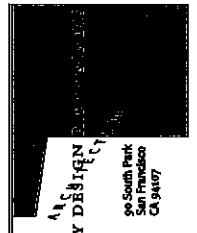




# 880 WEST MacARTHUR BLVD.

## 39 RESIDENTIAL UNITS, OAKLAND, CA



NOTICE: These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners.

880 WEST MacARTHUR BLVD.  
39 RESIDENTIAL UNITS IN OAKLAND, CA

FOR PRICING ONLY - NOT TO BE USED FOR CONSTRUCTION

880 West MacArthur Blvd.  
A.P. #: 012, 095902101  
OAKLAND, CA  
PROJECT NO. 13-03  
DATE: 2013-09-04  
ISSUE: CLIENT REVIEW  
2013-07-01  
CLIENT REVIEW UPDATE

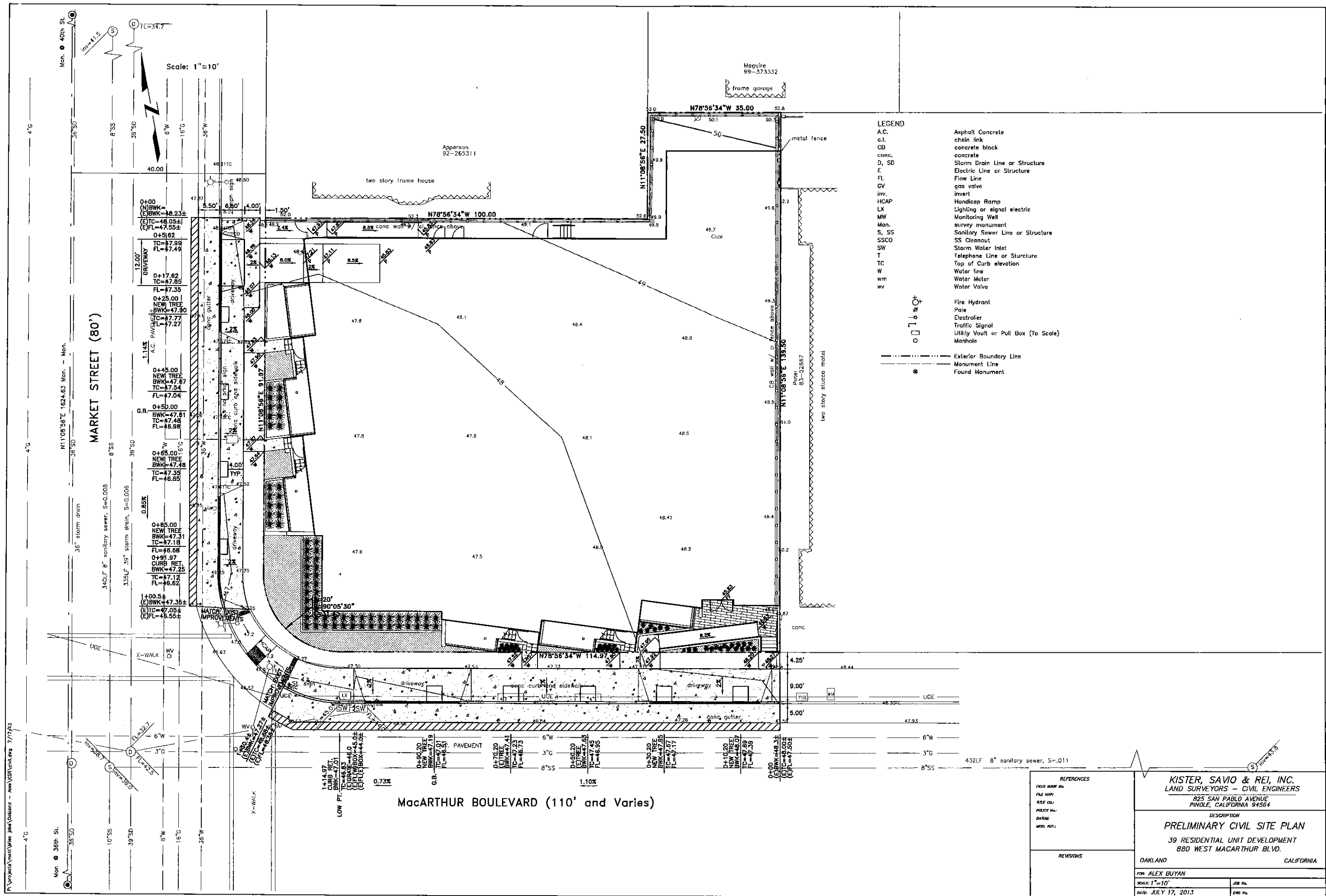
CONTACT:  
BRIAN SIU YANG  
(415) 777-0561 P  
(415) 777-5117 F  
brian@levydesignpartners.com

