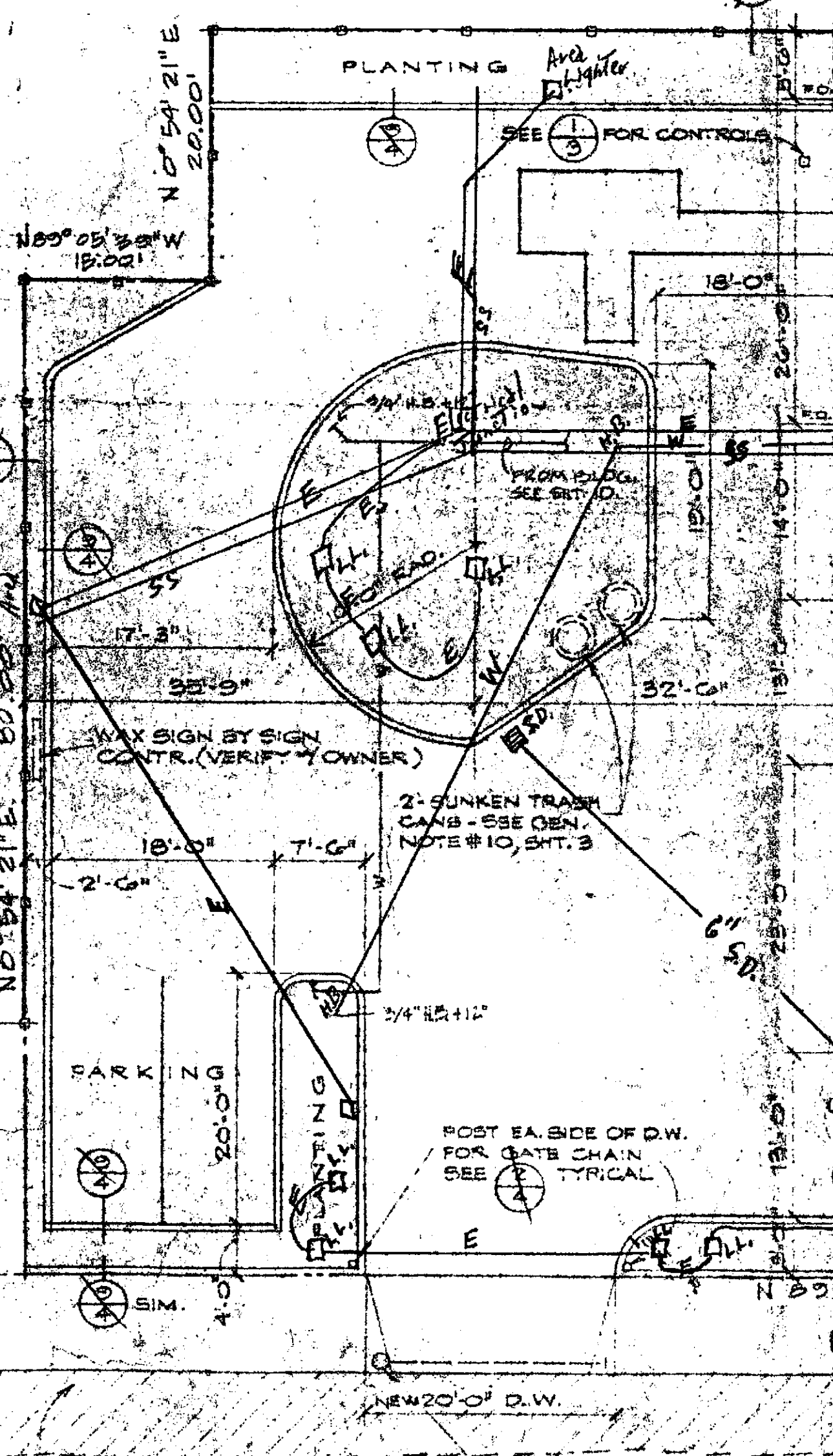


20'-0" 6'-0" HIGH RWD. FENCE



NEW A.C. PAVING AS REQD.
 TO MEET EXIST. PAVEMENT S
 AS PER ALL COUNTY OF
 ALAMEDA REQUIREMENTS

EXIST. JT. POLE
 TO BE
 RELOCATED

8/3
 67

SITE
 THIS SITE IS
 OF SAN LOUIS
 (SOUTH SIDE
 AVE.) AS SH
 DATED MAY

6'-0" HIGH RWD. FENCE

CONC. TRANSF. PAD & PIPE GUARDS AS PER P.L.E.E. DWG. 045202 SHTS 1,3,4,6.

GAS METER PAD VERIFY SIZE W/ P.L.E.E.

N 89° 05' 39" W 150'

