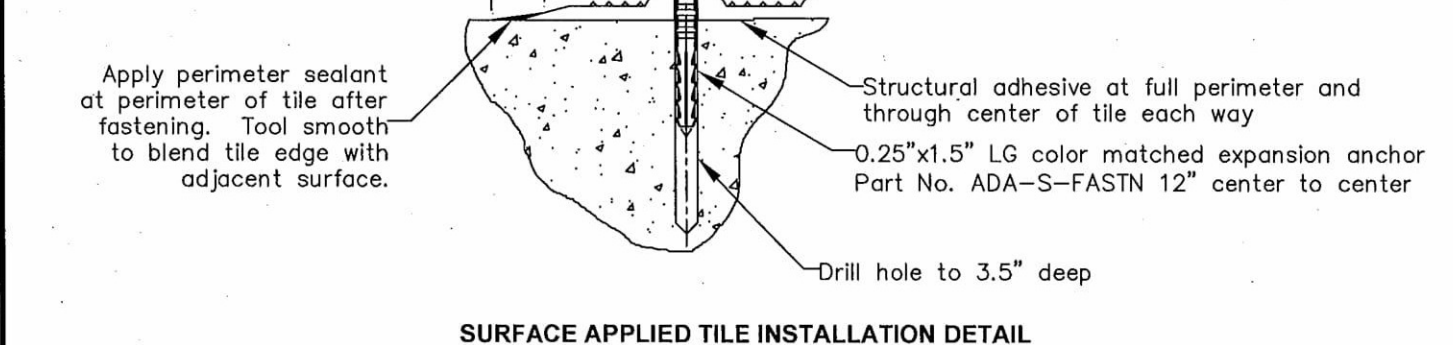
NO.		REVISIONS	DATE	BY	APPROVED
1		REMOVED "GROoved BORDER" CHANGED AB OR Misc. BASE TO 90% RC	4/17/17	NT	Nick Thom, City Engineer R.C.E. No. 54659 Expires 12/31/17

CITY OF SAN LEANDRO * STANDARD PLANS
WHEELCHAIR CURB CUT RAMP TYPE B, C, & D
DRAWN GF/MLWH/VL CHECKED KJ/KRC DATE June 2004 SCALE NONE SHEET 2 OF 4 DWG. NO. 106B CASE_3101



- TRUNCATED DOMES - PLASTIC TILES: Tiles shall be "Armor Tile" as manufactured by Engineered Plastics Inc., Tel: (800)-882-2525, or approved equal. Tiles shall be a single tile, full width x 36" deep nominal, manufactured of an epoxy polymer composite with an ultraviolet stabilizer, colorfast coating employing aluminum oxide particles in the truncated cones. Color shall be Safety Yellow (Federal Color #33536). The tile shall incorporate an in-line pattern of truncated domes; rows shall be oriented parallel with ramp direction; domes shall be aligned throughout entire detectable surface area. The field area shall consist of a nonslip surface with a minimum of 40-90 raised points .045" high, per square inch. The tile shall be manufactured with embedment flanges, 3" center to center, 1" min. depth with 5/16" diameter holes, 3 holes minimum per flange. Where tiles are cut, sealant shall be worked under the tile along perimeter wherever the embedment flange is removed.

- TRUNCATED DOMES - CONCRETE: Upon prior approval from Engineer high strength concrete panels reinforced with pre-stressed stainless steel strands may be used. Concrete panels shall be CAST-IN-PLACE Detectable Warning Panels Tel: (530) 878-2440 or approved equal; two panels max to achieve full width x 36" deep nominal; 7/8" thick, 69 MPa (10,000 psi) high strength concrete; 1/16" Type 304 SS pre-stressed reinforcement strands 4" O.C. each way and along edges; color shall be yellow unless otherwise specified. Installation shall be per manufacturers directions.
- TRUNCATED DOMES - SURFACE APPLICATION: Upon prior approval from Engineer, retrofit and unique circumstances may allow surface application:
 - Surface applied detectable tiles shall be "Armor Tile" manufactured without embedment flanges and the edges shall be beveled, sloped at 1:2 maximum. When the detectable surface edge and/or dome is cut and the resulting edge is not flush with the surface of the ramp, the edge shall be beveled or conformed with perimeter sealant at 1:2 maximum slope in accordance with the manufacturer's requirements.
 - Adhesive: Urethane electromagnetic adhesive by Sika Corp., Uniroyal, Mapei, Bostik, or approved equal.
 - Fasteners: Color matched, corrosion resistant, flat head drive anchor: 1/4" diameter x 1-3/4" long, 12" center to center both directions minimum. Armor-Drive by Engineered Plastics or approved equal.
 - Perimeter Sealants: Epoxy two component sealant by Powers, Simpson, Hilti or approved equal. Aluminum gray color.