SCALE: AS NOTED

COVER SHEET

A0.0

ABBREVIATIONS	LEGEND	GENERAL NOTES	PROJECT DESCRIPTION	CONTACT LIST	DRAWING INDEX																																								
<p>A/C AIR CONDITIONING</p> <p>ADJ. ADJUSTABLE</p> <p>A.F.F. ABOVE FINISH FLOOR</p> <p>ALUM. ALUMINUM</p> <p>ALT. ALTERNATE</p> <p>APPROX. APPROXIMATELY</p> <p>ARCH. ARCHITECTURAL</p> <p>A.C.T. ACOUSTIC CEILING TILE</p> <p>B.B. TELEPHONE BACK BOARD</p> <p>BLDG. BUILDING</p> <p>B.L.G. BLOCKING</p> <p>BOT. BOTTOM</p> <p>C/L CENTER LINE</p> <p>CAB. CABINET</p> <p>C.G. CORNER GUARD</p> <p>CHG. CHANGE</p> <p>C.L.D. CLOSET</p> <p>C.L.R. CLEAR</p> <p>C.M.U. CONCRETE MASONRY UNIT</p> <p>COL. COLUMN</p> <p>CONC. CONCRETE</p> <p>CONN. CONNECTION</p> <p>CONST. CONSTRUCTION</p> <p>CORR. CORRIDOR</p> <p>C.T. CERAMIC TILE CENTER</p> <p>DET. DETAIL</p> <p>DIA. DIAMETER</p> <p>DN. DOWN</p> <p>DWG. DRAWING</p> <p>DS. DOWN SPOUT</p> <p>(E) EXISTING</p> <p>EA. EACH</p> <p>EL. ELEVATION</p> <p>ELEC. ELECTRICAL</p> <p>ELEV. ELEVATION</p> <p>EQ. EQUIPMENT</p> <p>EXP. EXPANSION</p> <p>EXPOS. EXPOSED</p> <p>EXT. EXTERIOR</p> <p>F.D. FLOOR DRAIN</p> <p>FIN. FINISH</p> <p>FL. FLOOR</p> <p>FLASH. FLASHING</p> <p>FLUOR. FLUORESCENT</p> <p>F.O.F. FACE OF FINISH</p> <p>F.O.S. FACE OF STUD</p> <p>F.P.P. FIREPROOF</p> <p>FURR. FURRING</p> <p>GA. GAUGE</p> <p>GALV. GALVANIZED</p> <p>G.C. GENERAL CONTRACTOR</p> <p>GLASS GLASS</p> <p>GR. GRADE</p> <p>GYP. BOARD GYPSUM BOARD</p> <p>H.B. HOSE BIB</p> <p>H.C. HANDICAPPED</p> <p>H.C. HOLLOW CORE</p> <p>H.W.R. HARDWARE</p> <p>HGT. HEIGHT</p> <p>H.M. HOLLOW METAL</p> <p>H.P. HIGH POINT</p> <p>HR. HOUR</p> <p>H.W. HOT WATER</p> <p>INSUL. INSULATION/INSULATED</p> <p>INT. INTERIOR</p> <p>JAN. JANITOR</p> <p>JT. JOINT</p> <p>L.P. LOW POINT</p> <p>MAX. MAXIMUM</p> <p>M.C. MEDICINE CABINET</p> <p>M.D. MOTION DETECTOR</p> <p>MECH. MECHANICAL</p> <p>MIN. MINIMUM</p> <p>MTD. MOUNTED</p> <p>MTL. METAL</p> <p>(N) NEW</p> <p>N.C. NOT IN CONTRACT</p> <p>ND. NUMBER</p> <p>N.T.S. NOT TO SCALE</p> <p>O.C. ON CENTER</p> <p>OFF. OFFICE</p> <p>OPNG. OPENING</p> <p>OPP. OPPOSITE</p> <p>O.T.B. OPEN TO BELOW</p> <p>PR. PAIR</p> <p>F-LAM. PLASTIC LAMINATE</p> <p>PTD. PAINTED</p> <p>PLYWD. PLYWOOD</p> <p>P.O. PRIVATE OFFICE</p> <p>P. PROPERTY LINE</p> <p>R. RISER</p> <p>R.D. ROOF DRAIN</p> <p>REQ. REQUIRED</p> <p>RM. ROOM</p> <p>R.O. ROOM OPENING</p> <p>S.C. SOLID CORE</p> <p>STOR. STORAGE</p> <p>SHI. SHEET</p> <p>SM. SIMILAR</p> <p>STR.L. STRUCTURAL</p> <p>T. TREAD</p> <p>T&amp;G. TONGUE AND GROOVE</p> <p>TEL. TELEPHONE</p> <p>T.O. TOP OF</p> <p>TYP. TYPICAL</p> <p>U.O.N. UNLESS OTHERWISE NOTED</p> <p>V.I.F. VERIFY IN FIELD</p> <p>WD. WOOD</p> <p>W.P. WATERPROOF</p>	<p><b>DETAIL REFERENCE NUMBER</b></p> <p>XXX → SHEET WHERE DETAIL IS LOCATED</p> <p><b>DIRECTION OF SECTION VIEW</b></p> <p>INTERIOR SECTION IDENTIFICATION / SHEET WHERE SECTION IS LOCATED</p> <p>→ SHEET WHERE ELEVATION IS LOCATED</p> <p>ELEVATION REFERENCE NUMBER</p> <p>101 DOOR SYMBOL</p> <p>201 WINDOW SYMBOL</p> <p>WALL / FLOOR TYPE SYMBOL</p> <p>ELEVATION DATUM</p> <p>CEILING HEIGHT</p> <p>REVISION SYMBOL</p> <p>ROOF DRAIN</p> <p>FLOOR DRAIN</p> <p>GAS HOOK-UP</p> <p>HOSE BIB</p> <p>WALL-MOUNTED INCANDESCENT SCENE LIGHT FIXTURE</p> <p>WALL-MOUNTED FLUORESCENT SCENE LIGHT FIXTURE</p> <p>WALL-MOUNTED SCENE LIGHT FIXTURE</p> <p>RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING</p> <p>RECESSED FLUORESCENT LIGHT FIXTURE AT CEILING</p> <p>SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE AT CEILING</p> <p>COMBINATION EXHAUST FAN AND FLUORESCENT LIGHT FIXTURE, RECESSED AT CEILING</p> <p>HEAT LIGHT</p> <p>SURFACE-MOUNTED FLUORESCENT STRIP LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)</p> <p>SURFACE-MOUNTED TRACK LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)</p> <p>2'x4' SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE WITH WRAP AROUND LENS</p> <p>1'x4' SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE WITH WRAP AROUND LENS</p> <p>EMERGENCY LIGHT FIXTURE WITH BATTERY PACK, CEILING OR WALL-MOUNTED</p> <p>EXIT LIGHT FIXTURE WITH BATTERY BACK-UP, CEILING OR WALL-MOUNTED (WITH DIRECTIONALITY - HATCHED IN DIRECTION REQUIRED)</p> <p>CEILING-MOUNTED SMOKE DETECTOR</p> <p>GARBAGE DISPOSAL</p> <p>ONE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.</p> <p>TWO-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.</p> <p>THREE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.</p> <p>DUPLEX OUTLET, MOUNTED AT +15" A.F.F., U.O.N.</p> <p>DUPLEX OUTLET (WATERPROOF), MOUNTED AT +15" A.F.F., U.O.N.</p> <p>DUPLEX OUTLET, (DEGRADED), MOUNTED AT +15" A.F.F., U.O.N.</p> <p>DUPLEX OUTLET, WITH GROUND FAULT INTERRUPTER, MOUNTED AT +44" A.F.F., U.O.N.</p> <p>DUPLEX OUTLET (FOR DISHWASHER), MOUNTED UNDER KITCHEN CABINET</p> <p>DUPLEX OUTLET (FOR WASHER/DRYER), MOUNTED AT +18" A.F.F., U.O.N.</p> <p>TELEPHONE JACK, MOUNTED AT +15" A.F.F., U.O.N.</p> <p>DATA JACK, MOUNTED AT +15" A.F.F., U.O.N.</p> <p>DOORBELL, MOUNTED AT +48" A.F.F., U.O.N.</p> <p>TELEVISION CABLE JACK, MOUNTED AT +15" A.F.F., U.O.N.</p>	<p>GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.</p> <p>EXISTING CONDITIONS: CONDITIONS SHOWN ON THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.</p> <p>PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REBURSABLE TO THE G.C.</p> <p>CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.</p> <p>SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.</p> <p>CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.</p> <p>PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.</p> <p>ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.</p> <p>"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.</p> <p>"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>DETAILS ARE USUALLY KEYS AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S AND CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.</p> <p>SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.</p> <p>DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.</p> <p>GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSIDERED AS AN ACCEPTANCE OF DEFECTIVE WORK.</p> <p>COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS).</p> <p>DRAWINGS FOR PERMIT &amp; DESIGN INTENT ONLY. CONSTRUCTION DETAILS OF WEATHERPROOFING AND SOUNDPROOFING RESPONSIBILITY OF CONTRACTOR.</p>	<p>NEW 5-STORY, 39-UNIT RESIDENTIAL BUILDING, PARKING AT GROUND FLOOR WITH 4-STORIES RESIDENTIAL ABOVE.*</p> <p>*RESIDENTIAL STORY COUNT (FOR CODE CALCULATION PURPOSES) BEGINS ABOVE S-2 PARKING (MAX. 1 STORY ABOVE GRADE) PER CBC 509.4</p>	<p>OWNER: ALEX BUYAN (415) 378.8780 CONTACT: ALEX BUYAN</p> <p>ARCHITECT: LEVY DESIGN PARTNERS 90 SOUTH PARK SAN FRANCISCO, CA 94107 (415) 777-0561 (415) 777-5117 (FAX)</p> <p>CONTACT: TOBY LEVY, FAA</p> <p>CIVIL: KISTOR, SAWO &amp; REI INC. 825 SAN PABLO AVENUE SAN PABLO, CA 94564 (510) 222-4020 X.25 (510) 222-3718 (FAX)</p> <p>CONTACT: MATTHEW L. REI</p> <p>STRUCTURAL: SANTOS &amp; URRUTIA 2451 HARRISON STREET SAN FRANCISCO, CA 94107 (415) 842-7722 (415) 642-7590 (FAX)</p> <p>CONTACT: RODRIGO SANTOS</p> <p>MECHANICAL: ACIES 111 W. EVELYN AVE. SUITE 301 SUNNYVALE, CA 94086 (408) 522-5255 x126 (408) 522-5260 (FAX)</p> <p>CONTACT: EDIT VARGA</p> <p>ELECTRICAL: ACIES 111 W. EVELYN AVE. SUITE 301 SUNNYVALE, CA 94086 (408) 522-5255 (408) 522-5260 (FAX)</p> <p>CONTACT: JAMIE SORIANO</p> <p>PLUMBING: ACIES 111 W. EVELYN AVE. SUITE 301 SUNNYVALE, CA 94086 (408) 522-5255 x142 (408) 522-5260 (FAX)</p> <p>CONTACT: RENE TANAG</p>	<p>ARCHITECTURAL A0.0 COVER SHEET A0.1 PLANNING DATA AND CONDITIONS OF APPROVAL A0.2 EGRESS SUMMARY A0.3 ACCESSIBILITY DETAILS A0.4 ACCESSIBILITY DETAILS A0.5 ACCESSIBILITY DETAILS A0.6 TITLE 24 A0.7 TITLE 24 A0.8 TITLE 24 A0.9 TITLE 24</p> <p>C-1 CIVIL SITE PLAN (PRELIMINARY)</p> <p>ARCHITECTURAL (CONTINUED) A1.1 PLOT PLAN A2.1 FIRST FLOOR PLAN A2.2 SECOND FLOOR PLAN A2.3 THIRD FLOOR PLAN A2.4 FOURTH FLOOR PLAN A2.5 FIFTH FLOOR PLAN A2.6 ROOF PLAN</p> <p>A3.1 EXTERIOR ELEVATIONS A3.2 EXTERIOR ELEVATIONS</p> <p>A4.1 BUILDING SECTIONS A4.2 BUILDING SECTIONS</p> <p>A5.1 ENLARGED STAIR &amp; ELEVATOR PLANS AND SECTION A5.2 ENLARGED STAIR PLANS AND SECTION A5.3 ENLARGED LOBBY PLAN AND ELEVATIONS A5.4 ENLARGED UNIT ENTRANCE AT STREET A5.5 ENLARGED BATHROOM PLANS AND ELEVATIONS A5.6 ENLARGED KITCHEN PLANS AND ELEVATIONS A5.7 ENLARGED KITCHEN PLANS AND ELEVATIONS</p> <p>A6.1 ENLARGED UNIT PLANS A6.2 ENLARGED UNIT PLANS A6.3 ENLARGED UNIT PLANS A6.4 ENLARGED UNIT PLANS A6.5 ENLARGED UNIT PLANS</p> <p>A8.1 WALL TYPES A8.2 FLOOR/ROOF TYPES</p> <p>A9.1 SCHEDULE DOORS A9.2 SCHEDULE: WINDOWS &amp; FINISHES</p> <p>A10.1 DETAILS: EXTERIOR A10.2 DETAILS: EXTERIOR A10.3 DETAILS: WINDOWS A10.4 DETAILS: BUILDING DOORS A10.5 DETAILS: UNIT DOORS</p> <p>A11.1 DETAILS: STAIRS A11.2 DETAILS: CASEWORK</p> <p>STRUCTURAL S1 GENERAL NOTES AND TYPICAL DETAILS S2 GROUND FLOOR AND FOUNDATION PLAN S3 SECOND FLOOR FRAMING PLAN S3.1 SECOND FLOOR POST-TENSIONING PLAN S3.2 POST-TENSIONING SLABS DETAILS AND NOTES S4 THIRD FLOOR FRAMING PLAN S5 FOURTH FLOOR FRAMING PLAN S6 FIFTH FLOOR FRAMING PLAN S7 HIGH ROOF FRAMING PLAN S8 FOUNDATION DETAILS S9 FOUNDATION DETAILS S10 FOUNDATION DETAILS</p> <p>MECHANICAL M0.1 LEGEND, NOTES &amp; SCHEDULES M0.2 MECHANICAL SPECIFICATION M2.1 MECHANICAL FIRST FLOOR PLAN M2.2 MECHANICAL SECOND FLOOR PLAN M2.3 MECHANICAL THIRD FLOOR PLAN M2.4 MECHANICAL FOURTH FLOOR PLAN M2.5 MECHANICAL FIFTH FLOOR PLAN M2.6 MECHANICAL ROOF FLOOR PLAN M8.1 MECHANICAL DETAILS M8.1 MECHANICAL CONTROLS</p>																																								
			<p><b>BUILDING DATA</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>OCCUPANCY</td> <td>R-2</td> <td>S-2</td> </tr> <tr> <td>LOCATION</td> <td>FLOORS 2-5</td> <td>GROUND FLOOR</td> </tr> <tr> <td>CONSTRUCTION *</td> <td>TYPE SA (VA)</td> <td>TYPE 1A (VA)</td> </tr> <tr> <td>ALLOWABLE AREA (PER STORY)</td> <td>12,000 SF</td> <td>UNLIMITED</td> </tr> <tr> <td>PROPOSED AREA (PER STORY)</td> <td>RESIDENTIAL UNITS: 2ND FL: 9,538 SF 3RD FL: 9,555/200 = 48 4TH FL: 9,692/200 = 48 5TH FL: 8,811/200 = 44 SUB-TOTAL: 37,994 SF COURTYARD: 2,958 SF</td> <td>PARKING: 1ST FL: 11,777 SF LOBBY: 1ST FL: 301 SF SUB-TOTAL: 12,078 SF</td> </tr> <tr> <td>PROPOSED AREA (TOTAL)</td> <td colspan="2">TOTAL: 52,630 SF</td> </tr> <tr> <td>ALLOWABLE HEIGHT</td> <td>80'-0" (80'-0" + 10'-0" INCREASE) **</td> <td>UNLIMITED</td> </tr> <tr> <td>PROPOSED HEIGHT</td> <td>48'-0" AVE.</td> <td>6'-0" ABOVE GRADE</td> </tr> <tr> <td>ALLOWABLE STORIES</td> <td>4 (3 + 1 INCREASE) ***</td> <td>UNLIMITED</td> </tr> <tr> <td>EXTERIOR OPENING PROTECTION</td> <td>ALLOWED: 5'-0"</td> <td>ALLOWED: 20'-0"</td> </tr> <tr> <td>FULLY SPRINKLERED</td> <td>YES</td> <td>YES</td> </tr> <tr> <td>OCCUPANT LOAD</td> <td>RESIDENTIAL: 2ND FL: 9,538/200 = 48 3RD FL: 9,555/200 = 48 4TH FL: 9,692/200 = 48 5TH FL: 8,811/200 = 44 ASSEMBLY: 1ST FL LOBBY: 301/15 = 20 TOTAL: 79</td> <td>PARKING: 1ST FL: 11,777/200 = 59 TOTAL: 79</td> </tr> <tr> <td></td> <td colspan="2">TOTAL BUILDING OCCUPANTS: 464</td> </tr> </table> <p>* 3-HR SEPARATION BETWEEN R-1 &amp; S-2 OCCUPANCIES PER CBC 509.2</p> <p>** ALLOWABLE BUILDING HEIGHT INCREASE OF 20'-0" FOR FULLY SPRINKLERED BUILDING PER CBC 504.2 UP TO A MAX. OF 80'-0" FOR R-2, TYPE SA (VA) CONSTRUCTION.</p> <p>*** ALLOWABLE BUILDING HEIGHT INCREASE OF 1-STORY FOR FULLY SPRINKLERED BUILDING PER CBC 504.2 UP TO FOUR STORIES FOR R-2, TYPE SA (VA) CONSTRUCTION.</p>	OCCUPANCY	R-2	S-2	LOCATION	FLOORS 2-5	GROUND FLOOR	CONSTRUCTION *	TYPE SA (VA)	TYPE 1A (VA)	ALLOWABLE AREA (PER STORY)	12,000 SF	UNLIMITED	PROPOSED AREA (PER STORY)	RESIDENTIAL UNITS: 2ND FL: 9,538 SF 3RD FL: 9,555/200 = 48 4TH FL: 9,692/200 = 48 5TH FL: 8,811/200 = 44 SUB-TOTAL: 37,994 SF COURTYARD: 2,958 SF	PARKING: 1ST FL: 11,777 SF LOBBY: 1ST FL: 301 SF SUB-TOTAL: 12,078 SF	PROPOSED AREA (TOTAL)	TOTAL: 52,630 SF		ALLOWABLE HEIGHT	80'-0" (80'-0" + 10'-0" INCREASE) **	UNLIMITED	PROPOSED HEIGHT	48'-0" AVE.	6'-0" ABOVE GRADE	ALLOWABLE STORIES	4 (3 + 1 INCREASE) ***	UNLIMITED	EXTERIOR OPENING PROTECTION	ALLOWED: 5'-0"	ALLOWED: 20'-0"	FULLY SPRINKLERED	YES	YES	OCCUPANT LOAD	RESIDENTIAL: 2ND FL: 9,538/200 = 48 3RD FL: 9,555/200 = 48 4TH FL: 9,692/200 = 48 5TH FL: 8,811/200 = 44 ASSEMBLY: 1ST FL LOBBY: 301/15 = 20 TOTAL: 79	PARKING: 1ST FL: 11,777/200 = 59 TOTAL: 79		TOTAL BUILDING OCCUPANTS: 464				
OCCUPANCY	R-2	S-2																																											
LOCATION	FLOORS 2-5	GROUND FLOOR																																											
CONSTRUCTION *	TYPE SA (VA)	TYPE 1A (VA)																																											
ALLOWABLE AREA (PER STORY)	12,000 SF	UNLIMITED																																											
PROPOSED AREA (PER STORY)	RESIDENTIAL UNITS: 2ND FL: 9,538 SF 3RD FL: 9,555/200 = 48 4TH FL: 9,692/200 = 48 5TH FL: 8,811/200 = 44 SUB-TOTAL: 37,994 SF COURTYARD: 2,958 SF	PARKING: 1ST FL: 11,777 SF LOBBY: 1ST FL: 301 SF SUB-TOTAL: 12,078 SF																																											
PROPOSED AREA (TOTAL)	TOTAL: 52,630 SF																																												
ALLOWABLE HEIGHT	80'-0" (80'-0" + 10'-0" INCREASE) **	UNLIMITED																																											
PROPOSED HEIGHT	48'-0" AVE.	6'-0" ABOVE GRADE																																											
ALLOWABLE STORIES	4 (3 + 1 INCREASE) ***	UNLIMITED																																											
EXTERIOR OPENING PROTECTION	ALLOWED: 5'-0"	ALLOWED: 20'-0"																																											
FULLY SPRINKLERED	YES	YES																																											
OCCUPANT LOAD	RESIDENTIAL: 2ND FL: 9,538/200 = 48 3RD FL: 9,555/200 = 48 4TH FL: 9,692/200 = 48 5TH FL: 8,811/200 = 44 ASSEMBLY: 1ST FL LOBBY: 301/15 = 20 TOTAL: 79	PARKING: 1ST FL: 11,777/200 = 59 TOTAL: 79																																											
	TOTAL BUILDING OCCUPANTS: 464																																												
			<p><b>RENDERING</b></p>																																										
			<p><b>AREA MAP</b></p>																																										