PLANTING

CAR WASH AREA - SEE SH. C

FOR BLDG & EQUIP. SLAB LAYOUT - SEE SHEET 3

RECLAIM PIT - SEE SHEET 4

CALL FOR P.L.E.E. INSPECTOR 24 HRS. BEFORE POURING

TO EXIST. SAN SEWER

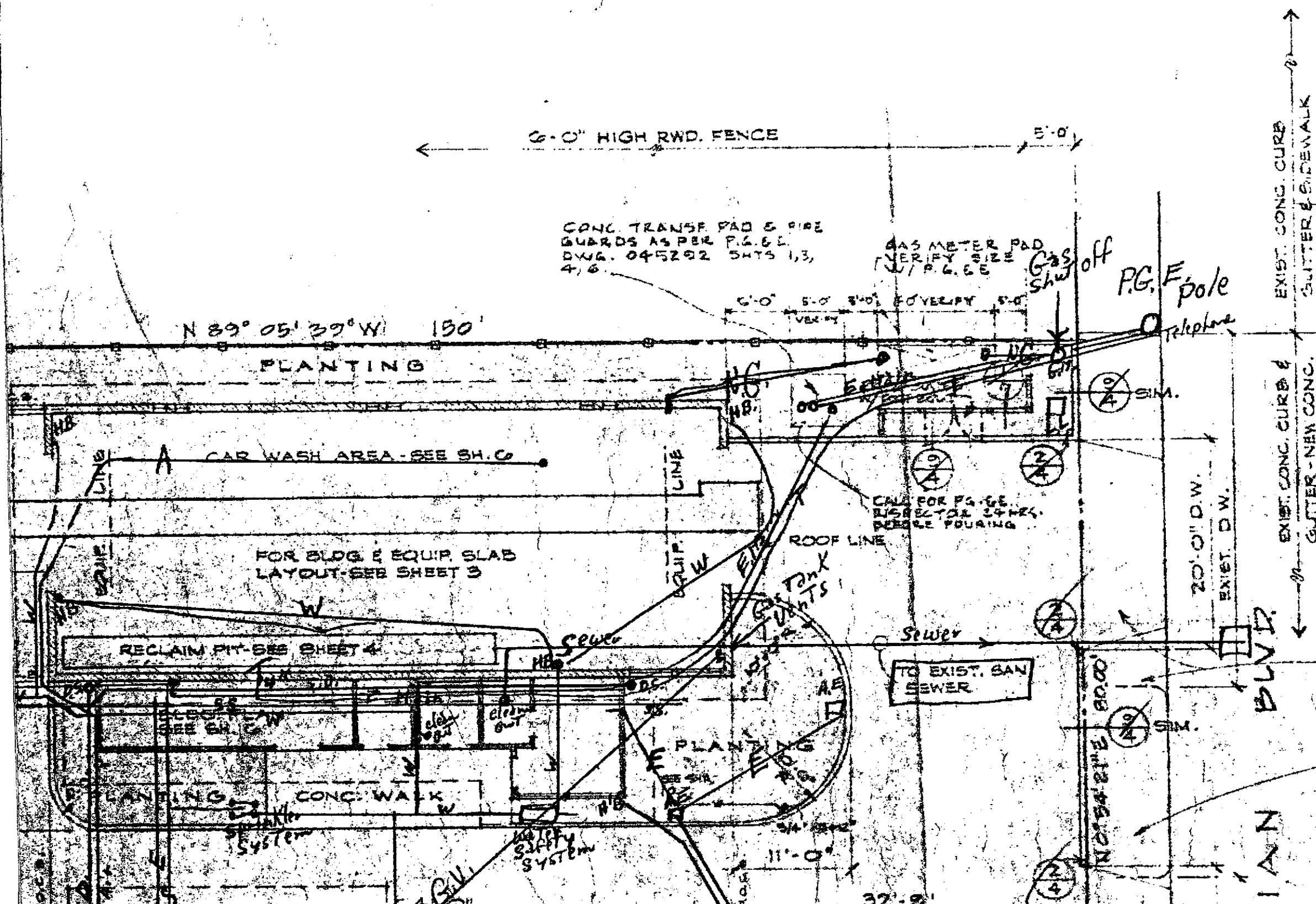
EXIST. CONC. CURB & GUTTER & SIDEWALK

EXIST. CONC. CURB & GUTTER - NEW CONC. SIDEWALK

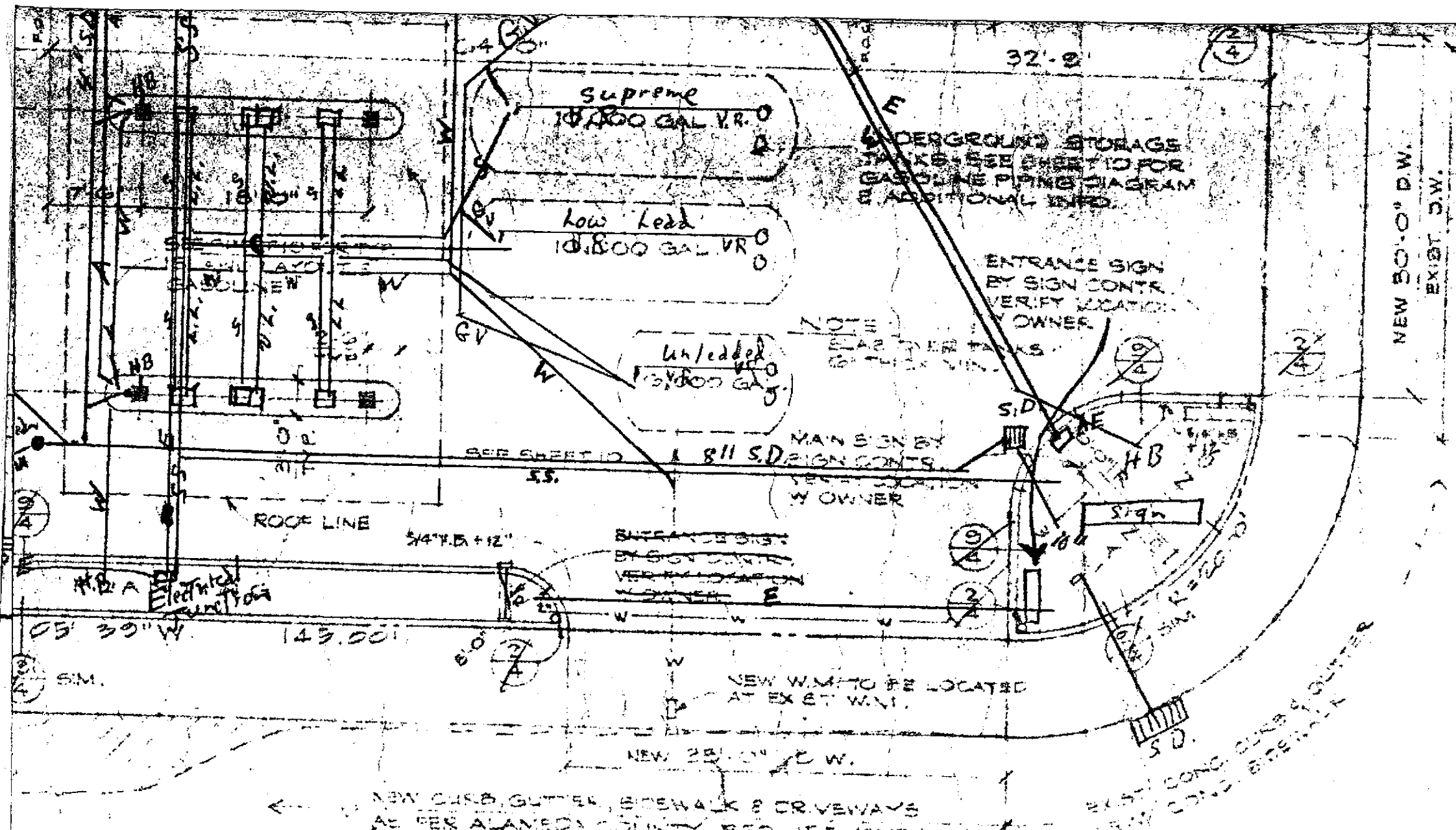
20'-0" D.W. EXIST. D.W.

REMOVE A.C. PAVING & CONST. NEW D.W., CURB, GUTTER & SIDEWALK AS PER ALAMEDA COUNTY REQUIREMENTS.

REMOVE A.C. PAVING & CONST. NEW SIDEWALK AS PER ALAMEDA COUNTY REQUIREMENTS TO MATCH EXIST. CONC. CURB & GUTTER.



BLVD. IAN



HESPERIA

- Symbols**
- S.D. - Storm Drain
 - N.G. - Natural Gas
 - E - Electrical
 - W - Water
 - T - Telephone
 - Sewer
 - S - Supreme
 - U.L. - Unleaded
 - L.L. - Low Lead
 - S.S. - Sprinkler System
 - A.E. - Area Lighter
 - A - Air
 - H.B. - Hose Bibb
 - G.V. - Gas Vents
 - L.L. - Low level lights
 - V.R. - Vapor Recovery System

YCAMORE AVE.