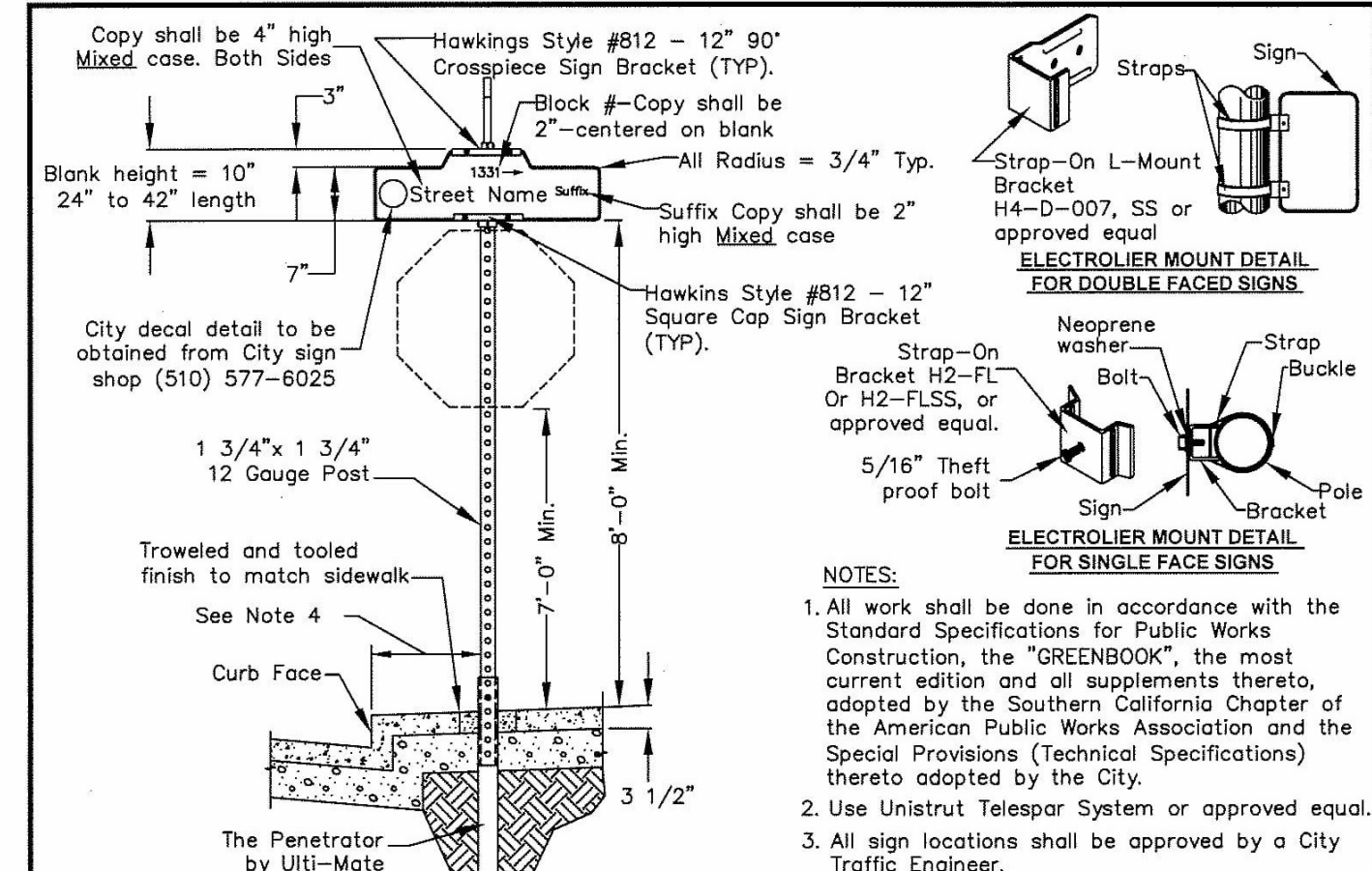
NO.		REVISIONS	DATE	BY	APPROVED
1		UPDATED "RAISED TRUNCATED DOME" DIMENSIONS. REVISED NOTE NUMBERS. REVISED NOTE 14.	4/17/17	NT	Nick Thom, City Engineer R.C.E. No. 54659 Expires 12/31/17

CITY OF SAN LEANDRO * STANDARD PLANS
WHEELCHAIR CURB CUT RAMP DETECTABLE WARNING SURFACE NOTES
DRAWN GF/MLWH/VL CHECKED KJ/KRC DATE June 2004 SCALE NONE SHEET 4 OF 4 DWG. NO. 106D CASE_3101

- All work shall be done in accordance with the Standard Specifications for Public Works Construction, the "GREENBOOK", the most current edition and all supplements thereto, adopted by the Southern California Chapter of the American Public Works Association and the Special Provisions (Technical Specifications) thereto adopted by the City.
- Concrete shall be 213-C-17 (470-C-2500, 5 sack, one inch maximum aggregate, 2500 psi). Aggregate base (AB) shall be Crushed AB (CAB) or Crushed Miscellaneous Base (CMB).
- Concrete for curb, gutter, sidewalk and driveway shall contain 0.45kg (one (1) pound) of lampblack per cu. yd. (at both plant), 1.8kg (4 pounds) of lampblack to be used in the basket weave sidewalk. Lampblack finish see note 20.
- Subgrade and Crushed Aggregate Base or Crushed Misc. Base shall be compacted to not less than 90% relative compaction, as tested by a City approved lab at contractor's expense, except under Valley Gutter, which shall be compacted to 95% RC.
- Expansion joints shall be constructed at the EC and BC of curb returns, at each side of driveways and at 20' nominal intervals. 1/4" bituminous impregnated felt, ASTM 994 shall be installed vertically, shall extend through the full depth and width of the work and be installed perpendicular to the work. Weakened-plane joints, 2" deep for sidewalks, 3" deep for 6" thick driveways, and 4" deep for 8" thick driveways, shall be spaced at 10'-0" nominal intervals, and at each side of curb ramps, mid-points of driveways with curb cuts exceeding 20'-0" and as directed by the City Engineer. All joints shall extend through the curb and gutter.
- Exposed surfaces of sidewalk, driveway, curb and gutter shall be steel trowel finished.
- As shown Dwg 100, all exposed edges, including at expansion joints and weakened-plane joints, shall be trowel to 1/2" radius. Decorative finish see note 20.
- Sidewalk shall be score marked at 30' nominal intervals each way or to match existing score marks. Monolithic curb, sidewalk and driveway shall have a continuous score mark 8" from curb face.
- All concrete shall be cured by keeping continuously moist for three days after pouring either by sprinkling, covering with a waterproof membrane, or applying TYPE I concrete curing compound. Decorative finish see note 20.
- Extruded curb or gutter requires PRIOR approval by the City Engineer. Extruded sidewalks or driveways are prohibited.
- For existing AC overlaid gutter, flow line of new concrete gutter shall match existing concrete gutter flow line. Curb lip at driveways shall be increased to 1/2" higher than AC overlay. AC overlay shall be reinstated to establish flow line.
- All gutter lips, sidewalk, curb ramp or driveway edges, or curbs constructed adjacent to AC, shall be formed, finished and trowel. Install AC pavement tie-in per Dwg 128 Case 3101
- All concrete improvements shall be dowelled to adjacent concrete improvements using 12" long 10M (#3) rebar dowels (2 dowels min. each side) at 36" OC max. 4" min. embedment. Drill for drive tight fit or epoxy in place. Decorative finish see note 20.
- Dowels shall be installed per Note 13 when planter strips are filled with concrete or when sidewalk is added to the back of the existing walk. Street tree wells shall be provided in accordance with City requirements.
- All concrete improvements to be removed shall be saw cut along existing sorelines to a minimum depth of 1/2 the thickness of the concrete improvement. No section to be replaced shall be smaller than 30" in either length or width. If the saw cut in sidewalk or driveway would fall within 30" of a construction joint, expansion joint, cold joint, or edge, the concrete shall be removed to the joint or edge, including AB. All saw cut residue shall be vacuumed concurrently with sawing operation.
- New imported full depth AB shall be placed under all new or replacement curb, gutter, sidewalk and driveway.
- The typical City standard curb height is 6" and the typical City gutter width is 18". However, existing curb heights 3" to 9" and gutter widths 12" to 24" shall be matched in kind when directed by the City Engineer.
- Any acts of vandalism or deformation to finish of the concrete shall be repaired within the first 24 hrs. after placement. Repairs made after 24 hrs. of placement shall consist of complete removal and replacement of the affected area.
- Subgrade native soil backfill shall be flush with adjacent concrete finish grade along all form voids and planter strips. Reseal as appropriate.
- Decorative Finish Concrete Paving shall be colored and finished as shown on plans. Existing decorative finishes shall be matched in kind. Expansion joints shall be constructed and sealed as shown Dwg 100. Curing compound/color hardener/wax sealer matching decorative finish shall be used.