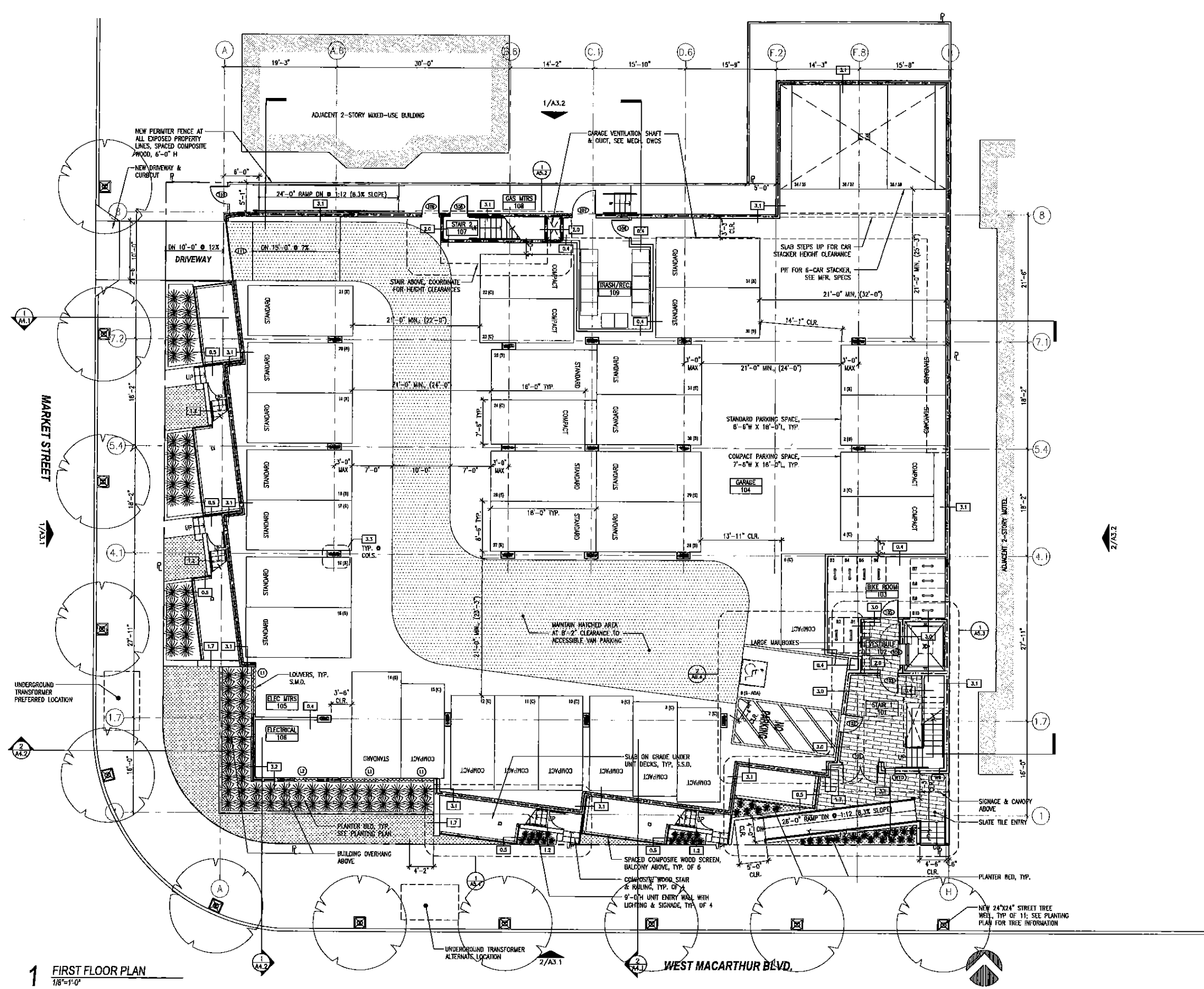


**LEGEND**

A.C.	Asphalt Concrete
c.I.	chain link
CB	concrete block
conc.	concrete
D, SD	Storm Drain Line or Structure
E	Electric Line or Structure
FL	Flow Line
GV	gas valve
inv.	invert
HCAP	Handicap Ramp
LX	Lighting or signal electric
MW	Monitoring Well
Man.	survey monument
S, SS	Sanitary Sewer Line or Structure
SSCO	SS Cleanout
SW	Storm Water Inlet
T	Telephone Line or Structure
TC	Top of Curb elevation
W	Water line
wm	Water Meter
wv	Water Valve
	Fire Hydrant
	Pole
	Electrolier
	Traffic Signal
	Utility Vault or Pull Box (To Scale)
	Manhole
---	Exterior Boundary Line
---	Monument Line
●	Found Monument

**MacARTHUR BOULEVARD (110' and Varies)**

<p><b>REFERENCES</b></p> <p>FILE BOOK No. FILE MAP FILE CGL POLICY No. DATE MISC. REF.</p>		<p><b>KISTER, SAVIO &amp; REI, INC.</b> LAND SURVEYORS - CIVIL ENGINEERS 825 SAN PABLO AVENUE PINOLE, CALIFORNIA 94564</p>	
<p><b>DESCRIPTION</b></p> <p><b>PRELIMINARY CIVIL SITE PLAN</b> 39 RESIDENTIAL UNIT DEVELOPMENT 880 WEST MACARTHUR BLVD.</p>		<p>OAKLAND CALIFORNIA</p>	
<p><b>REVISIONS</b></p>		<p>FOR: ALEX BUYAN SCALE: 1"=10' DATE: JULY 17, 2013</p>	
		<p>JOB No. DWO No.</p>	



1 FIRST FLOOR PLAN  
1/8" = 1'-0"

**SYMBOL LEGEND**

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- WALL ASSEMBLY, SEE A9.1, A9.2
- DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
- WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
- LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER
- UNIT TYPE
- UNIT NUMBER

**WALL RATING LEGEND**

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED WALL
- 3HR FIRE RATED WALL

**GENERAL NOTES**

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1 & A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1-A6.6 FOR ENLARGED UNIT PLANS

SEE A8.1 & A8.2 FOR DOOR & WINDOW SCHEDULE

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS ON ROOF OR DECK SHALL CONNECT TO CITY SEWER. SLOPES 1/4" PER FOOT MIN. TO DRAIN.

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN. DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

AT PARKING LEVEL, CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.

SLAB ON PARKING LEVEL TO SLOPE TO DRAIN, MAX. 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

FLOORS 2-5 TO BE 1-HR CONSTRUCTION THROUGHOUT PER CBC SECTION 601.1 FOR TYPE V CONSTRUCTION.

PROVIDE SOUND INSULATION WITH MIN. RATING OF 50 STC BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS PER CBC 1207.6-8.

**DIMENSION NOTES**

1. WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.O.N.
2. ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.
3. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

**LEVY DESIGN PARTNERS**  
 25 South Park  
 San Francisco  
 CA 94107

NOTICE:  
 These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

**880 WEST MACARTHUR BLVD.**  
 39 RESIDENTIAL UNITS IN OAKLAND, CA

**FOR PRICING ONLY - NOT TO BE USED FOR CONSTRUCTION**

ARCHITECT  
 LEVY DESIGN PARTNERS  
 25 SOUTH PARK  
 SAN FRANCISCO, CA 94107  
 415.777.5117  
 brian@levydesignpartners.com

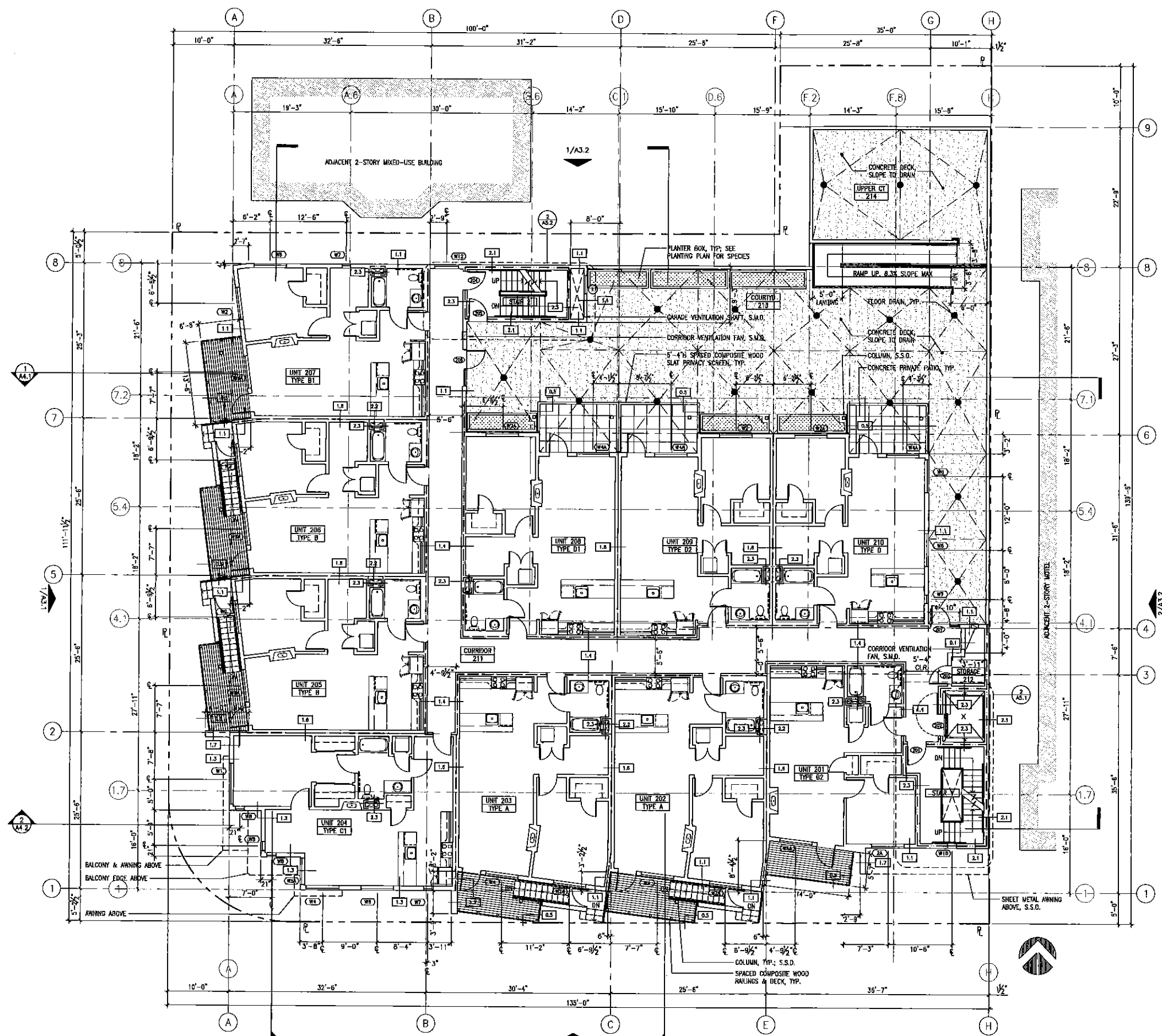
880 West MacArthur Blvd.  
 A.P. #: 012\_095902101  
 OAKLAND, CA  
 PROJECT NO. 13-03

DATE ISSUE  
 2013-06-04 CLIENT REVIEW  
 2013-07-31 CLIENT REVIEW UPDATE

SCALE: 1/8" = 1'-0"

FIRST FLOOR PLAN

A2.1



1 SECOND FLOOR PLAN  
1/8"=1'-0"

**SYMBOL LEGEND**

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- 1.4 WALL ASSEMBLY, SEE AB.1, AB.2
- DOOR TYPE; SEE SCHEDULE, SEE SHEET AB.1
- WINDOW TYPE; SEE SCHEDULE, SEE SHEET AB.2
- LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER
- UNIT 206 UNIT TYPE
- XXX UNIT NUMBER

**WALL RATING LEGEND**

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED WALL
- 3HR FIRE RATED WALL

**GENERAL NOTES**

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1 & A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1-A6.6 FOR ENLARGED UNIT PLANS

SEE AB.1 & AB.2 FOR DOOR & WINDOW SCHEDULE

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER. SLOPES 1/4" PER FOOT MIN. TO DRAIN.