PLAN SCALE 1/4" = 10'






DIVISION OF PUBLIC WORKS
 COUNTY OF ALAMEDA
 131272

INDEX

1. SITE PLAN
 2. SITE GRADING PLAN
 3. CONC. SLAB PLAN, SECTIONS & DETAILS
 4. RECLAIM PIT PLANS, SECTIONS & MISC DETAILS
 5. FOUNDATION PLAN & DETAILS
 6. BLDG. FLOOR PLAN, DOOR & WINDOW SCHEDULES & DETAILS
 7. EXTERIOR ELEVATIONS, SECTIONS & ROOF PLAN
 8. BUILDING DETAILS
 9. BUILDING DETAILS
 10. PLUMBING PLAN & SCHEMATIC GASOLINE PIPING PLAN & TYPICAL ISLAND LAYOUT
 11. SITE ELECTRICAL PLAN & ELECTRICAL FIXTURE SCHEDULE
 12. ELECTRICAL PLAN
- SITE SURVEY & OFF SITE DRWGS BY JAMES I HILL, OAKLAND, CA.
 - CAR WASH EQUIPMENT DRAWINGS BY "SHERMAN CO."

- L-1 LANDSCAPE PLAN (N.I.C.) FURNISHED & INSTALLED BY OWNER
- L-2 IRRIGATION PLAN (N.I.C.) FURNISHED & INSTALLED BY OWNER

SYMBOLS

	←	DETAIL NO.
	←	SHEET NO.
	←	SECTION NO.
	←	SHEET NO.
	←	DOOR TYPE
	←	HARDWARE GROUP
	←	WINDOW TYPE
	←	REFERENCE ELEVATION
N.T.S.	—	NOT TO SCALE
F.O.C.B.	—	FACE OF CONCRETE BLOCK
F.O.S.	—	FACE OF STUDS
N.I.C.	—	NOT IN CONTRACT

CAR WASH
CAR WASH

1150 SHERMAN BLVD. & SUCAMORE AVE
 SAN LORENZO, CALIFORNIA
THE BUBBLE MACHINE
 SAN FRANCISCO CALIFORNIA

Bubble Machine

NOTES

1. SEE SITE GRADING PLAN FOR PAVING PATTERN.
2. GEN. CONTR. TO ARRANGE FOR REMOVAL AND/OR RELOCATION OF STREET FIXTURES (SIGNS, PARKING METERS, STREET LIGHTS, ETC.) WHICH OCCUR AT NEW DRIVEWAYS IN ACCORDANCE WITH ALL LOCAL CODES & ORDINANCES.
3. SEE SHEET II FOR SITE ELECTRICAL INFO.
4. GEN. CONTR. IS TO COORDINATE ALL WORK BY OTHERS (SUCH AS LANDSCAPE, CAR WASH EQUIP., SIGNS, ETC.).
5. EXISTING SITE INFORMATION AS SHOWN ON THESE DRAWINGS IS TAKEN FROM SITE SURVEY BY JAMES T. HILL, OAKLAND, CA. L.S. 2464, DATED MAY 23, 1972.

BU
WAL

REVISIONS

PERATA &
SYLVESTER

ARCHITECT'S INSPECTION

CONTRACTOR SHALL GIVE THE ARCHITECT A MINIMUM OF THREE (3) DAYS NOTICE FOR THE FOLLOWING INSPECTIONS:

1. RECLAIM PIT & CONVEYOR PIT REINFORCING.
2. MASONRY WALL REINFORCING.
3. COMPLETE FRAMING.
4. FINAL.

#31
#7

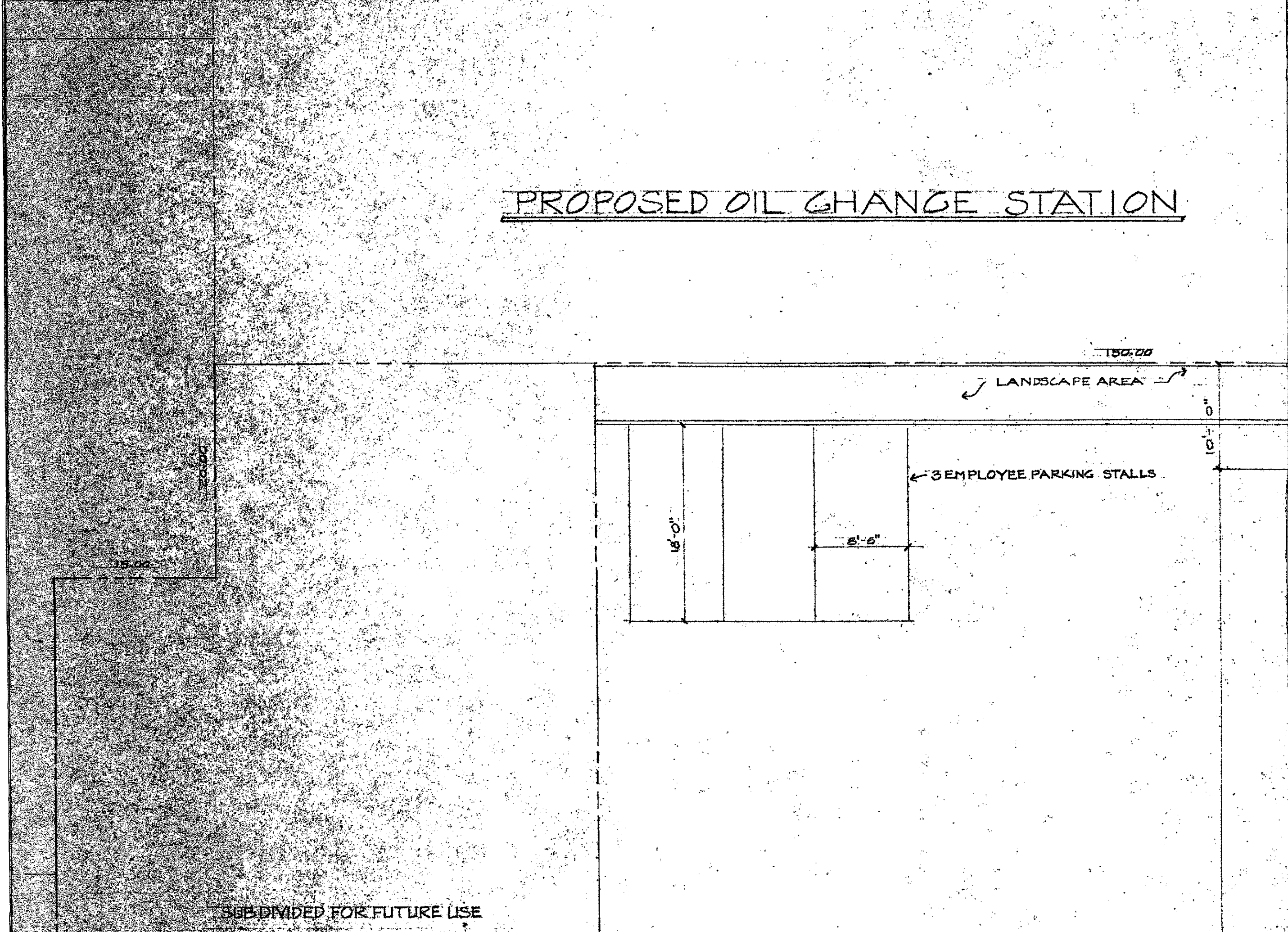
553W-2384 15526 HESPERIAN BLVD
SAN LORENZO, CA. (SYCAMORE)