NO.		REVISIONS	DATE	BY	APPROVED
1		REVISED NOTE 12	6/2/13	DS	Nick Thom, City Engineer R.C.E. No. 54659 Expires 12/31/15

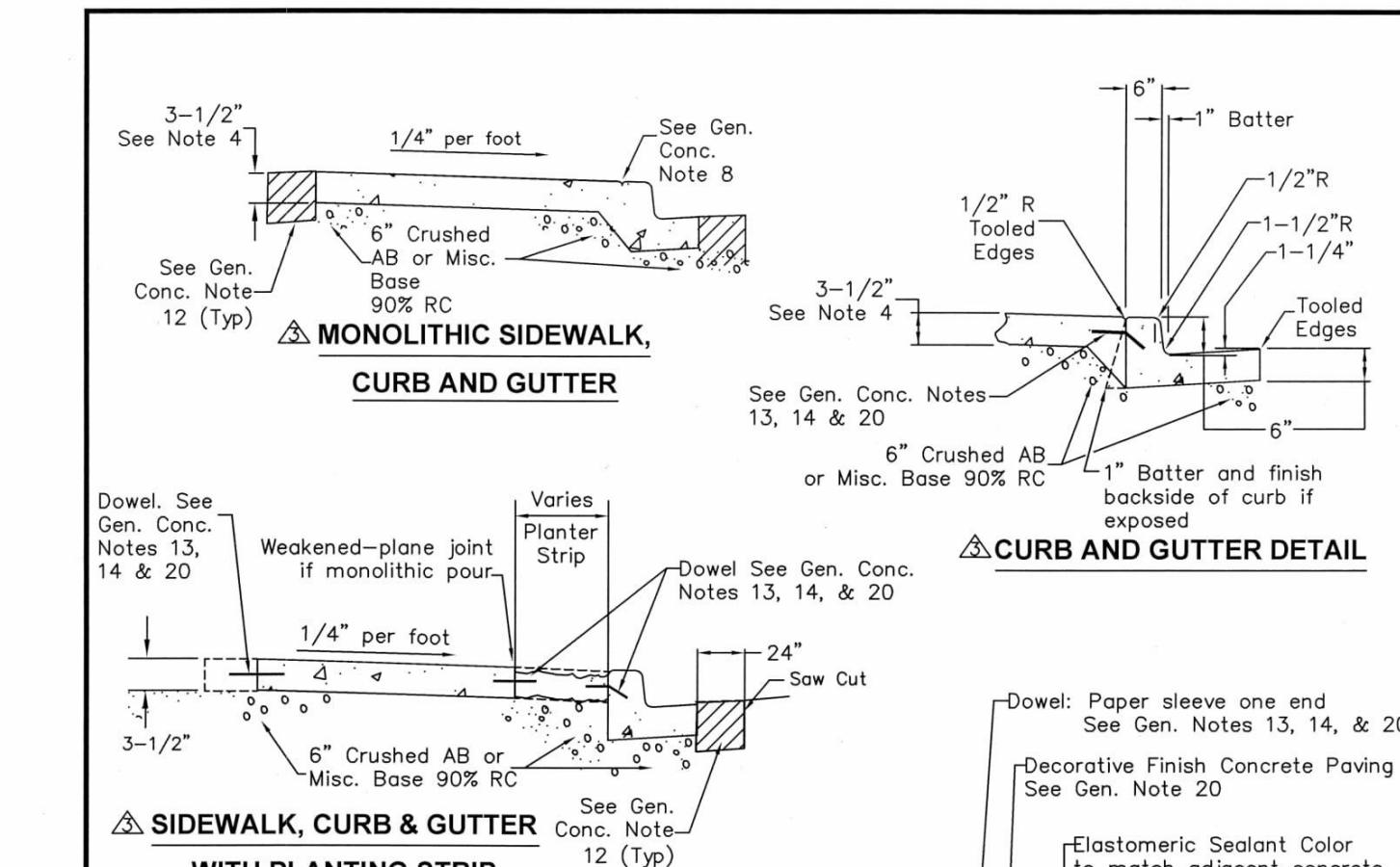
CITY OF SAN LEANDRO * STANDARD PLANS
GENERAL CONCRETE NOTES
DRAWN GF/MLWH/VL CHECKED KJ/KRC DATE May 2002 SCALE NONE SHEET 1 OF 1 DWG. NO. 104 CASE_3101