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN. DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC SECTION 1203.3.

AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.

SLAB @ PARKING LEVEL TO SLOPE TO DRAIN, MAX. 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD, FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

FLOORS 2-5 TO BE 1-HR CONSTRUCTION THROUGHOUT PER CBC SECTION 601.1 FOR TYPE V CONSTRUCTION.

PROVIDE SOUND INSULATION WITH MIN. RATING OF 50 STC BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS PER CBC 1207.6-B.

**DIMENSION NOTES**

1. WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.O.N.
2. ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.
3. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

**LEVY DESIGN PARTNERS**  
50 South Park  
San Francisco  
CA 94107

NOTICE:  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

**880 WEST MACARTHUR BLVD.**  
39 RESIDENTIAL UNITS IN OAKLAND, CA

**FOR PRICING ONLY - NOT TO BE USED FOR CONSTRUCTION**

ARCHITECT  
LEVY DESIGN PARTNERS  
GENERAL DATE  
8-30-15  
STATE OF CALIFORNIA

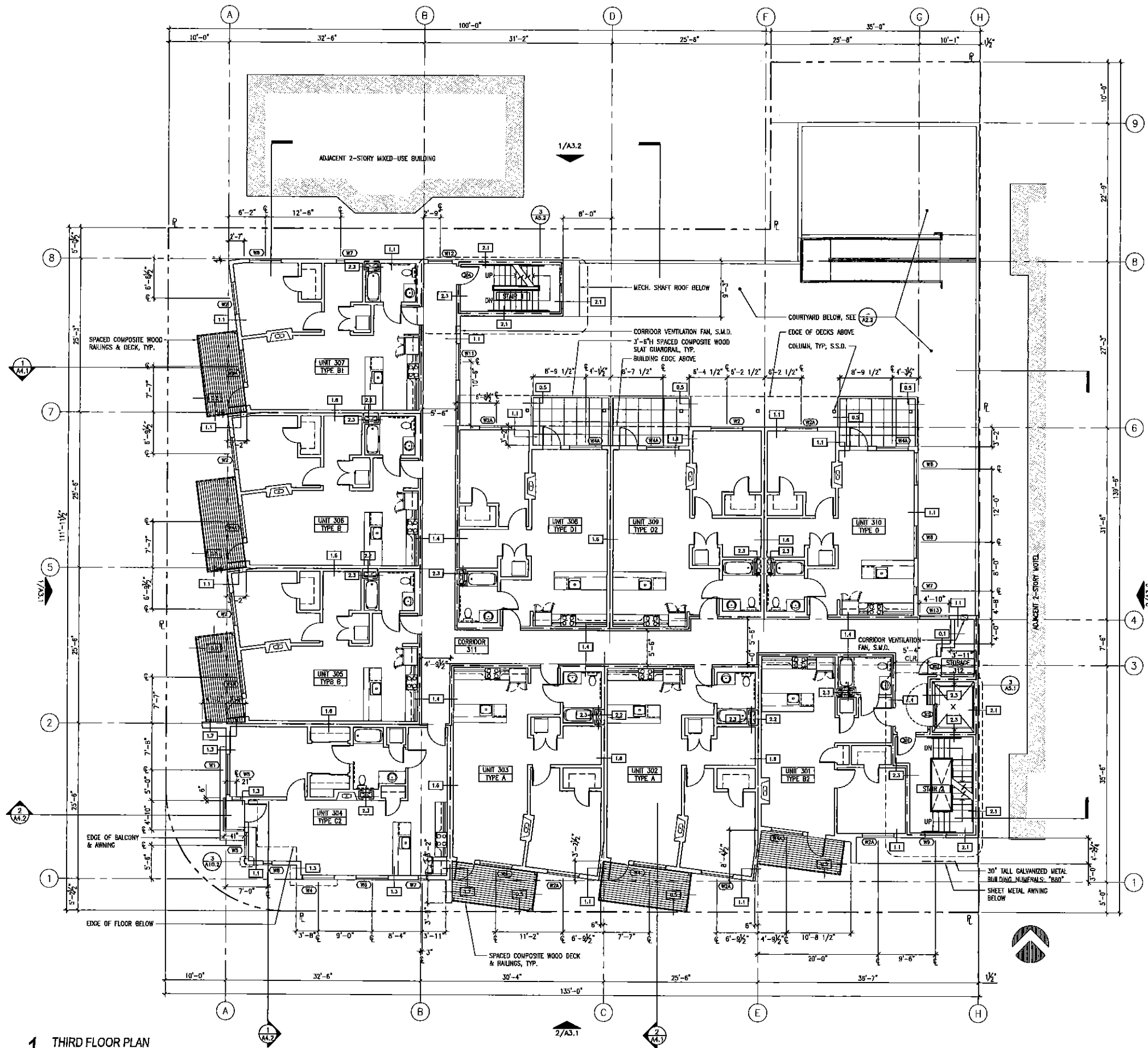
880 West MacArthur Blvd.  
A.P. # 012\_095902101  
OAKLAND, CA  
PROJECT NO. 13-03  
DATE ISSUE  
2013-05-04 CLIENT REVIEW  
2013-07-01 CLIENT REVIEW UPDATE

CONTACT:  
BRIAN SIU YANG  
(415) 777-0561 P  
(415) 777-5117 F  
brian@levydesignpartners.com

SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN

**A2.2**



1 THIRD FLOOR PLAN  
1/8"=1'-0"

- SYMBOL LEGEND**
- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
  - WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
  - 1.4 WALL ASSEMBLY, SEE A9.1, A9.2
  - ⊕ DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
  - ⊖ WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
  - ⊙ LOUVER, SEE MECHANICAL DRAWINGS
  - DECK DRAIN TO CITY SEWER
  - UNIT 301 UNIT TYPE
  - XXX UNIT NUMBER

- WALL RATING LEGEND**
- 1HR FIRE RATED DEMISING WALL
  - 2HR FIRE RATED WALL
  - 3HR FIRE RATED WALL

**GENERAL NOTES**

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1 & A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1-A6.6 FOR ENLARGED UNIT PLANS

SEE A8.1 & A8.2 FOR DOOR & WINDOW SCHEDULE

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER. SLOPES 1/4" PER FOOT MIN. TO DRAIN.

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN. DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

AT PARKING LEVEL, CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.

SLAB @ PARKING LEVEL TO SLOPE TO DRAIN, MAX. 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

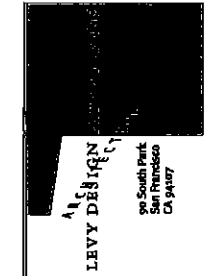
CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

FLOORS 2-5 TO BE 1-HR CONSTRUCTION THROUGHOUT PER CBC SECTION 601.1 FOR TYPE V CONSTRUCTION.

PROVIDE SOUND INSULATION WITH MIN. RATING OF 50 STC BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS PER CBC 1207.6-8.

- DIMENSION NOTES**
1. WOOD FRAMED WALLS. ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.O.N.
  2. ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.
  3. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

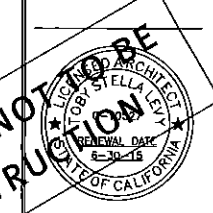
FOR PRICING ONLY - NOT TO BE USED FOR CONSTRUCTION



**NOTICE:**  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

880 WEST MacARTHUR BLVD.

39 RESIDENTIAL UNITS IN OAKLAND, CA



880 West MacArthur Blvd.  
A.P. #: 012\_085902101  
OAKLAND, CA  
PROJECT NO. 13-03

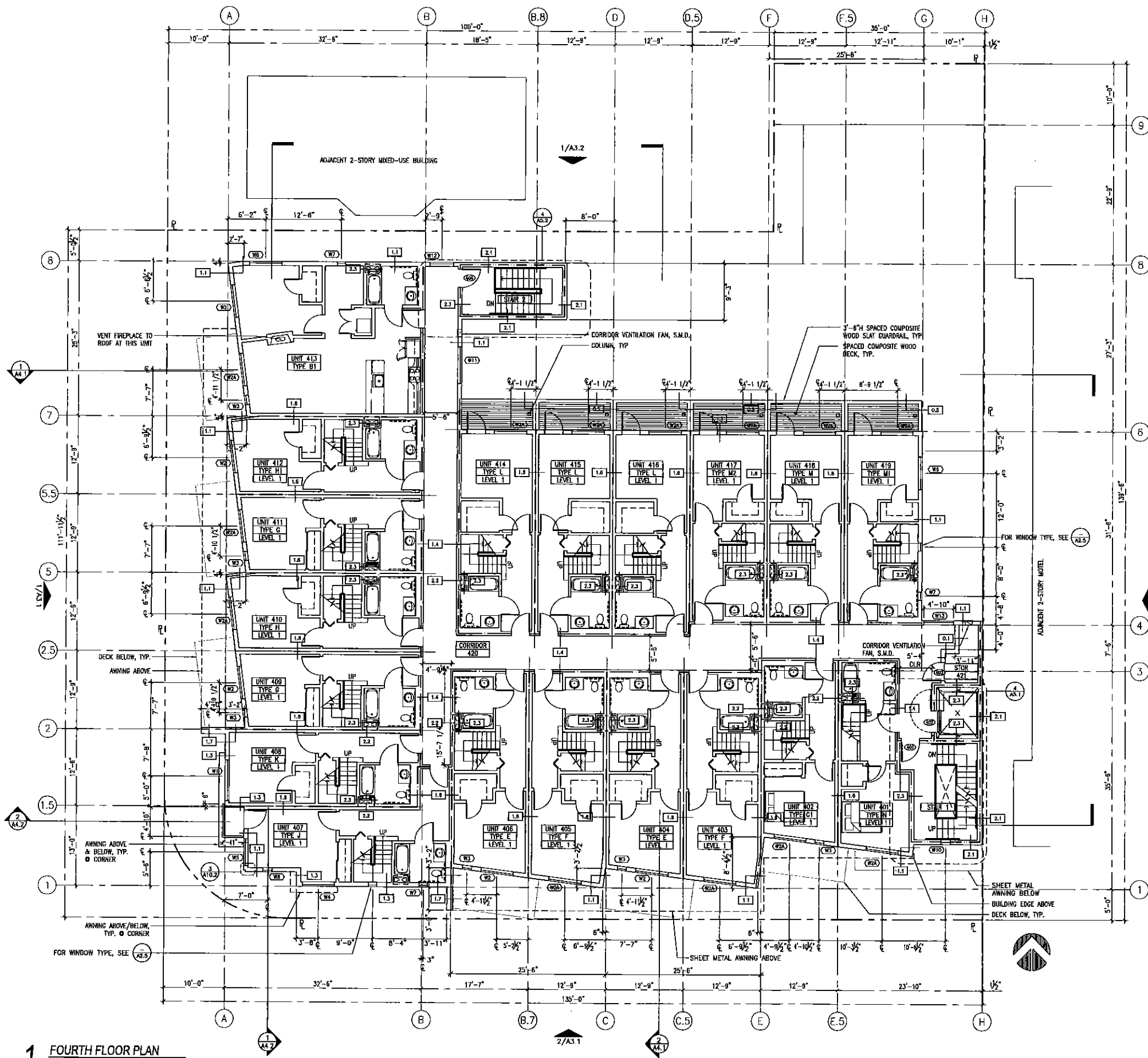
DATE	ISSUE
2013-06-04	CLIENT REVIEW
2013-07-01	CLIENT REVIEW UPDATE

**CONTACT:**  
BRIAN SIU YANG  
(415) 777-0561 P  
(415) 777-5117 F  
brian@levydesignpartners.com

SCALE: 1/8" = 1'-0"

THIRD FLOOR PLAN

A2.3



1 FOURTH FLOOR PLAN  
1/8"=1'-0"

**SYMBOL LEGEND**

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- WALL ASSEMBLY, SEE AB.1, AB.2
- DOOR TYPE; SEE SCHEDULE, SEE SHEET AB.1
- WINDOW TYPE; SEE SCHEDULE, SEE SHEET AB.2
- LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER
- UNIT XXX  
XXX UNIT NUMBER

**WALL RATING LEGEND**

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED WALL
- 3HR FIRE RATED WALL

**GENERAL NOTES**

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1 & A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1-A6.6 FOR ENLARGED UNIT PLANS

SEE AB.1 & AB.2 FOR DOOR & WINDOW SCHEDULE

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER. SLOPES 1/4" PER FOOT MIN. TO DRAIN.

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN. DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC SECTION 1203.3.

AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.