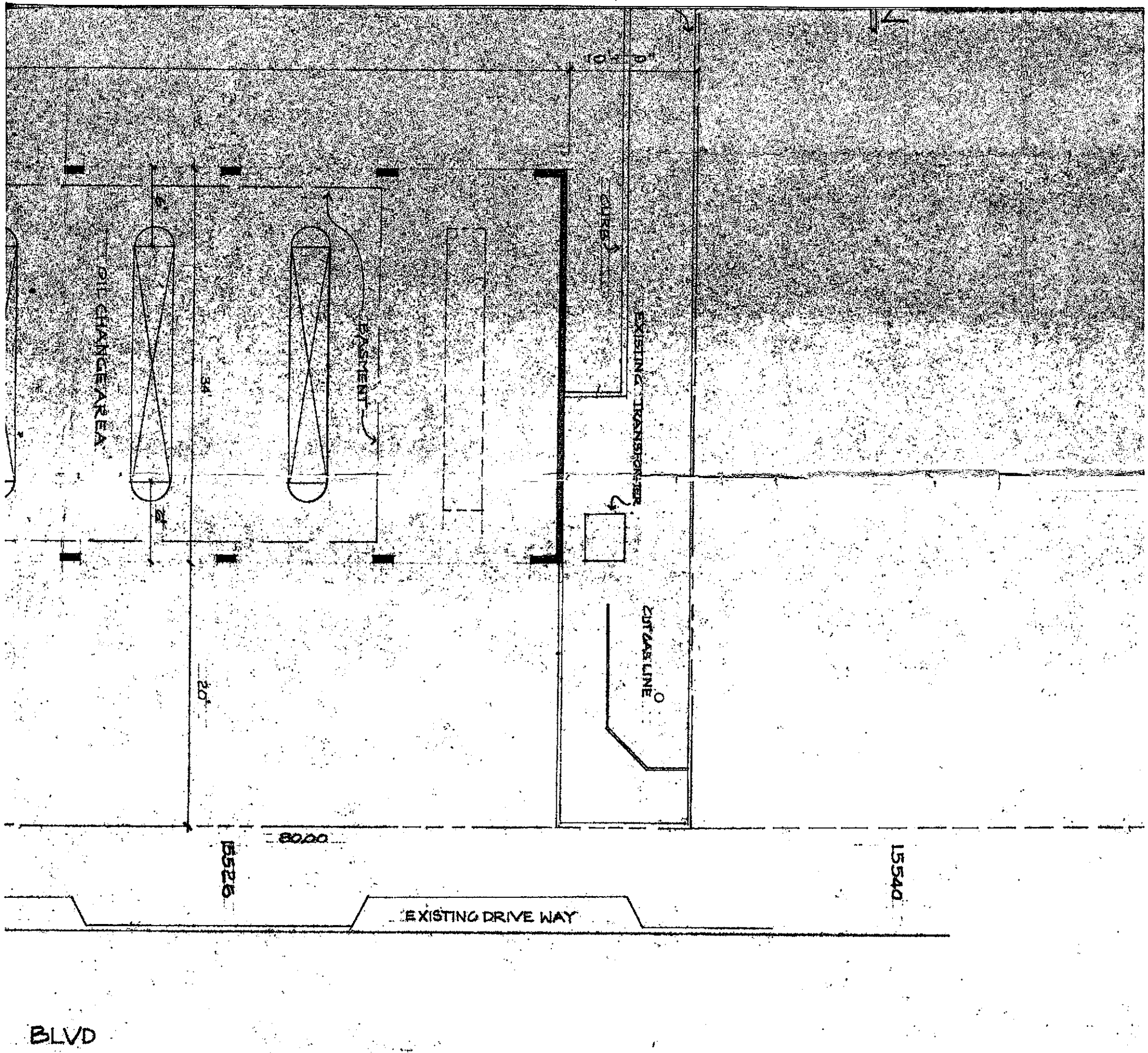
A. I. A.
ARCHITECTS

2808 S. M. STANFORD BLVD
SAPORTELA, CALIFORNIA
94568

DATE	19 JUN 72	SHEET NO.	1
PROJECT			
BY			
CHECKED			
SCALE			

PROPOSED OIL CHANGE STATION





F PROPOSED
STATION

FOR
MR ON AN
15526 HESPERIAN BLVD
SAN LORENZO CA

80.00

50' 00"