- All work shall be done in accordance with the Standard Specifications for Public Works Construction, the "GREENBOOK", the most current edition and all supplements thereto, adopted by the Southern California Chapter of the American Public Works Association and the Special Provisions (Technical Specifications) thereto adopted by the City.
- Use Unistrut Telespar System or approved equal.
- All sign locations shall be approved by a City Traffic Engineer.
- Install posts 21" from curb face when distance from post to back of sidewalk is 4' or greater. Otherwise install post behind sidewalk.
- Install combined sign when possible to reduce number of sign posts.
- Fasten signs to posts with Aluminum Rivets or approved equal.
- Posts shall be pre-galvanized per ASTM A-525 coating designation G90.
- Core drill sidewalk or remove complete sidewalk panel.
- Use SS bolts and hardware. Do not over torque bolts.
- Sign blank type-"Hump back Sign"-10" height w/12" hump length-Western Highway # 29A109 - 125" gauge aluminum. Length to be 24", 30", 36", or 42".
- Reflective sheeting shall be 3M Reflective Sheeting DG3 White 4080, Top Sheeting -Transparent, acrylic, colorless film with Pressure Sensitive adhesive for application over reflective sheeting-Electro Cut TM Film green 112Z, or approved equal.
- Font to be Highway Gothic "C" Non-AK Rev. D.

NO.		REVISIONS	DATE	BY	APPROVED
1		REVISED NOTE 4	6/2/13	DS	Nick Thom, City Engineer R.C.E. No. 54659 Expires 12/31/15

CITY OF SAN LEANDRO * STANDARD PLANS
SIGN INSTALLATION AND MOUNTING DETAIL
DRAWN GF/MLWH/VL CHECKED KJ/KRC DATE May 2002 SCALE NONE SHEET 1 OF 1 DWG. NO. 136 CASE_3101



- All work shall be done in accordance with the Standard Specifications for Public Works Construction, the "GREENBOOK", the most current edition and all supplements thereto, adopted by the Southern California Chapter of the American Public Works Association and the Special Provisions (Technical Specifications) thereto adopted by the City.
- General Concrete Notes Dwg. 104 Case 3101 shall apply.
- Minimum sidewalk width shall be 6'-0" for residential, 8'-0" for commercial areas unless approved otherwise by City Engineer.
- Sidewalk contiguous with rolled curb shall be 6" thick.

NO.		REVISIONS	DATE	BY	APPROVED
1		REMOVED "LIMIT OF PAY ITEM BY SF/LP"	8/23/12	AO	Nick Thom, City Engineer R.C.E. No. 54659 Expires 12/31/13

CITY OF SAN LEANDRO * STANDARD PLANS
CONCRETE CURB, GUTTER AND SIDEWALK
DRAWN GF/AMS CHECKED KJ/KRC DATE May 2002 SCALE NONE SHEET 1 OF 1 DWG. NO. 100 CASE_3101

ARCHITECT.
HB+A Architects
2811 CASTRO VALLEY BLVD,
SUITE 109,
CASTRO VALLEY, CA. 94546
510-830-4797 OFF

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1	REVIEW SET				OCT-2018
2	PERMIT SET				NOV-26-2018

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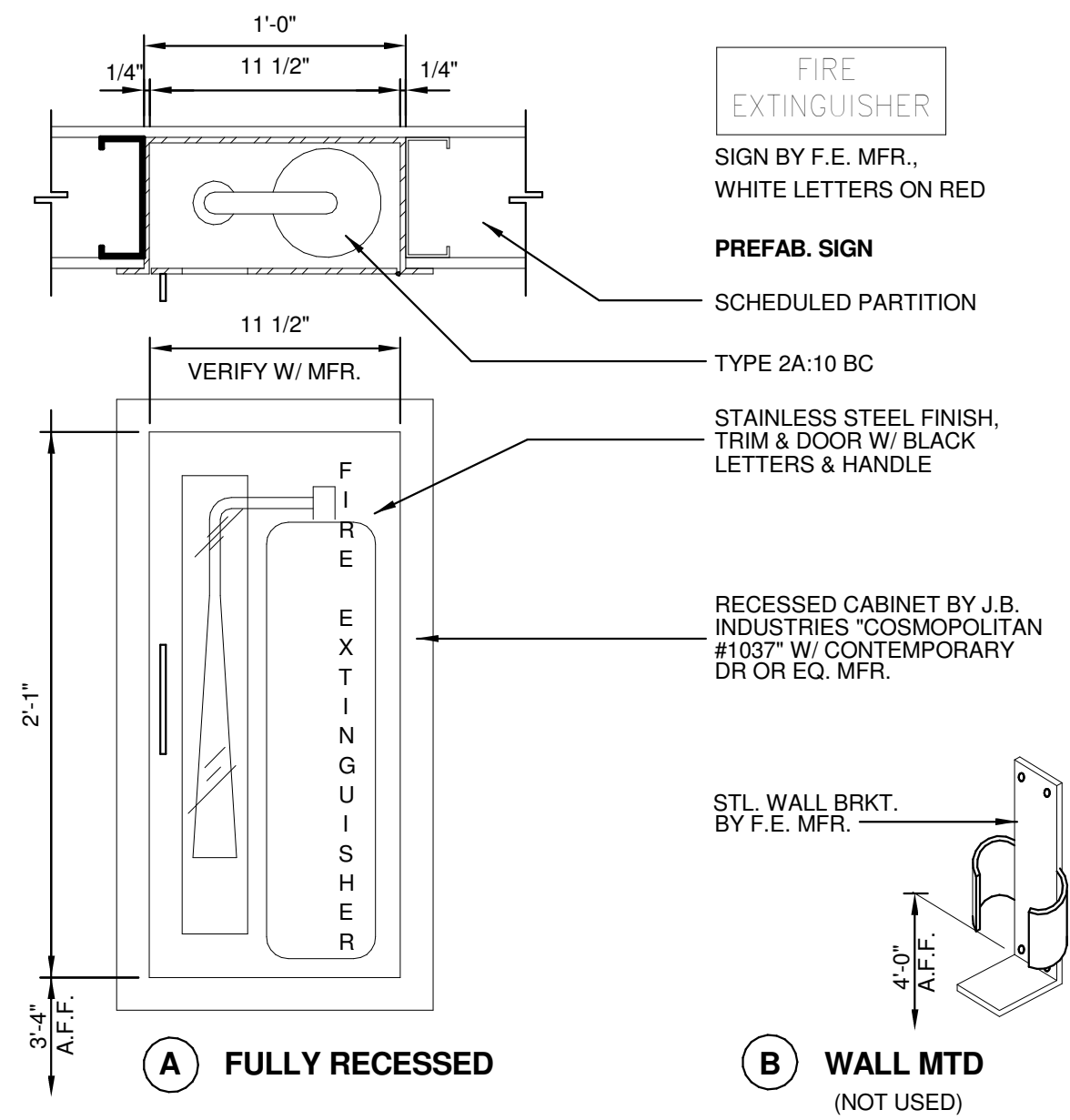
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1:25:45 AM