SLAB @ PARKING LEVEL TO SLOPE TO DRAIN, MAX. 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

FLOORS 2-5 TO BE 1-HR CONSTRUCTION THROUGHOUT PER CBC SECTION 601.1 FOR TYPE V CONSTRUCTION.

PROVIDE SOUND INSULATION WITH MIN. RATING OF 50 STC BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS PER CBC 1207.6-8.

**DIMENSION NOTES**

1. WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.O.N.
2. ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.
3. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

**LEVY DESIGN**  
35 South Park  
San Francisco  
CA 94107

NOTICE:  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

**880 WEST MACARTHUR BLVD.**  
39 RESIDENTIAL UNITS IN OAKLAND, CA

**FOR PRICING ONLY - NOT USED FOR CONSTRUCTION**

REVISION DATE: 8-20-15

2013-06-04 CLIENT REVIEW  
2013-07-01 CLIENT REVIEW UPDATE

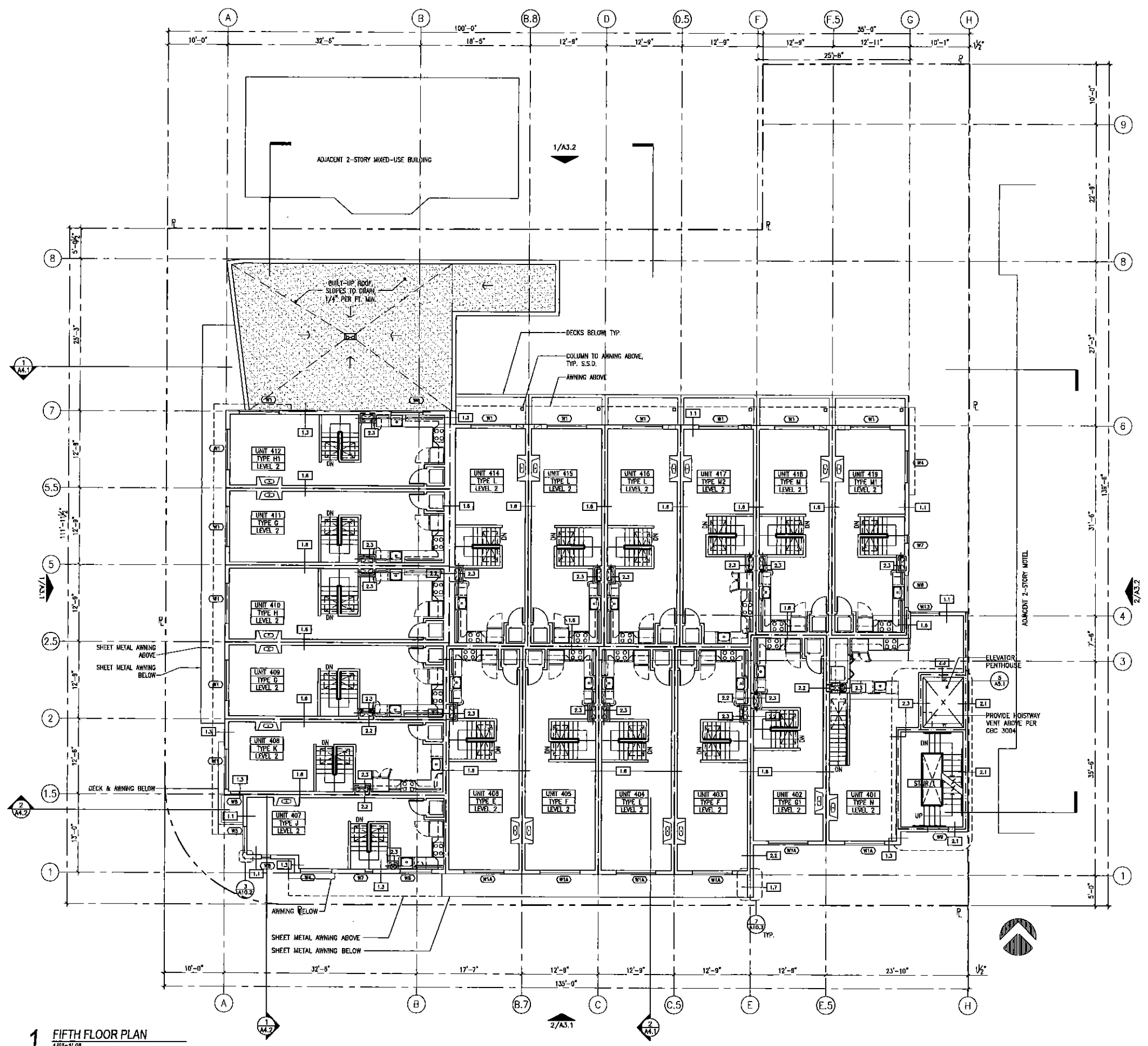
880 West MacArthur Blvd.  
A.P. #: 012\_095802101  
OAKLAND, CA  
PROJECT NO. 13-03

CONTACT:  
BRIAN SIU YANG  
(415) 777-6561 P  
(415) 777-5117 F  
brian@levydesignpartners.com

SCALE: 1/8" = 1'-0"

FOURTH FLOOR PLAN

**A2.4**



**SYMBOL LEGEND**

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- WALL ASSEMBLY, SEE A9.1, A9.2
- DOOR TYPE; SEE SCHEDULE, SEE SHEET AB.1
- WINDOW TYPE; SEE SCHEDULE, SEE SHEET AB.2
- LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER
- UNIT #X UNIT TYPE
- UNIT #X UNIT NUMBER

**WALL RATING LEGEND**

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED WALL
- 3HR FIRE RATED WALL

**GENERAL NOTES**

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1 & A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1-A6.6 FOR ENLARGED UNIT PLANS

SEE AB.1 & AB.2 FOR DOOR & WINDOW SCHEDULE

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS ● ROOF OR DECK SHALL CONNECT TO CITY SEWER. SLOPES 1/4" PER FOOT MIN. TO DRAIN.

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN. DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.

SLAB ● PARKING LEVEL TO SLOPE TO DRAIN, MAX. 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

FLOORS 2-5 TO BE 1-HR CONSTRUCTION THROUGHOUT PER CBC SECTION 601.1 FOR TYPE V CONSTRUCTION.

PROVIDE SOUND INSULATION WITH MIN. RATING OF 50 STC BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS PER CBC 1207.6-8.

**DIMENSION NOTES**

1. WOOD FRAMED WALLS. ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.O.N.
2. ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.
3. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

**LEVY DESIGN PARTNERS**  
 90 South Park  
 San Francisco  
 CA 94107

NOTICE:  
 These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

**880 WEST MACARTHUR BLVD.**  
 39 RESIDENTIAL UNITS IN OAKLAND, CA

**FOR PRICING ONLY - NOT TO BE USED FOR CONSTRUCTION**

ARCHITECT  
 LORETTA STELLA LEVY  
 GENERAL BUREAU  
 2-20-15  
 STATE OF CALIFORNIA

880 West MacArthur Blvd.  
 A.P. #: 012\_095802101  
 OAKLAND, CA  
 PROJECT NO. 13-03

DATE ISSUE  
 2013-05-04 CLIENT REVIEW  
 2013-07-01 CLIENT REVIEW UPDATE

CONTACT:  
 BRIAN SIU YANG  
 (415) 777-0561 P  
 (415) 777-5117 F  
 brian@levydesignpartners.com

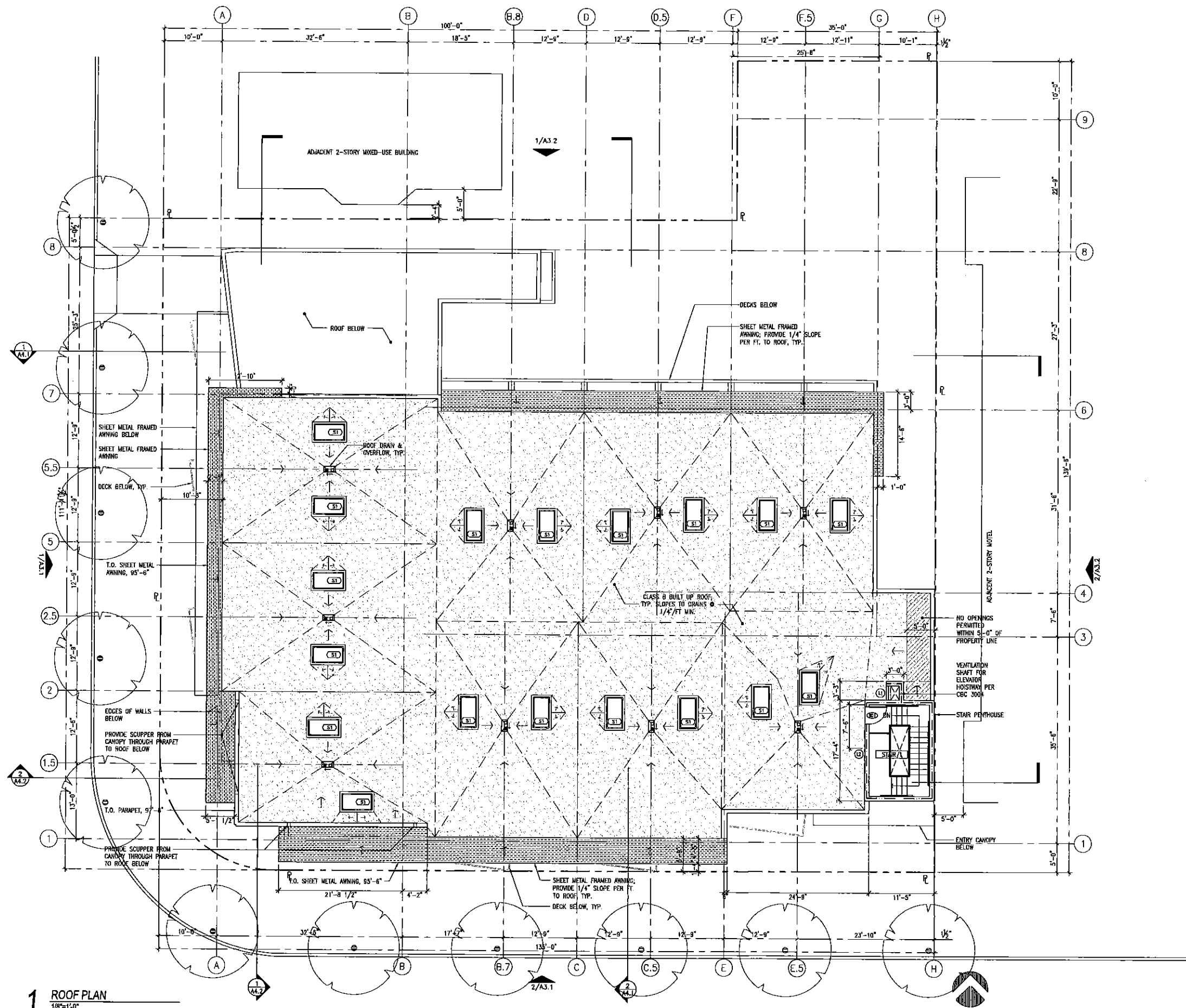
SCALE: 1/8" = 1'-0"

FIFTH FLOOR PLAN

**A2.5**

**1 FIFTH FLOOR PLAN**  
 1/8"=1'-0"





1 ROOF PLAN  
1/8"=1'-0"

**SYMBOL LEGEND**

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- WALL ASSEMBLY, SEE A9.1, A9.2
- DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
- WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
- LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER
- UNIT TYPE
- UNIT NUMBER

**WALL RATING LEGEND**

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED WALL
- 3HR FIRE RATED WALL

**GENERAL NOTES**

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR PLANTING INFORMATION, SEE SHEET L1.0

SEE A5.1 & A5.2 FOR ENLARGED STAIR PLANS & SECTIONS

SEE A5.2 FOR ELEVATOR PLANS

SEE A6.1-A6.6 FOR ENLARGED UNIT PLANS

SEE A8.1 & A8.2 FOR DOOR & WINDOW SCHEDULE

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS TO ROOF OR DECK SHALL CONNECT TO CITY SEWER, SLOPES 1/4" PER FOOT MIN. TO DRAIN.

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN. DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.

SLAB TO PARKING LEVEL TO SLOPE TO DRAIN, MAX. 5% AT PARKING SPACE, MAX 2% AT ACCESSIBLE PATH.

CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR CAR STACKER EQUIPMENT WITH MANUFACTURER.

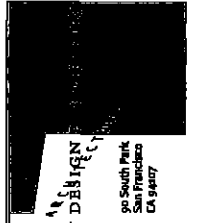
CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

FLOORS 2-5 TO BE 1-HR CONSTRUCTION THROUGHOUT PER CBC SECTION 601.1 FOR TYPE V CONSTRUCTION.