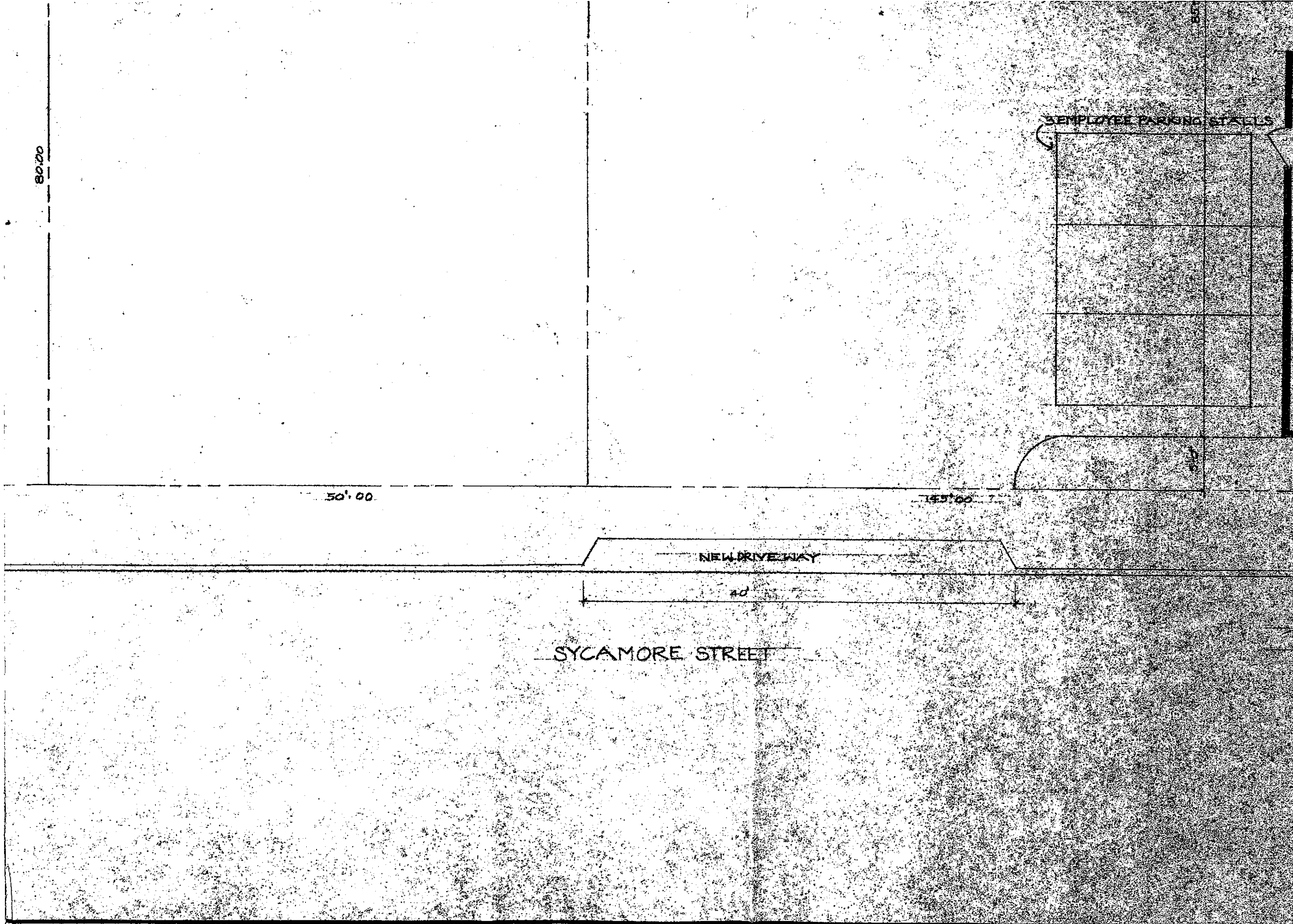
145' 00"

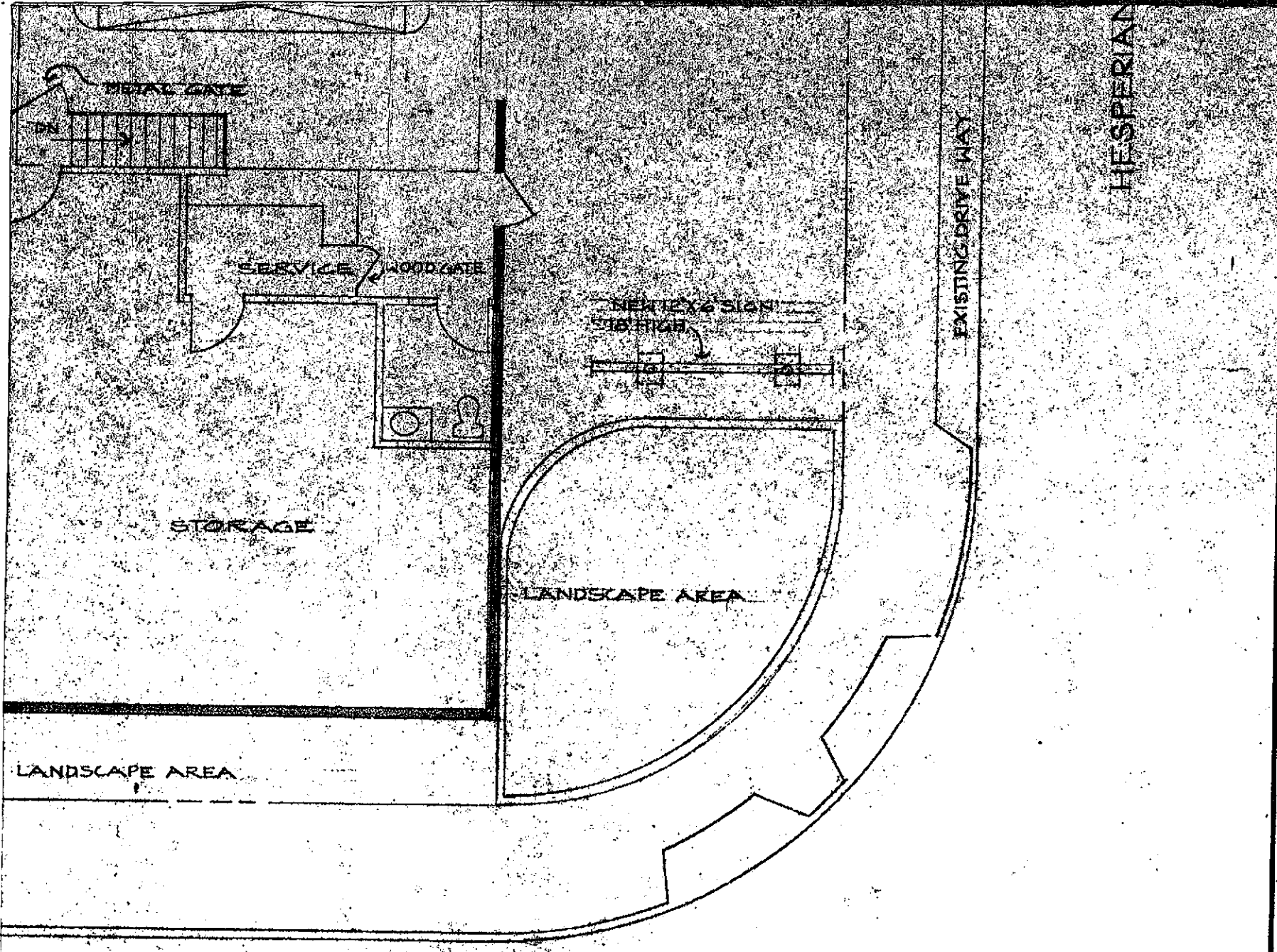
EMPLOYEE PARKING STALLS

NEW DRIVEWAY

40'

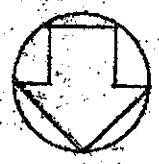
SYCAMORE STREET





SITE PLAN

1/8" = 1'-0"



SITE PLAN OF
INSTALLATION

L. G. MARQUOIT CIVIL ENGINEER
44 LEEDS COURTE.

Date 3/16/94

Scale 1/8" = 1'-0"

Drawn A. BOY

Job

Sheet 1

Of 1 Sheets

64 MAR 25 AM 9:41
MAR 17 1994
C6408

ALCO
HAZMAT

EXHIBIT A



CONDITIONS OF APPROVAL, S-1429

THIS SITE SHALL BE DEVELOPED AND MAINTAINED IN CONFORMANCE WITH THE DESIGN, STATEMENTS, AND CONDITIONS INDICATED HEREON. NO STRUCTURES OR OTHER USES THAN THOSE INDICATED ARE PERMITTED.