TITLE REVIEW SET FOR TENANT IMPROVEMENT
A720
STANDARD SITE DETAILS (FOR REFERENCE ONLY)

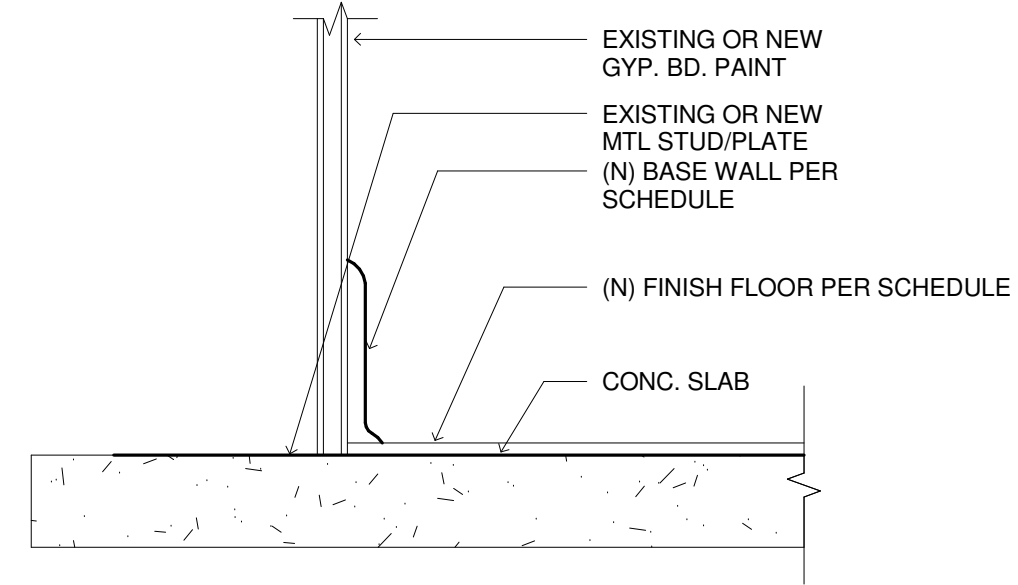
CLIENT: 2125 WILLIAMS STREET,
SAN LEANDRO, CALIFORNIA, 94577
COZY NEST ADULT DAY HEALTH CARE, LLC

TITLE REVIEW SET FOR TENANT IMPROVEMENT
A720
STANDARD SITE DETAILS (FOR REFERENCE ONLY)

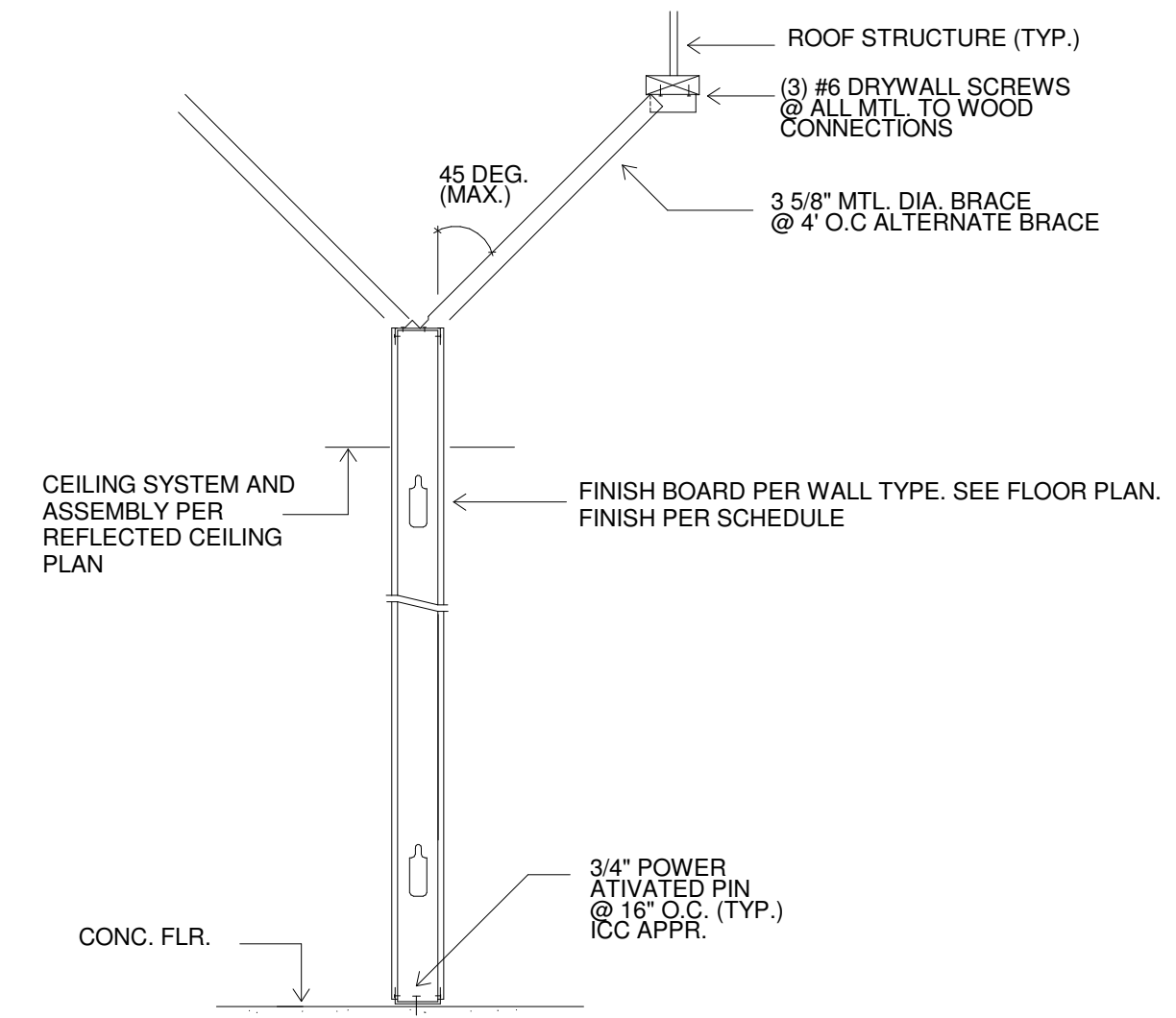
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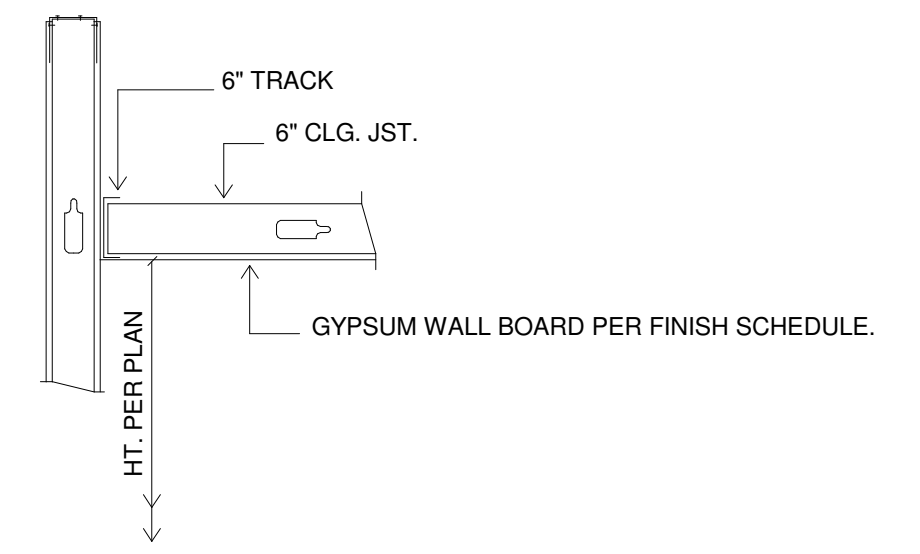
6 FIRE EXTINGUISHER
A800
1 1/2" = 1'-0"