PROVIDE SOUND INSULATION WITH MIN. RATING OF 50 STC BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS PER CBC 1207.6-B.

**DIMENSION NOTES**

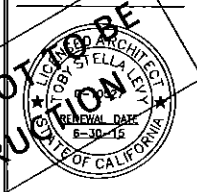
1. WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO CENTERLINE OF STUD, EXCEPT AT BUILDING EDGE & CORRIDORS, WHERE DIMENSIONS ARE TO FACE OF STUD, U.O.N.
2. ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.
3. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.



NOTICE:  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

**880 WEST MacARTHUR BLVD.**  
39 RESIDENTIAL UNITS IN OAKLAND, CA

FOR PRICING ONLY - NOT TO BE USED FOR CONSTRUCTION



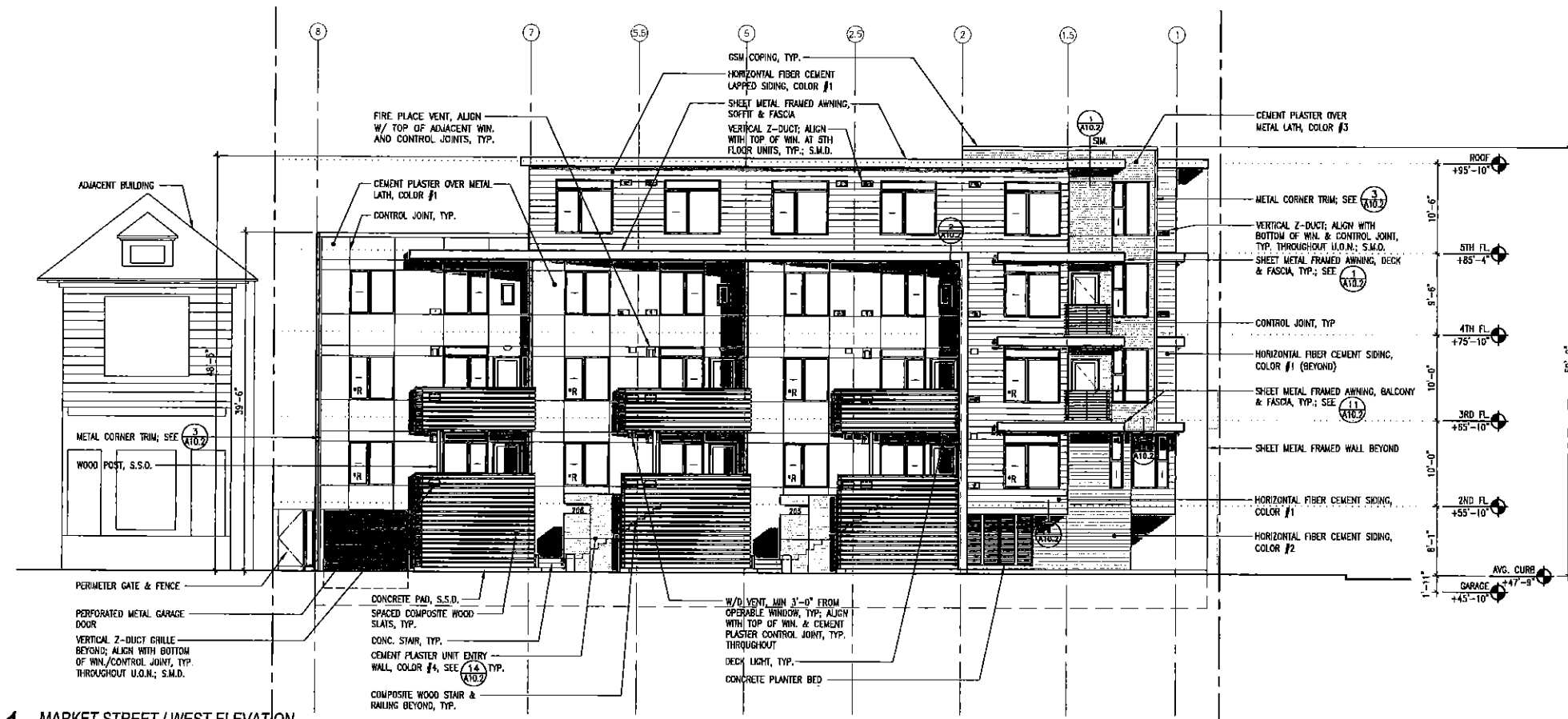
880 West MacArthur Blvd.  
A.P. #: 012\_085902101  
OAKLAND, CA  
PROJECT NO. 13-03  
DATE ISSUE  
2013-06-04 CLIENT REVIEW  
2013-07-01 CLIENT REVIEW UPDATE

CONTACT:  
BRIAN SHU YANG  
(415) 777-0561 P  
(415) 777-5117 F  
bshu@levydesignpartners.com

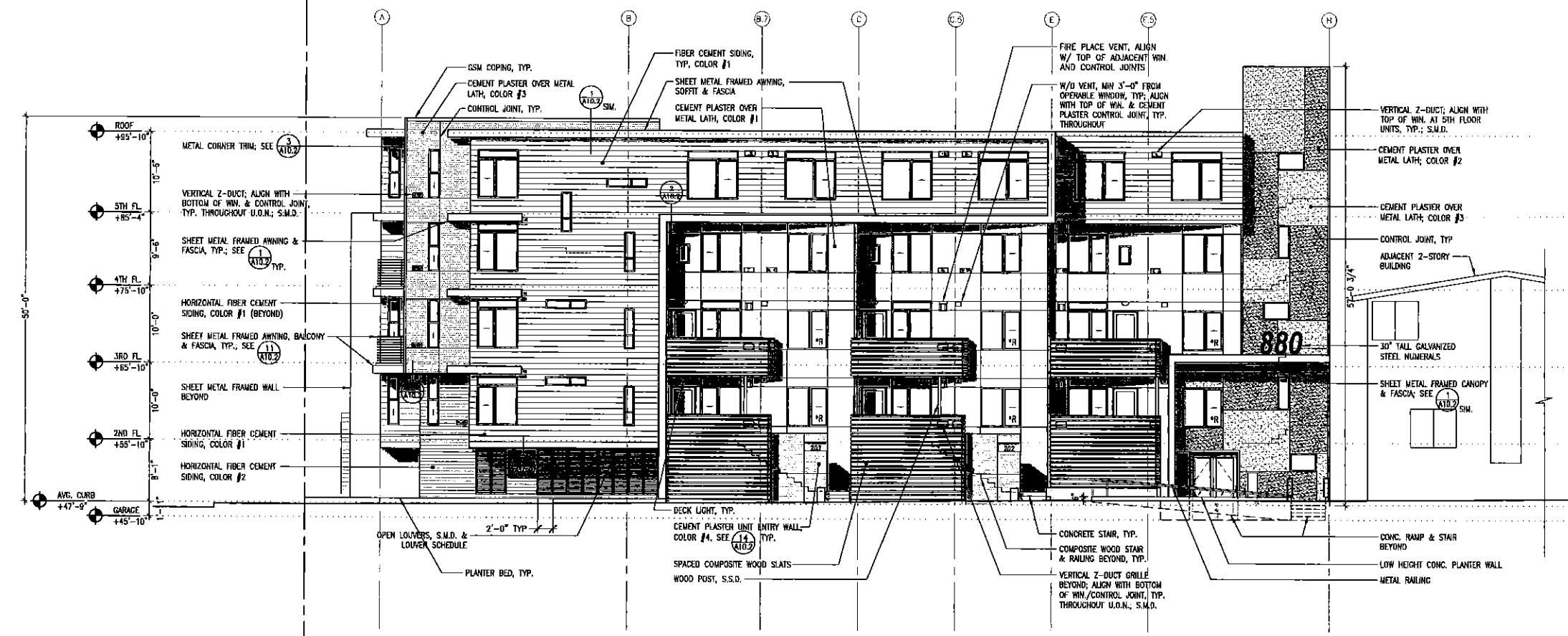
SCALE: 1/8" = 1'-0"

ROOF PLAN

**A2.6**



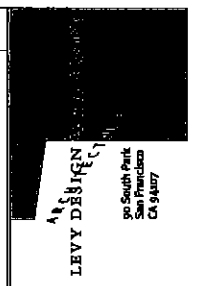
**1 MARKET STREET / WEST ELEVATION**  
1/8"=1'-0"



**2 WEST MACARTHUR STREET / SOUTH ELEVATION**  
1/8"=1'-0"

**GENERAL NOTES**

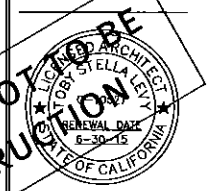
- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- FOR DOOR SCHEDULE, SEE SHEET A8.1
- FOR WINDOW SCHEDULE, SEE SHEET A8.2
- FOR LOUVER SIZES SEE MECHANICAL DRAWINGS
- FOR DIMENSIONS NOT INDICATED HERE; SEE FLOOR PLANS AND ENLARGED UNIT PLANS.
- ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER.
- ALL ROOF AREAS TO BE CLASS "B" PER CBC SECTION 1503
- \*R INDICATES LOCATION OF RESCUE WINDOW/DOOR
- PROVIDE EMERGENCY EGRESS WINDOWS FOR BEDROOMS PER CBC SECTION 310.4
- MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.
- ALL FLASHING, COPING, DOWNSPOUTS, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES



**NOTICE:**  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

**880 WEST MACARTHUR BLVD.**  
39 RESIDENTIAL UNITS IN OAKLAND, CA

**FOR PRICING ONLY - NOT TO BE USED FOR CONSTRUCTION**

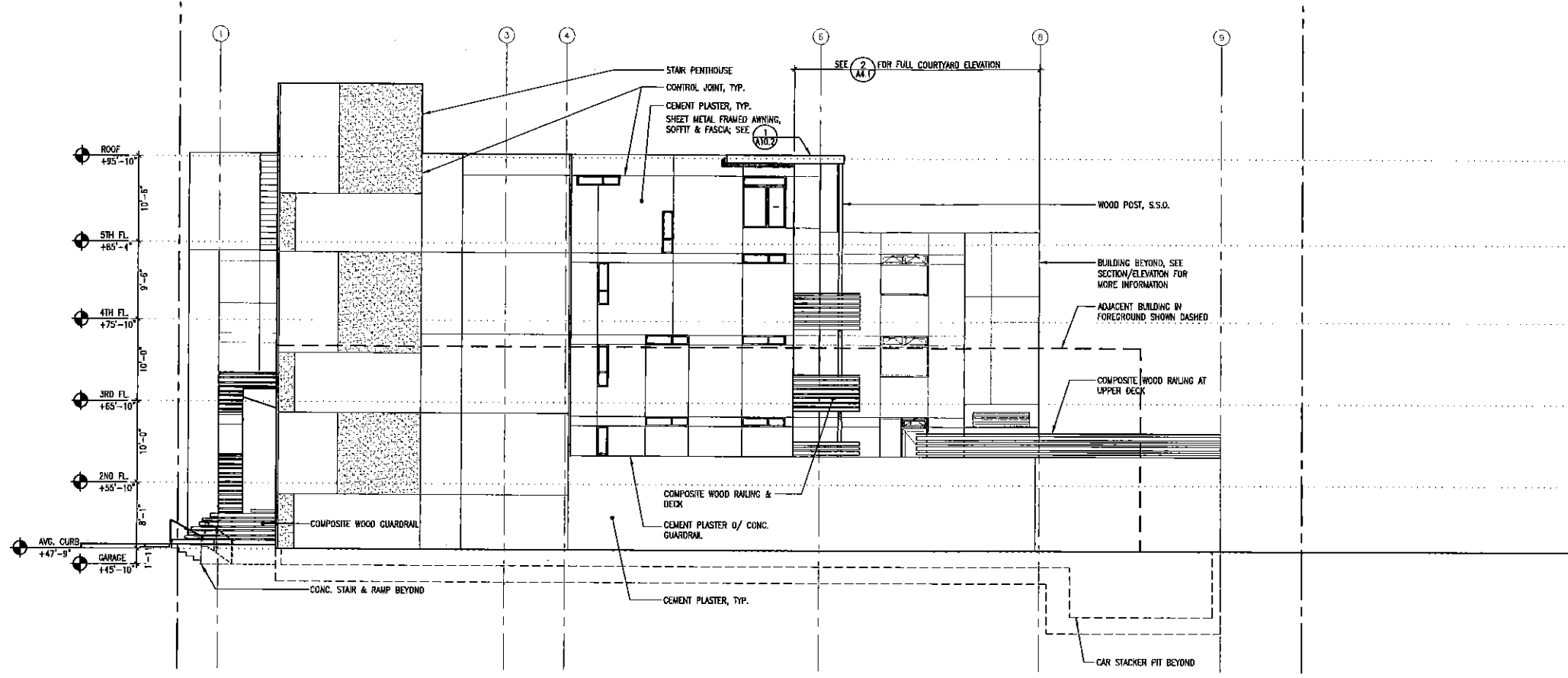


880 West MacArthur Blvd.  
A.P. #: 012\_065902101  
OAKLAND, CA  
PROJECT NO. 13-03  
DATE: ISSUE  
2013-08-04 CLIENT REVIEW  
2013-07-01 CLIENT REVIEW UPDATE