ANY DESIGN MODIFICATIONS REQUESTED BY ANY PARTY, EITHER PRIOR TO THE ISSUANCE OF A BUILDING PERMIT OR DURING CONSTRUCTION, SHALL BE APPROVED BY THE PLANNING DIRECTOR.

1. Building Permit for structure(s) hereon indicated shall be secured and construction commence within three years of approval of this site development review or said approval shall be void.
2. Property owner shall maintain the property and adjacent sidewalks in a litter free condition. Prior to commencement of use, a plan for effective litter and garbage collection program shall be submitted to and approved by the Zoning Administrator.

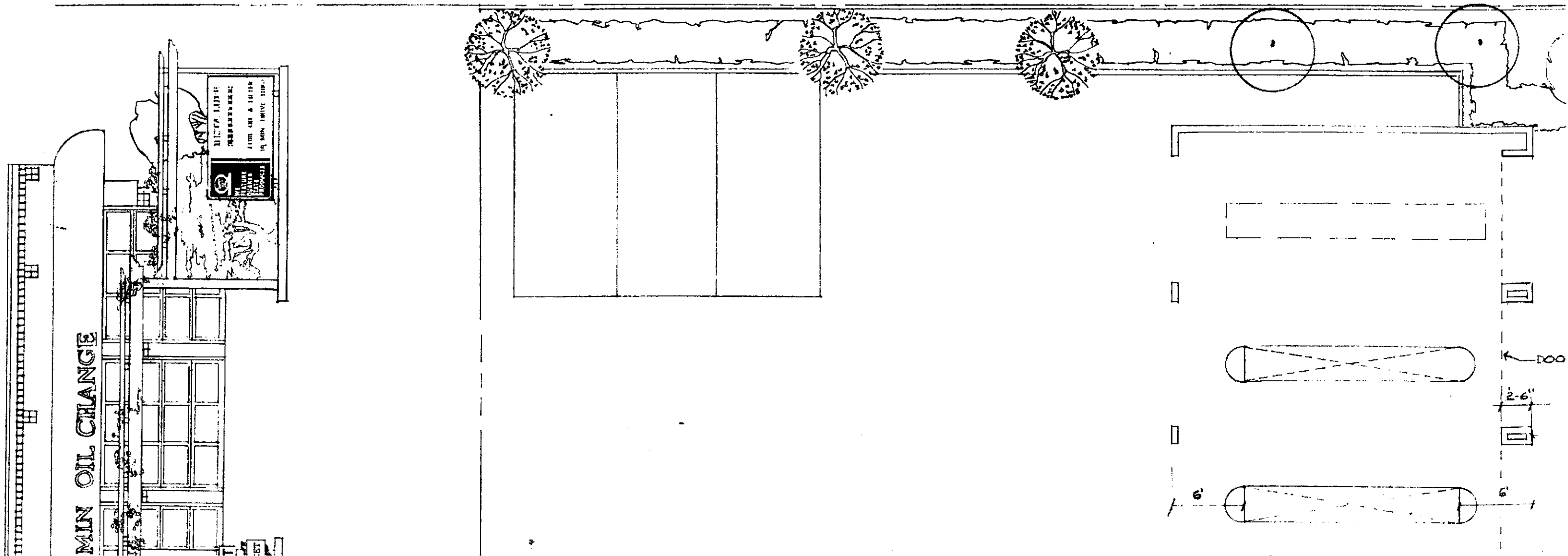
PRIOR TO ISSUANCE OF A BUILDING PERMIT

3. Secure an Encroachment Permit from the Director of Public Works to relocate standard P.C.C. driveways along the entire frontages of Hesperian Boulevard and Sycamore Street. A cash deposit equivalent to the cost of installing these improvements will be required to obtain this permit. The deposit will be returned upon satisfactory completion of the improvements by the developer.
4. Secure approval from the Director of Public Works of detailed plans prepared by an engineer (including location, extent and sizes of all permanent and temporary facilities) for: a) grading, drainage, erosion and sedimentation control; b) relocation of P.C.C. driveways and tie-in pavement along the frontages of Hesperian Boulevard and Sycamore Street; and c) on-site paving.
5. Secure a Grading Permit from the Director of Public Works, as needed, in accordance with requirements of the Alameda County Grading Ordinance.
6. Secure approval from the Director of Public Works of all easements for drainage facilities or drainage releases located off the site.
7. Implement storm water quality measures by the State Regional Water Quality Control Board in compliance with the National Pollutant Discharge Elimination System (NPDES), subject to review and approval by the Director of Public Works.
8. Secure approval from the Planning Director of a specific landscaping plan prepared by a Landscape Architect. Said plan shall conform with the general landscaping proposals indicated on this exhibit and include a mechanical irrigation plan, planting and staking details for on-site vegetation and off-site street trees, landscape maintenance program, perimeter fencing plans and trellis structure details, and outdoor and security lighting.
9. Secure approval from the Planning Director of final building elevations including facade materials, roofing materials, building colors. Said elevations shall conform with the design indicated on this Exhibit B. Any roof mounted equipment as well as all utilities and garbage enclosures shall be screened from view from the public roads.
10. Submit to the Building Official a letter from East Bay Municipal Utility District stating that it has agreed to provide water for the proposed development.
11. Submit to the Building Official a letter from the Oro Loma Sanitary District stating that it has agreed to provide a sewer connection serving the proposed development.
12. Secure approval from the Alameda County Fire Department of plans showing type and locations of all fire protection equipment.

EXHIBIT "B", S 1429

ANNUAL
PLANNING
OIL

J. W. ...
ANNUAL
PLANNING



APPROVED BY THE
PLANNING DIRECTOR

ON July 11, 1994
(DATE)