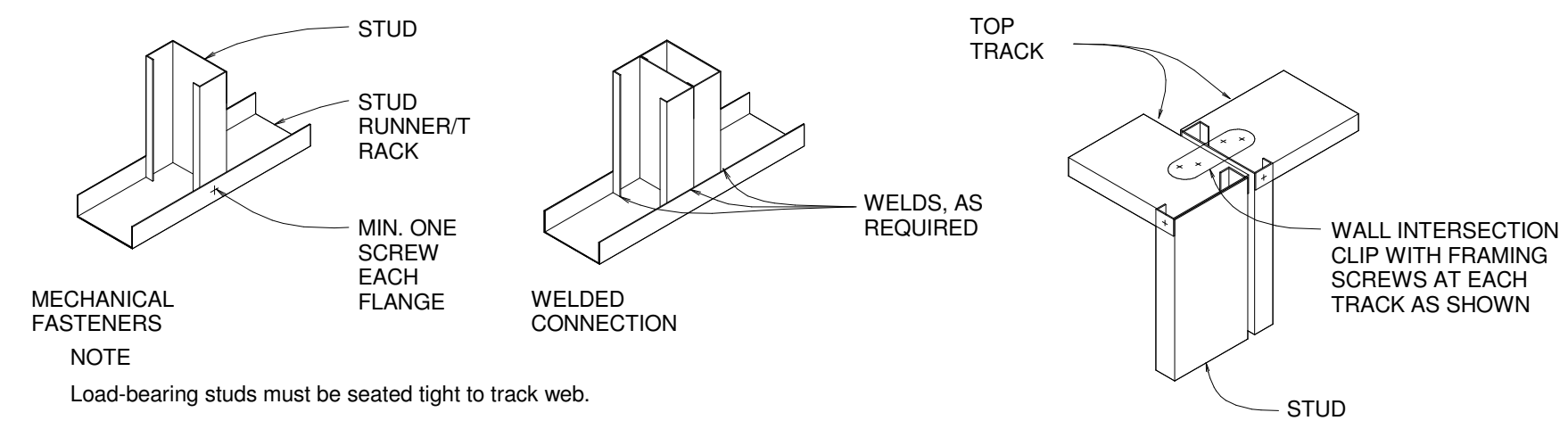
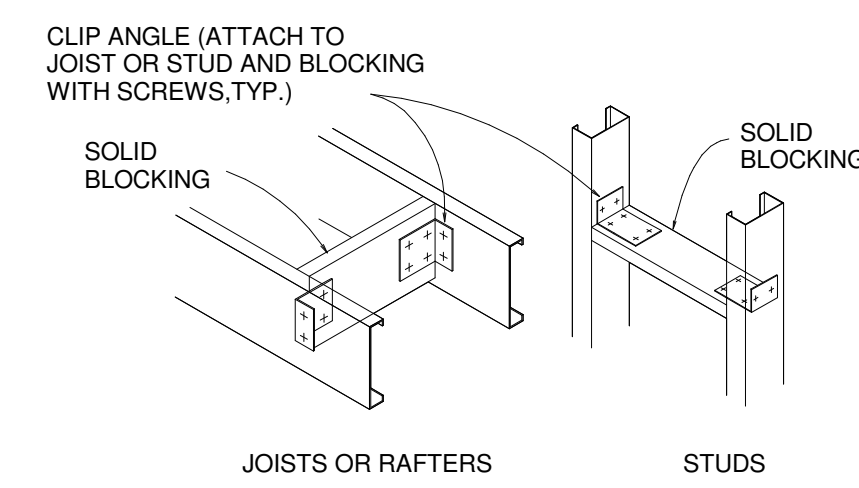
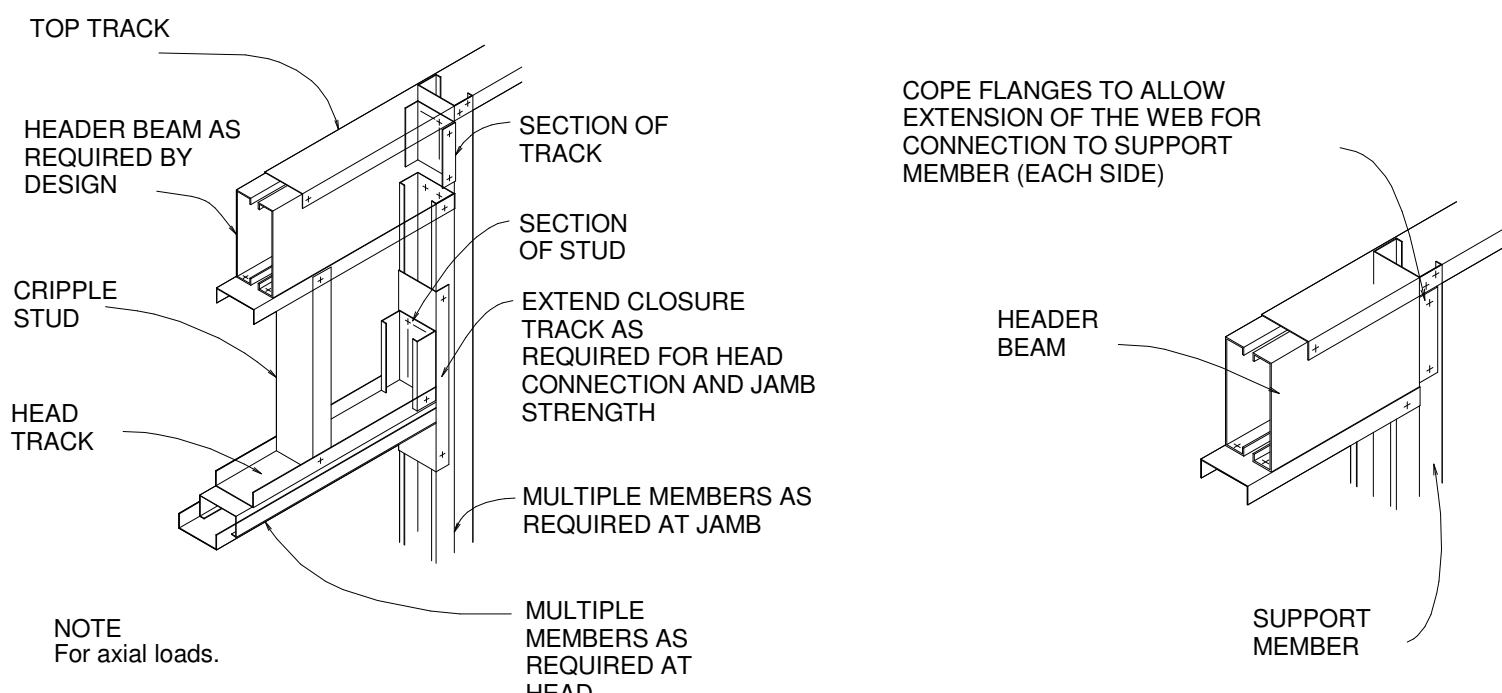