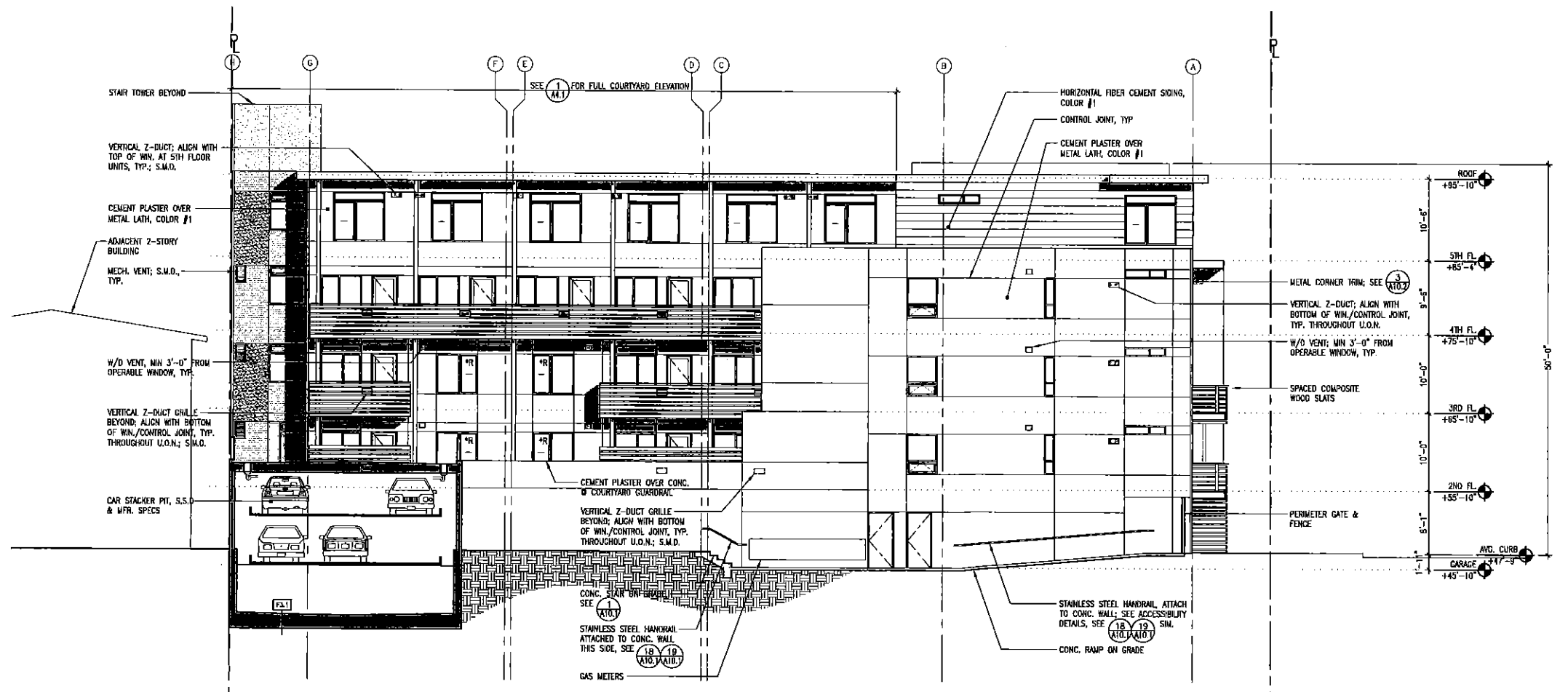
CONTACT:  
BRIAN SIU YANG  
(415) 777-0581 P  
(415) 777-5117 F  
brian@levydesignpartners.com

SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS



**1 WEST MACARTHUR / EAST ELEVATION**  
1/8"=1'-0"



**2 WEST MACARTHUR / NORTH ELEVATION**  
1/8"=1'-0"

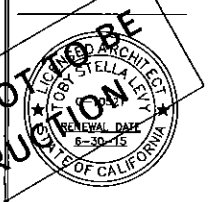
**GENERAL NOTES**

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- FOR DOOR SCHEDULE, SEE SHEET AB.1
- FOR WINDOW SCHEDULE, SEE SHEET AB.2
- FOR LOUVER SIZES SEE MECHANICAL DRAWINGS
- FOR DIMENSIONS NOT INDICATED HERE; SEE FLOOR PLANS AND ENLARGED UNIT PLANS.
- ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER.
- ALL ROOF AREAS TO BE CLASS "B" PER CBC SECTION 1503
- \*R INDICATES LOCATION OF RESCUE WINDOW/DOOR
- PROVIDE EMERGENCY EGRESS WINDOWS FOR BEDROOMS PER CBC SECTION 310.4
- MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.
- ALL FLASHING, COPING, DOWNSPOUTS, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES

NOTICE:  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

**880 WEST MACARTHUR BLVD.**  
39 RESIDENTIAL UNITS IN OAKLAND, CA

**FOR PRICING ONLY - NOT TO BE USED FOR CONSTRUCTION**



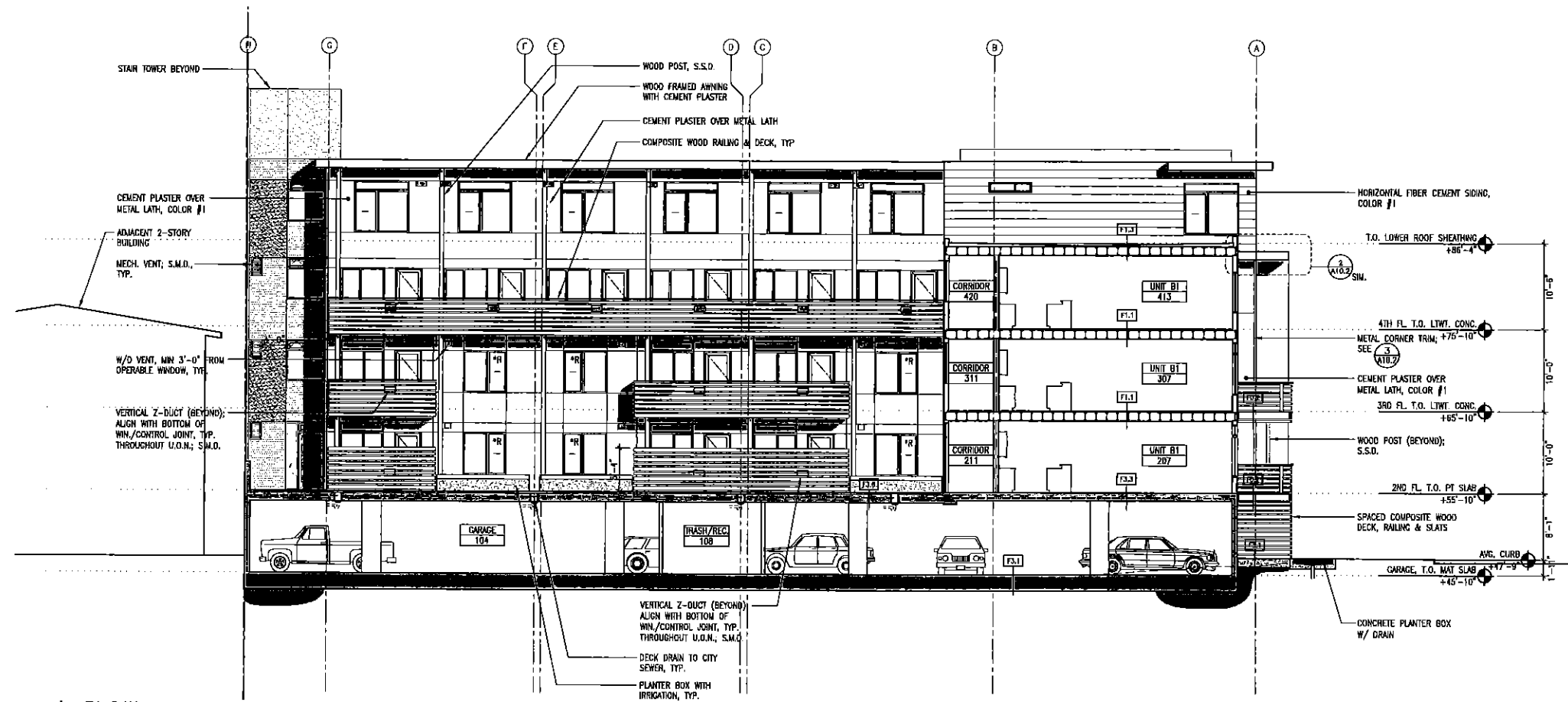
880 West MacArthur Blvd.  
A.P. #: D12\_095902101  
OAKLAND, CA  
PROJECT NO. 13-03  
DATE ISSUE  
2013-06-04 CLIENT REVIEW  
2013-07-01 CLIENT REVIEW UPDATE

CONTACT:  
BRIAN SIU YANG  
(415) 777-0561 P  
(415) 777-5117 F  
brianc@levydesignpartners.com

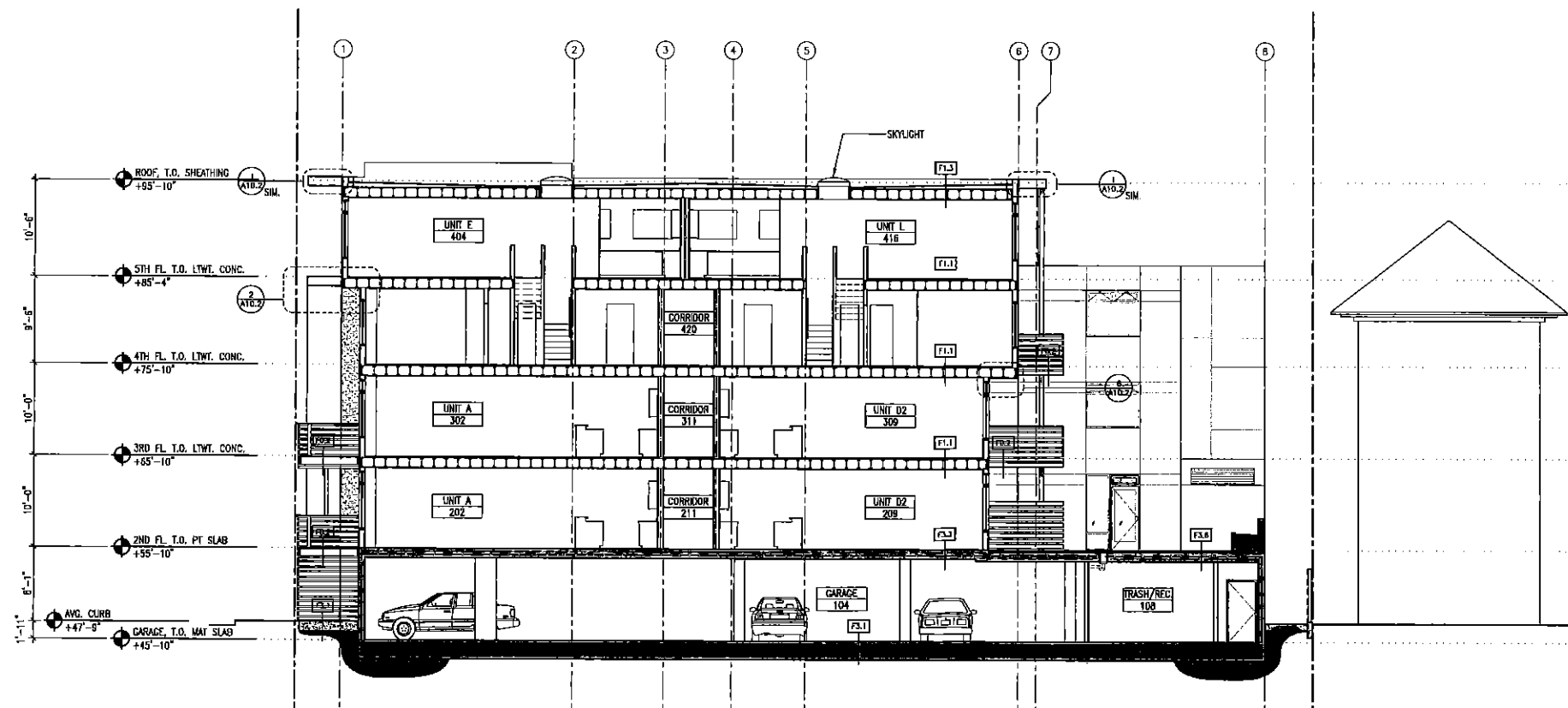
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

**A3.2**



**1 EAST-WEST SECTION/COURTYARD ELEVATION**  
1/8"=1'-0"



**2 NORTH-SOUTH SECTION/COURTYARD ELEVATION**  
1/8"=1'-0"

**SYMBOL LEGEND**

- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
- WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
- WALL ASSEMBLY, SEE A9.1, A9.2
- ⊕ DOOR TYPE; SEE SCHEDULE, SEE SHEET AB.1
- ⊕ WINDOW TYPE; SEE SCHEDULE, SEE SHEET AB.2
- ⊕ LOUVER, SEE MECHANICAL DRAWINGS
- DECK DRAIN TO CITY SEWER

**WALL RATING LEGEND**

- 1HR FIRE RATED DEMISING WALL
- 2HR FIRE RATED AREA SEPARATION WALL
- 2HR FIRE RATED WALL
- 3HR FIRE AREA SEPARATION
- 4HR FIRE RATED WALL

**GENERAL NOTES**

SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.