James Johnson

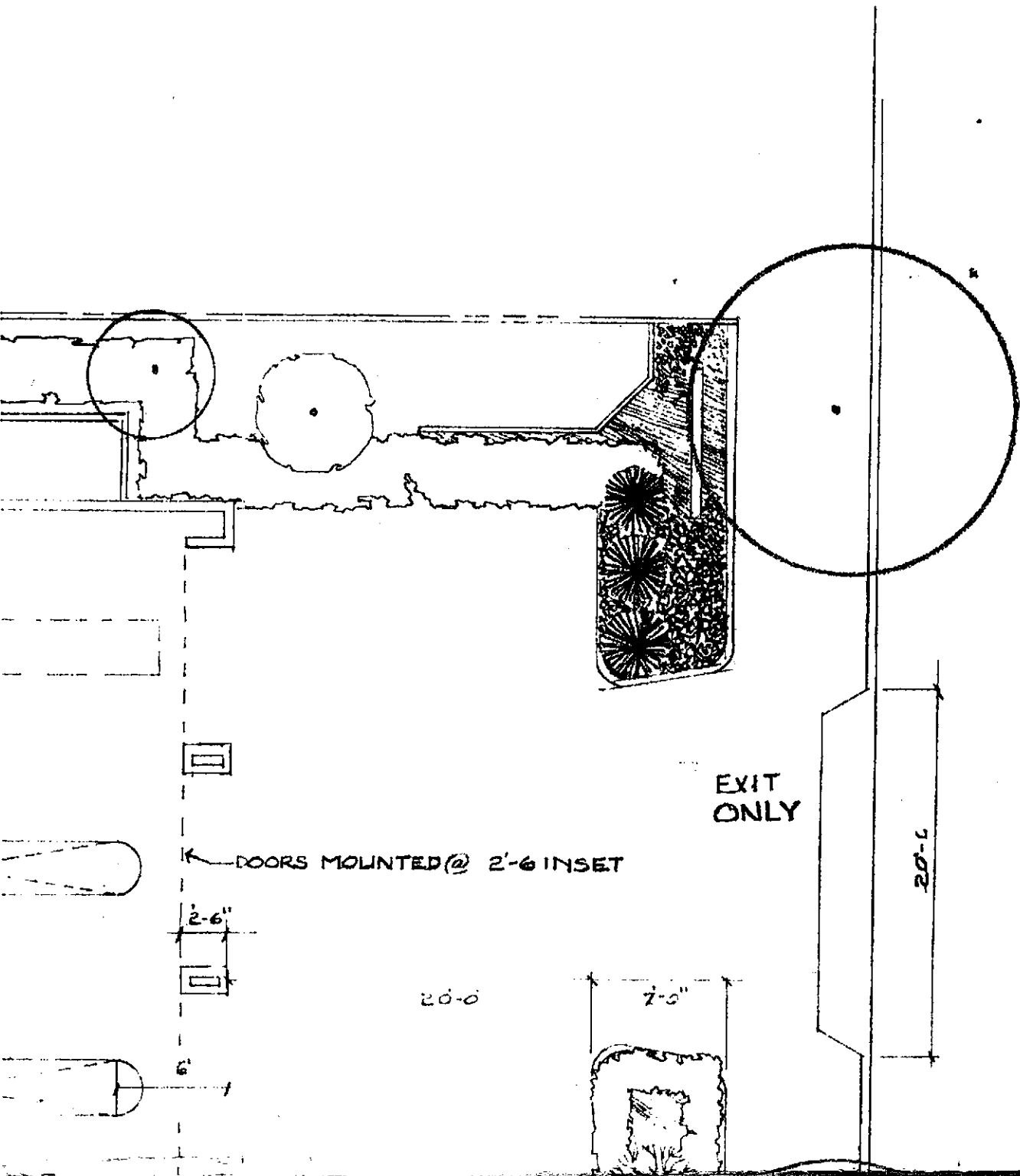
ADAM MARTINELLI
Alameda County Planning Director

REVISIONS	BY

FOR
MR. AN, ON
15526 HESPERIAN BLD
SAN LORENZO CA

GE STATION
ELEVATION
PLAN
S & DIMENSIONS

HESPERIAN BLD



EXIT ONLY

DOORS MOUNTED @ 2'-6" INSET

2'-6"

20'-0"

7'-0"

20'-0"

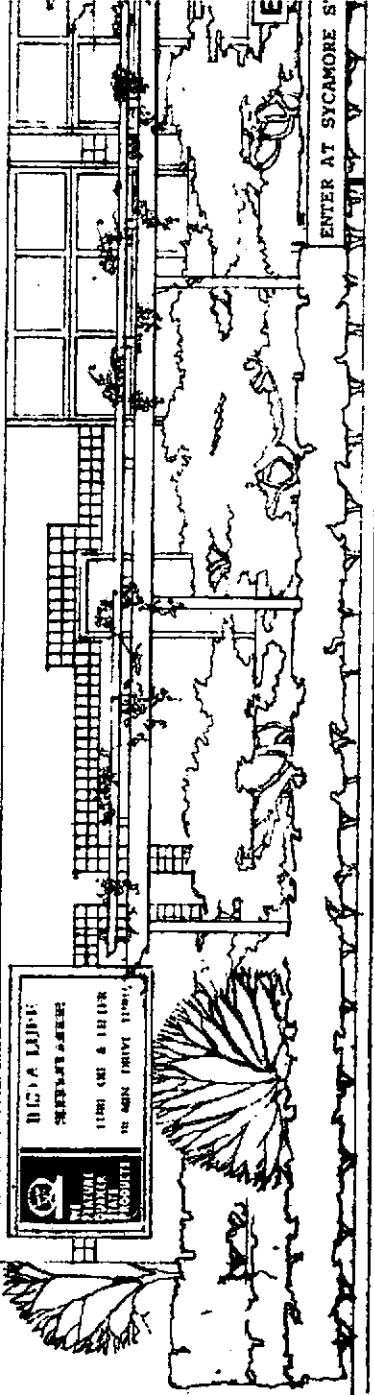
DURING CONSTRUCTION AND PRIOR TO FINAL INSPECTION

13. The owner shall submit a sign program for approval by the Planning Director. All signs shall conform to regulations set forth in the Zoning Ordinance. There shall be no temporary or permanent banner signs, freestanding signs, flashing or intermittent signs permitted on this site.
14. Design and improvement of the site shall comply with recommendations and requirements of the Public Works Agency as detailed in its letters dated April 14, May 2, and May 4, 1994, as amended by these conditions.
15. Grade the site and install all improvements, as required by the Director of Public Works under Conditions 3 through 7 above.
16. Limit grading to the period between April 15 and October 1, unless otherwise authorized by the Director of Public Works. Grading shall conform to provisions of the Alameda County Grading Ordinance.
17. Control dust and keep adjoining public streets and private drives clean of project dirt, mud, materials and debris, to the satisfaction of the Director of Public Works.
18. Slope the site to the street at a minimum slope of 0.5% based on curb elevation approved by the Director of Public Works. All drainage slopes shall be at 0.5% minimum.
19. Develop the site in accordance with the approved landscape plan. Prior to final inspection, a statement shall be submitted to the Building Official from the Planning Department certifying that a) landscaping has been installed in conformance with the approved plan or b) a cash deposit equivalent to the cost of installing these improvements, based upon an estimate submitted by the Landscape Architect or Landscape Contractor, has been obtained to ensure completion of landscaping within a period of time as specified by the Planning Director. The deposit will be returned upon satisfactory completion of the improvements by the developer.
20. Place all new utility distribution facilities within the development underground.
21. Provide fire protection devices conforming to specifications of and inspection by the Alameda County Fire Department.
22. Delineate all parking spaces with white paint.
23. Construct a 6 inch high concrete curb (minimum) to separate all paved parking and passageway areas from landscaped areas. Curbs may be deleted where sidewalk adjoins parking and passageway, provided the sidewalk is at least 6 inches higher than adjoining pavement.