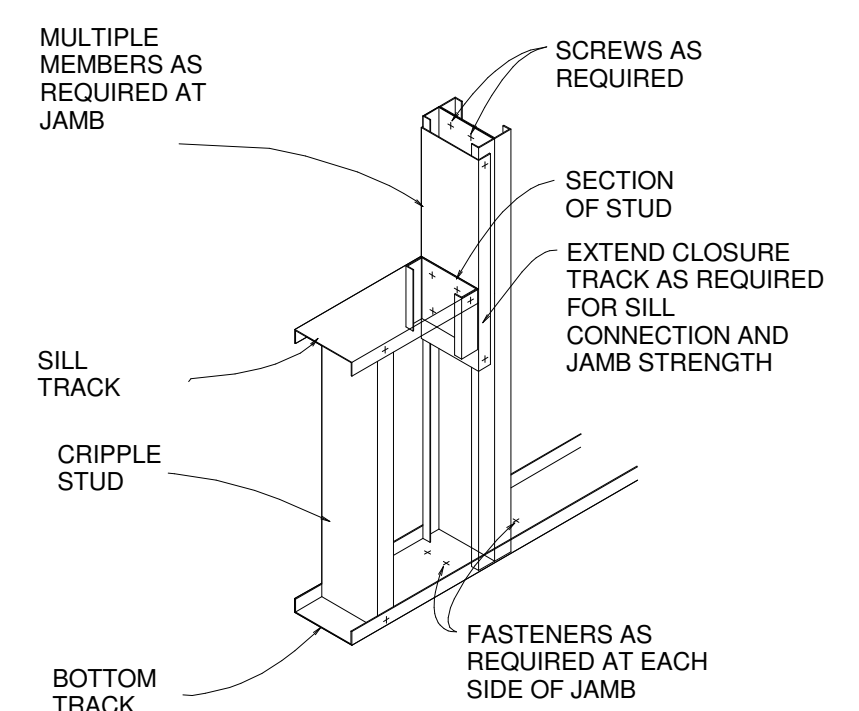
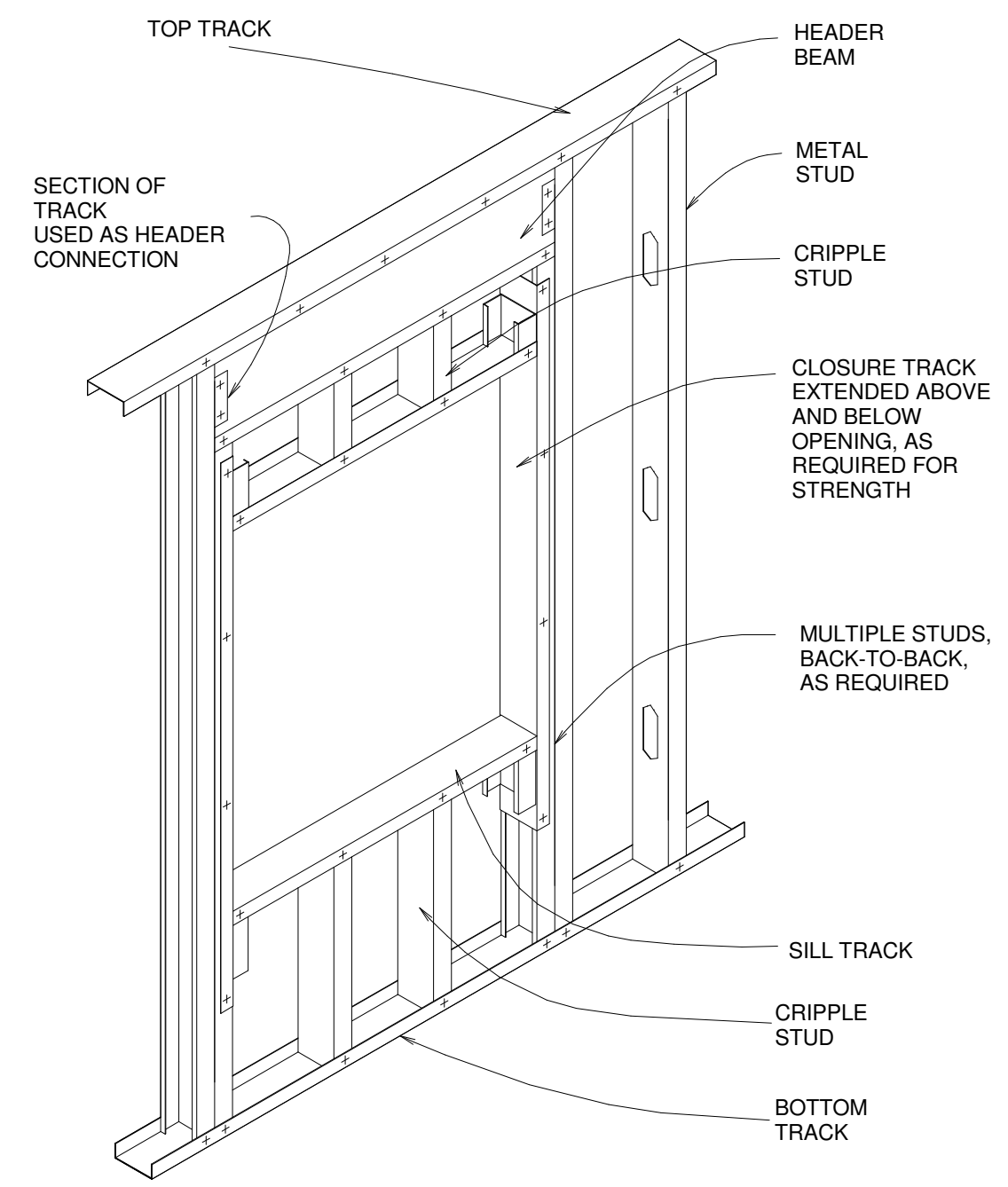
3 DETAIL. WALL BASE
A800
3" = 1'-0"