FOR DOOR SCHEDULE, SEE SHEET AB.1

FOR WINDOW SCHEDULE, SEE SHEET AB.2

FOR LOUVER SIZES SEE MECHANICAL DRAWINGS

FOR DIMENSIONS NOT INDICATED HERE; SEE FLOOR PLANS AND ENLARGED UNIT PLANS.

ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS ON ROOF OR DECK SHALL CONNECT TO CITY SEWER.

ALL ROOF AREAS TO BE CLASS "B" PER CBC SECTION 1503

\*R INDICATES LOCATION OF RESCUE WINDOW/DOOR

PROVIDE EMERGENCY EGRESS WINDOWS FOR BEDROOMS PER CBC SECTION 310.4

MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC 1203.3.

ALL FLASHING, COPING, DOWNSPOUTS, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES

**LEVY DESIGN**  
18 South Park  
San Francisco  
CA 94107

NOTICE:  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

**880 WEST MACARTHUR BLVD.**  
39 RESIDENTIAL UNITS IN OAKLAND, CA

**FOR PRICING ONLY - NOT TO BE USED FOR CONSTRUCTION**

ARCHITECT  
BRIAN SIU YANG  
6-30-15  
RENEWAL DATE  
ARCHITECTS  
OF CALIFORNIA

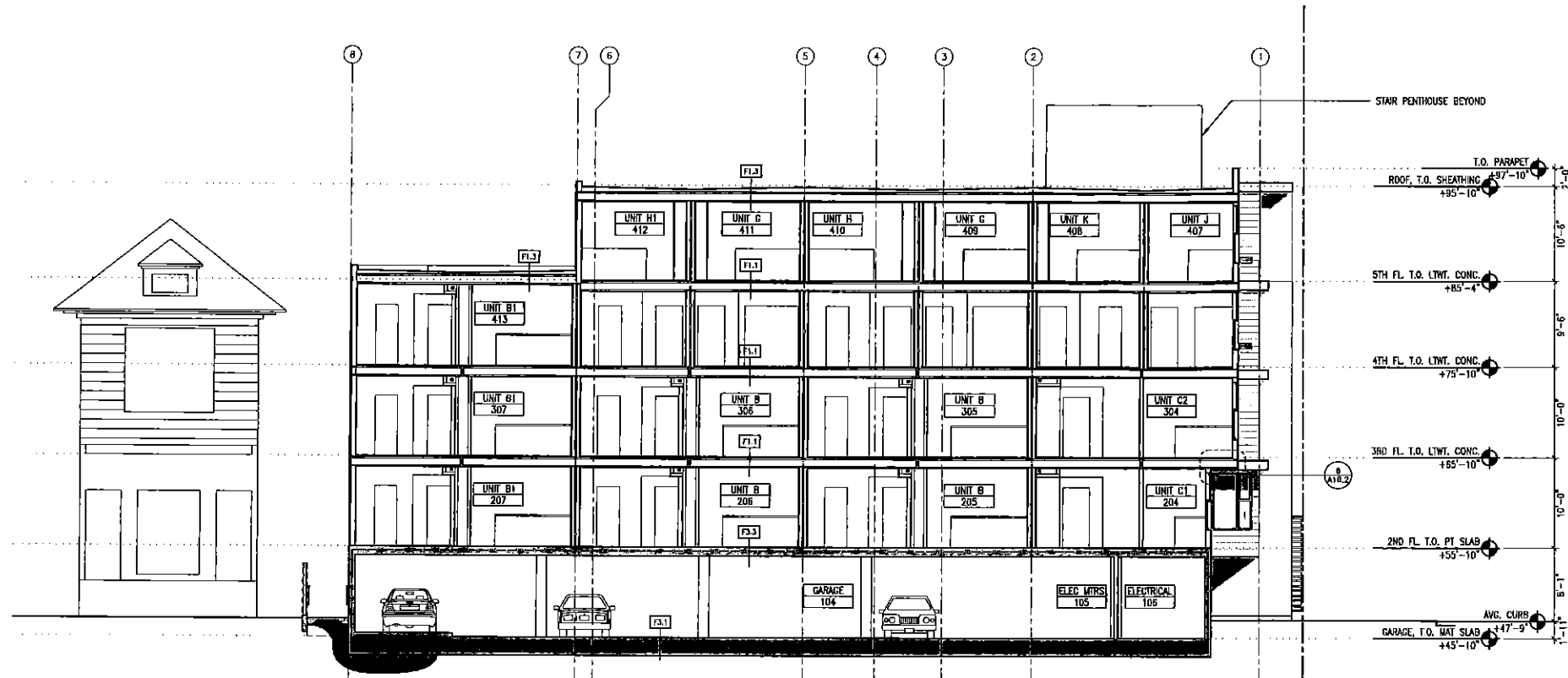
880 West MacArthur Blvd.  
A.P. #: 012\_065902101  
OAKLAND, CA  
PROJECT NO. 13-03

DATE ISSUE  
2013-06-04 CLIENT REVIEW  
2013-07-01 CLIENT REVIEW UPDATE

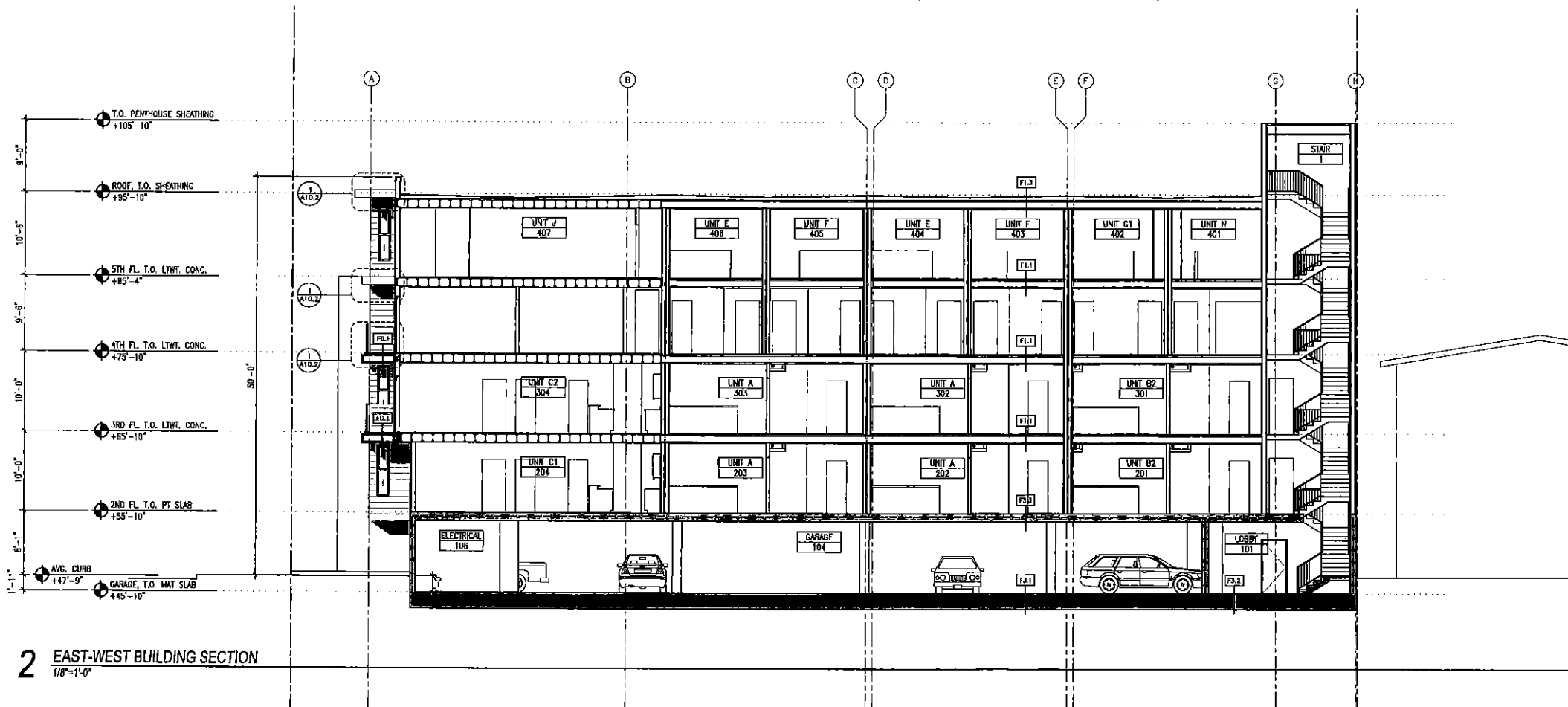
CONTACT:  
BRIAN SIU YANG  
(415) 777-0561 P  
(415) 777-6117 F  
brian@levydesignpartners.com

SCALE: 1/8" = 1'-0"

**BUILDING SECTIONS**



**1** NORTH-SOUTH BUILDING SECTION  
1/8"=1'-0"

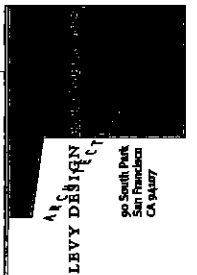


**2** EAST-WEST BUILDING SECTION  
1/8"=1'-0"

- SYMBOL LEGEND**
- CONCRETE WALL, SEE STRUCTURAL DRAWINGS
  - WOOD FRAMED WALL, SEE STRUCTURAL DRAWINGS
  - WALL ASSEMBLY, SEE A9.1, A9.2
  - DOOR TYPE; SEE SCHEDULE, SEE SHEET A8.1
  - WINDOW TYPE; SEE SCHEDULE, SEE SHEET A8.2
  - LOUVER, SEE MECHANICAL DRAWINGS
  - DECK DRAIN TO CITY SEWER

- WALL RATING LEGEND**
- 1HR FIRE RATED DEMISING WALL
  - 2HR FIRE RATED AREA SEPARATION WALL
  - 2HR FIRE RATED WALL
  - 3HR FIRE AREA SEPERATION
  - 4HR FIRE RATED WALL

- GENERAL NOTES**
- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
  - FOR DOOR SCHEDULE, SEE SHEET A8.1
  - FOR WINDOW SCHEDULE, SEE SHEET A8.2
  - FOR LOUVER SIZES SEE MECHANICAL DRAWINGS
  - FOR DIMENSIONS NOT INDICATED HERE; SEE FLOOR PLANS AND ENLARGED UNIT PLANS.
  - ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS ON ROOF OR DECK SHALL CONNECT TO CITY SEWER.
  - ALL ROOF AREAS TO BE CLASS "B" PER CBC SECTION 1503
  - \*R INDICATES LOCATION OF RESCUE WINDOW/DOOR
  - PROVIDE EMERGENCY EGRESS WINDOWS FOR BEDROOMS PER CBC SECTION 310.4
  - MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR PER CBC SECTION 310.4
  - ALL FLASHINGS, COPING, DOWNSPOUTS, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES



NOTICE:  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

**880 WEST MACARTHUR BLVD.**  
39 RESIDENTIAL UNITS IN OAKLAND, CA

**FOR PRICING ONLY - NOT TO BE USED FOR CONSTRUCTION**



880 West MacArthur Blvd.  
A.P. #: D12\_095902101  
OAKLAND, CA  
PROJECT NO. 13-03  
DATE ISSUE  
2013-08-04 CLIENT REVIEW  
2013-07-01 CLIENT REVIEW UPDATE

CONTACT:  
BRIAN SIU YANG  
(415) 777-0561 P  
(415) 777-5117 F  
bsiu@levydesignpartners.com

SCALE: 1/8" = 1'-0"

BUILDING SECTIONS

**A4.2**