NOTE: This map has been amended by the Alameda County Planning Department to include requirements established as conditions of approval of this application. Minor modifications of this plan may be authorized upon the receipt of a request from the applicant in writing for such modifications accompanied by drawings sufficient to show the proposed changes.

INSTA LUBE

INSTA LUBE
SEMPER PARUM
11001 ONE A DRIVE
100 NORTH DRIVE (SOUTH)
MEMPHIS, TENN. 38117



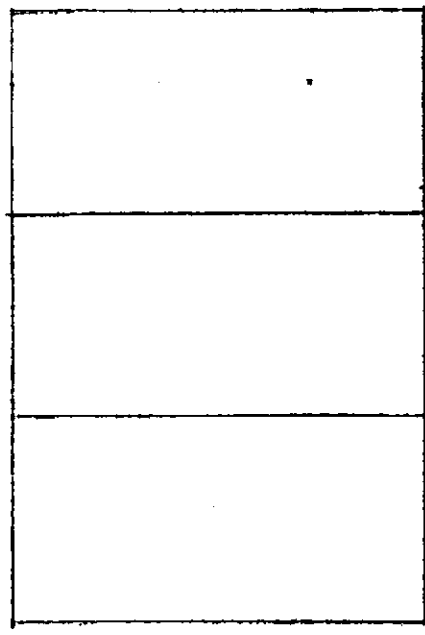
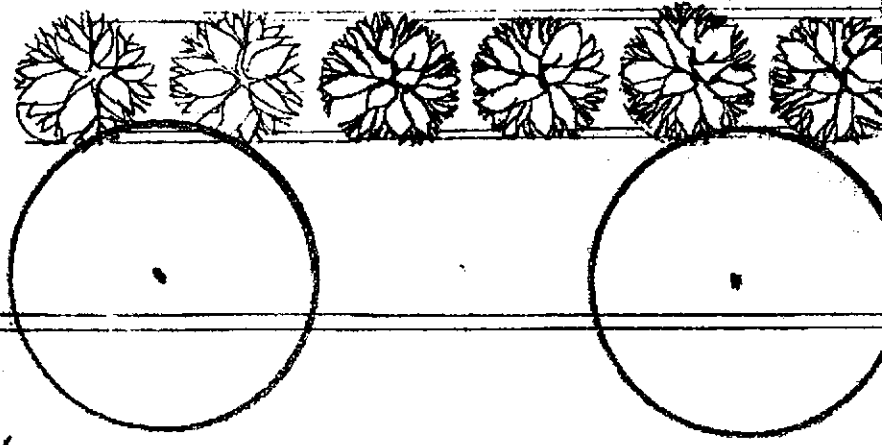
ENTER AT SYCAMORE S

R

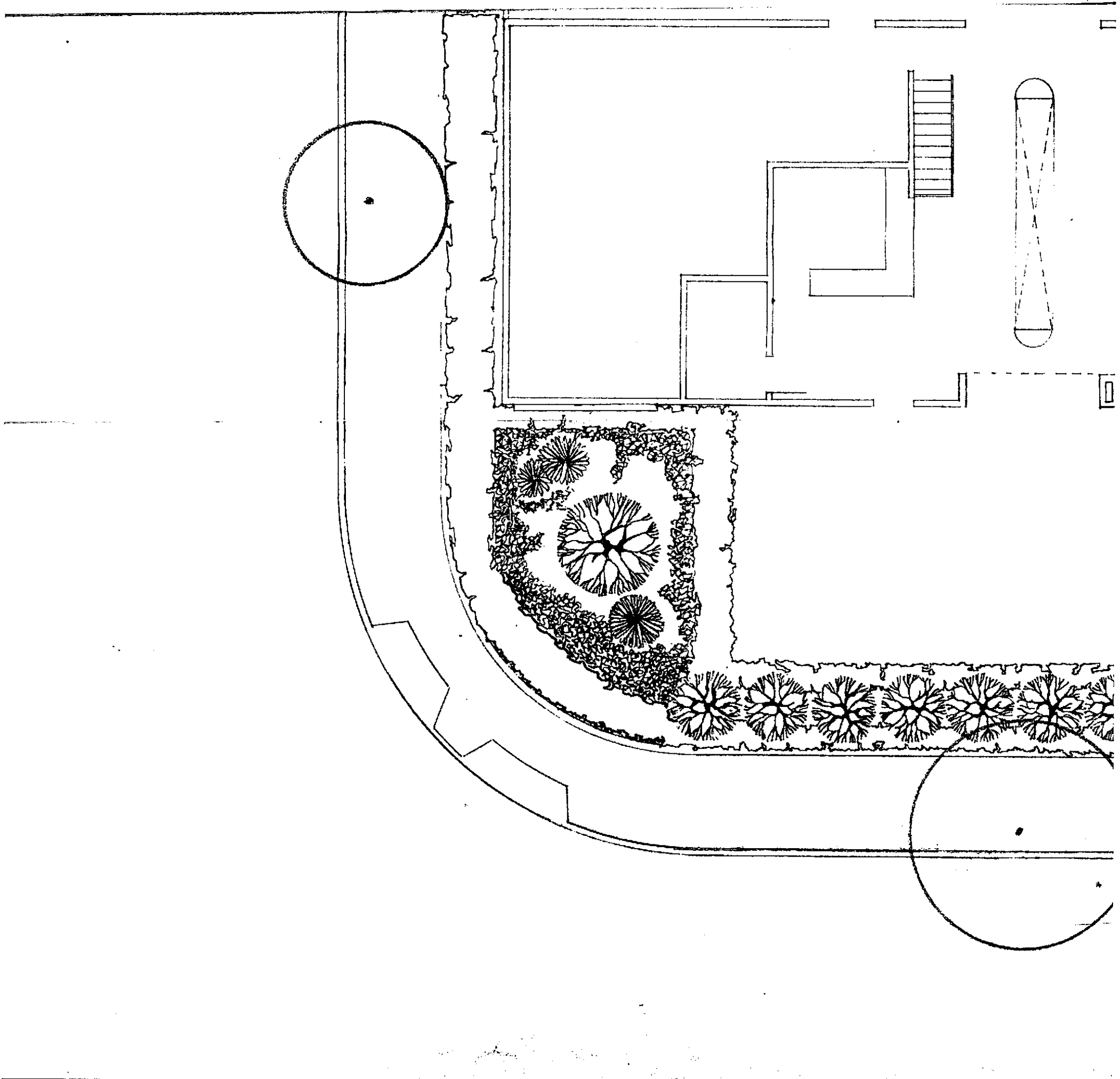
10'

15'

25'



SYCAMORE ST.



Job	Date 5/24/94 Scale 1/8"=1'-0" DRAWN BY BODD	L.C. MARQUOIT CIVIL ENGINEER 44 LEEDS COURT E. DANVILLE CA 94526	PROPOSED OIL CHA BUILDING & TRELIS FRO GENERAL LANDSCAPE DRIVEWAY LOCATION
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