2 DETAIL. WALL BRACING DETAILS
A800
1/4" = 1'-0"



1 DETAIL. ACT AND GWB MOUNTING
A800
1/4" = 1'-0"



5 LIGHT GAGE INTERIOR FRAMING TYPICAL DETAILS
A800
NTS

WALL TYPE	UL # U419	FIRE RATING
W1	DESIGN U404	1 HR.
<p>1 FLOOR AND CEILING RUNNERS: CHANNEL SHAPED, 3-5/8 INCH WIDE, 1-1/4 INCH LEGS, FORMED FROM MIN No 25 MSG GALVANIZED STEEL, ATTACHED TO FLOOR AND CONC. SLAB WITH FASTENERS SPACED 12 INCHES O.C.</p> <p>2 STEEL STUDS: CHANNEL SHAPED, FABRICATED FROM MIN 25 MSG GALV STEEL, 3-5/8 INCH WIDTH, MIN 1-1/2 INCH FLANGES AND 1/4 INCH RETURN, SPACED A MAX OF 12 INCH O.C. STUDS TO BE CUT 3/8 TO 3/4 INCH LESS THAN ASSEMBLY HEIGHT.</p> <p>3 BATTS AND BLANKETS: MIN 3 INCH THICK MINERAL WOOL INSULATION BATTS, FRICTION-FITTED BETWEEN STUDS.</p> <p>4 GYPSUM WALLBOARD: (1) LAYER OF 5/8 INCH THICK, 4FT WIDE, ATTACHED TO STEEL STUDS AND RUNNERS WITH 1 INCH LONG TYPE S-12 SCREWS SPACED MAX 8 INCH O.C ON OPPOSITE SIDES OF ASSEMBLY.</p> <p>5 JOINT AND TAPE COMPOUND: VINYL DRY OR PREMIXED JOINT COMPOUND, APPLIED IN TWO COATS TO JOINTS AND SCREW HEAD, PAPER TAPE, 2 INCH WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS.</p>		

4 WALL TYPES
A800
3/4" = 1'-0"

ARCHITECT.
HB+A Architects
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CASTRO VALLEY, CA. 94546
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SCALE:	As indicated	DATE	
DESIGN BY:	HB+A ARCHITECTS		
DRAWN BY:	MC	11/27/2018	1:25:47 AM
APPR. BY:			
APPR. BY:			

A800
WALL TYPES,
CEILING DETAILS,
MOUNTING DETAILS

TITLE REVIEW SET FOR TENANT IMPROVEMENT
ADULT DAY HEALTH CARE CENTER
ADDRESS 2125 WILLIAMS STREET,
SAN LEANDRO, CALIFORNIA, 94577
CLIENT COZY NEST ADULT DAY HEALTH CARE, LLC

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